

Sumter City-County Planning Commission

July 22, 2026

HCPD-26-09 5830 Arthur Rd (County)

I. THE REQUEST

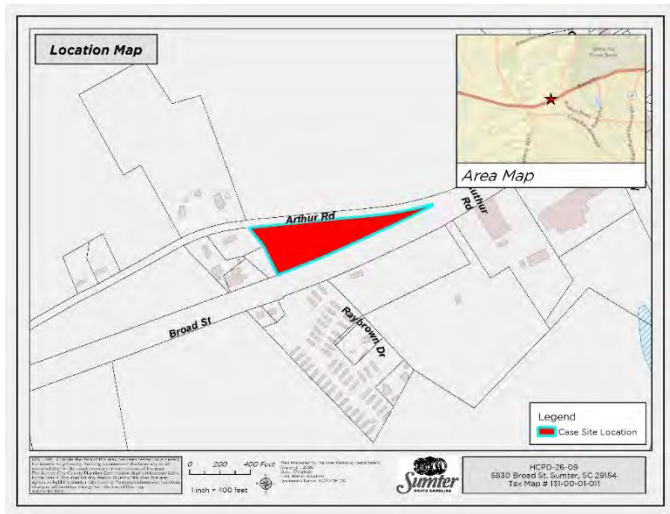
Applicant:	Knowl Davis
Status of the Applicant:	Authorized Agent for Property Owner
Request:	Request for alternative exterior materials
County Council District:	District 1
Location:	5830 Arthur Rd.
Property Size:	+/- 5.1 acers
Present Use/Zoning:	Undeveloped / General Commercial (GC) with Highway Corridor Protection District (HCPD) Overlay.
Tax Map Reference:	131-00-01-011

II. BACKGROUND

The applicant is requesting Planning Commission approval to use alternative exterior materials for a model home located at 5830 Arthur Rd. The project involves the construction of a model home for a barndominium construction firm.

The applicant has submitted an HCPD application accompanied by building elevation plans indicating their intent to use hardi board and metal sheathing. With the three sides that are visible from Broad Street all being hardi board.

As such, the proposal does not meet the 80% brick, stucco, stone, or masonry criteria required for staff level approval. In accordance with *Article 3.v.4.b* of the Sumter County Zoning & Development Standards Ordinance (the Ordinance), the Sumter City-County Planning Commission (PC) must approve alternate exterior materials.



