

# Sumter City-County Planning Commission

January 28, 2026

## MSP-26-02 – 38 Pack Rd. – Tractor Supply Store (City)

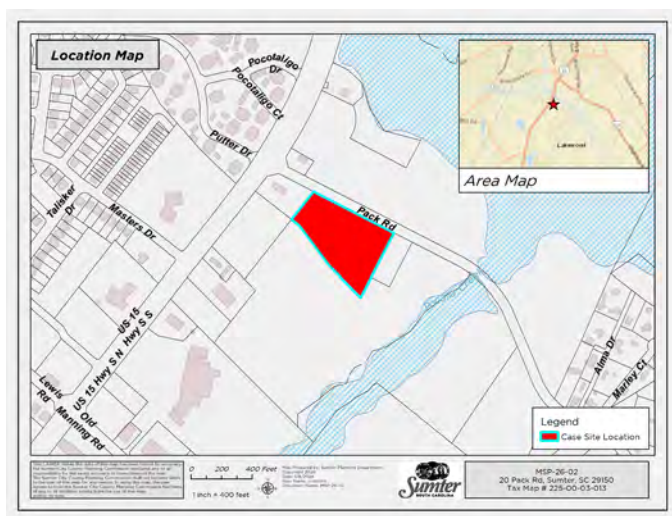
### I. THE REQUEST

<b>Applicant:</b>	Sumter SC Development Group, LLC (Gavin Melia)
<b>Status of the Applicant:</b>	Developer
<b>Request:</b>	Request for Major Site Plan approval for 21,930 sq. ft. farm supply retailer (Tractor Supply).
<b>Ward</b>	Ward 2
<b>Location:</b>	38 Pack Rd.
<b>Size of Development:</b>	4.7 acres
<b>Present Use/Zoning:</b>	Vacant / General Commercial (GC)
<b>Proposed Use of Property:</b>	Commercial Development (Retail)
<b>Tax Map Reference:</b>	225-00-03-013

### II. BACKGROUND

The applicant, Sumter SC Development Group, LLC, proposes to develop a 21,930 sq. ft. farm supply retail store (Tractor Supply) at 38 Pack Rd. The property is located on the south side of Pack Rd. east of the intersection of Pack Rd. and US-15 South.

The subject property is 4.7 acres in size, undeveloped, and zoned General Commercial (GC). There is a vacant tract partially zoned GC and Agricultural Conservation (AC) to the north, a fast food restaurant zoned GC to the west, a telecommunications tower zoned AC to the east, and a vacant tract zoned GC to the south.



### III. SITE PLAN REVIEW

#### *Site Layout:*

The applicant has submitted a set of site plans titled, “*Tractor Supply Store T.B.D. Pack Rd. Sumter SC Design Documents*” prepared by Paramounte Engineering, Inc. and dated January 6, 2026.

Copies of the Site Plan (Sheet C-2.0), Landscape Plan (Sheet L-2.0), and Building Exterior Elevation Renderings have been included in this packet for review as Exhibits 2, 3, and 4 respectively.