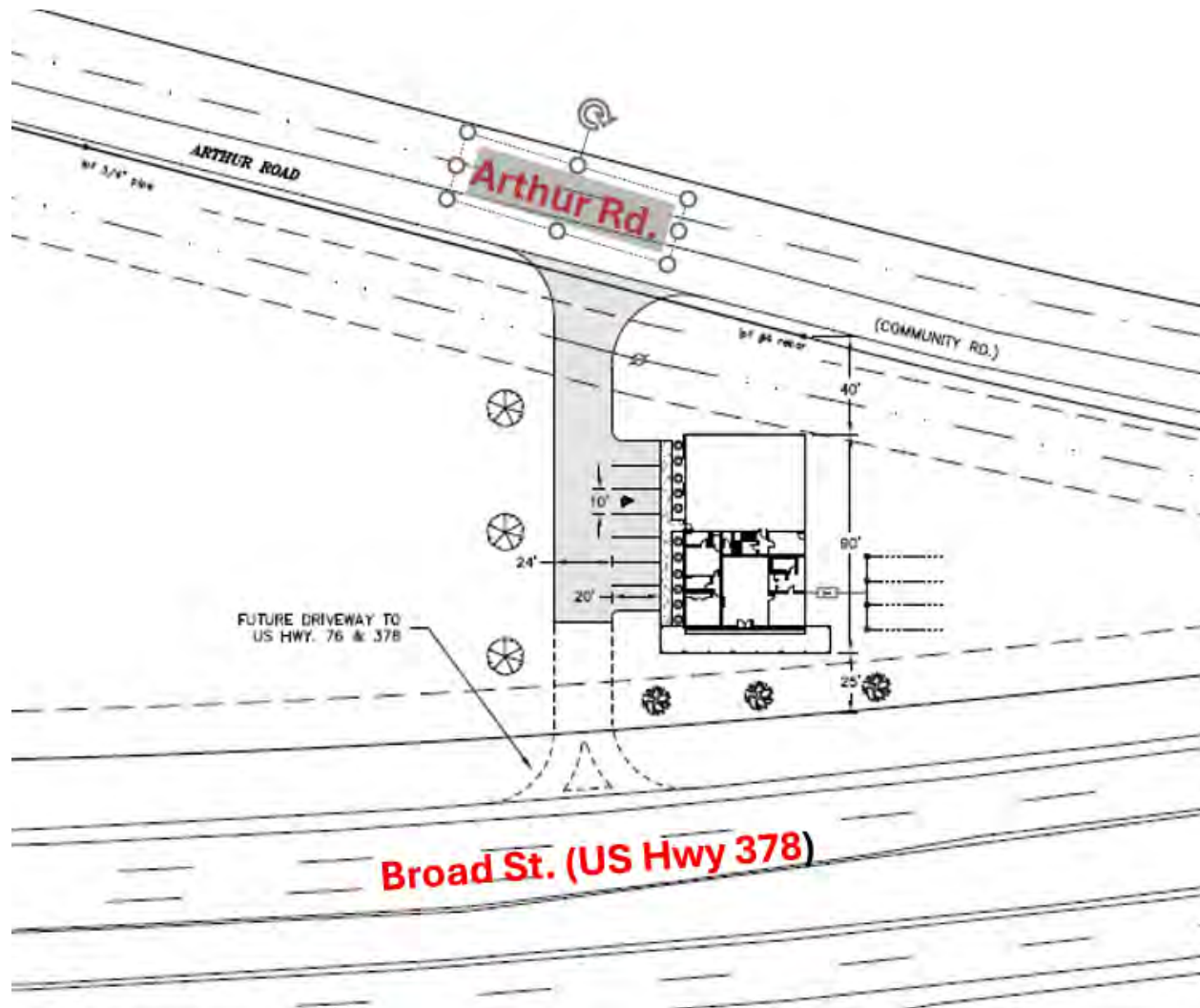


Figure 1 – Site Plan

Table 1 – Building Exterior Finish Plans

Materials	Total
Hardi Board (Front and Sides)	~ 75-80%
Metal Sheathing (Rear)	~20-25%

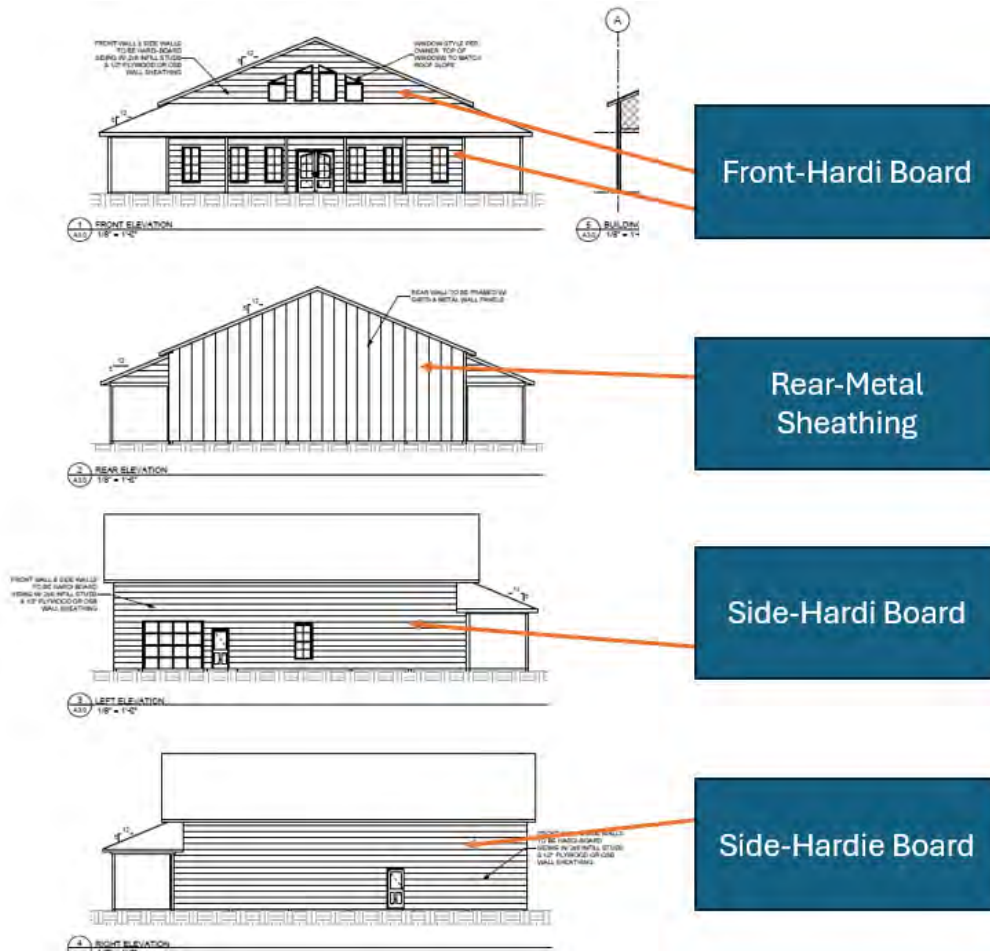


Figure 2 – Elevations

III. Alternate Building Exterior Material Request

The applicant is requesting the Planning Commission approve alternate exterior materials for the building in accordance with *Article 3.v.4.b.* of the Ordinance.

3.t.4.b. Architectural Standards: *A minimum of eighty percent (80%) of the surface materials, excluding doors and windows, shall be brick, stucco, or stone masonry or materials approved by the Sumter City-County Planning Commission. Roof pitch should be compatible with the building structures in the surrounding neighborhood.*

Staff Review: The applicant has submitted an HCPD application with elevations showing two separate materials to be used: Hardi Board at approximately 75-80% and Metal Sheathing at approximately 20-25%. Planning Commission approval for alternate exterior materials is required in accordance with the above requirement.

IV. STAFF RECOMMENDATION

Staff reviewed the HCPD application, and the building exterior materials proposed by the applicant

and makes the following determination:

- HCPD exterior material requirements apply to all sides of the building that are visible from a public right-of-way. Staff notes that the proposed structure will serve as an office and model home where prospective clients can view the general layout and design of a barndominium dwelling. While staff recognizes that this is not a typical commercial development and that the structure is designed to resemble a single-family residence, it will function as an office and showroom rather than an occupied dwelling.

Staff is of the opinion that Hardie board siding is a reasonable exterior material request for this structure. Staff notes that metal siding is proposed for the rear of the structure. Staff does not support the use of metal siding due to the high visibility of the subject property.

If the PC elects to approve this alternate exterior materials request to use Hardie board, Staff recommends that the rear of the structure be a Hardie board exterior material matching that of the other sides of the structure.

V. DRAFT MOTION

1. I move the Planning Commission **approve** HCPD-26-09 for alternate exterior material request.
2. I move the Planning Commission **deny** HCPD-26-09.
3. I move an alternate motion.

VI. PLANNING COMMISSION – July 22, 2026

Location Map



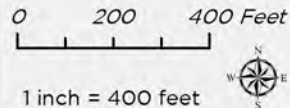
Area Map



Legend

 Case Site Location

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Map Prepared by: Sumter Planning Department
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HCPD-26-09
5830 Broad St, Sumter, SC 29154
Tax Map # 131-00-01-011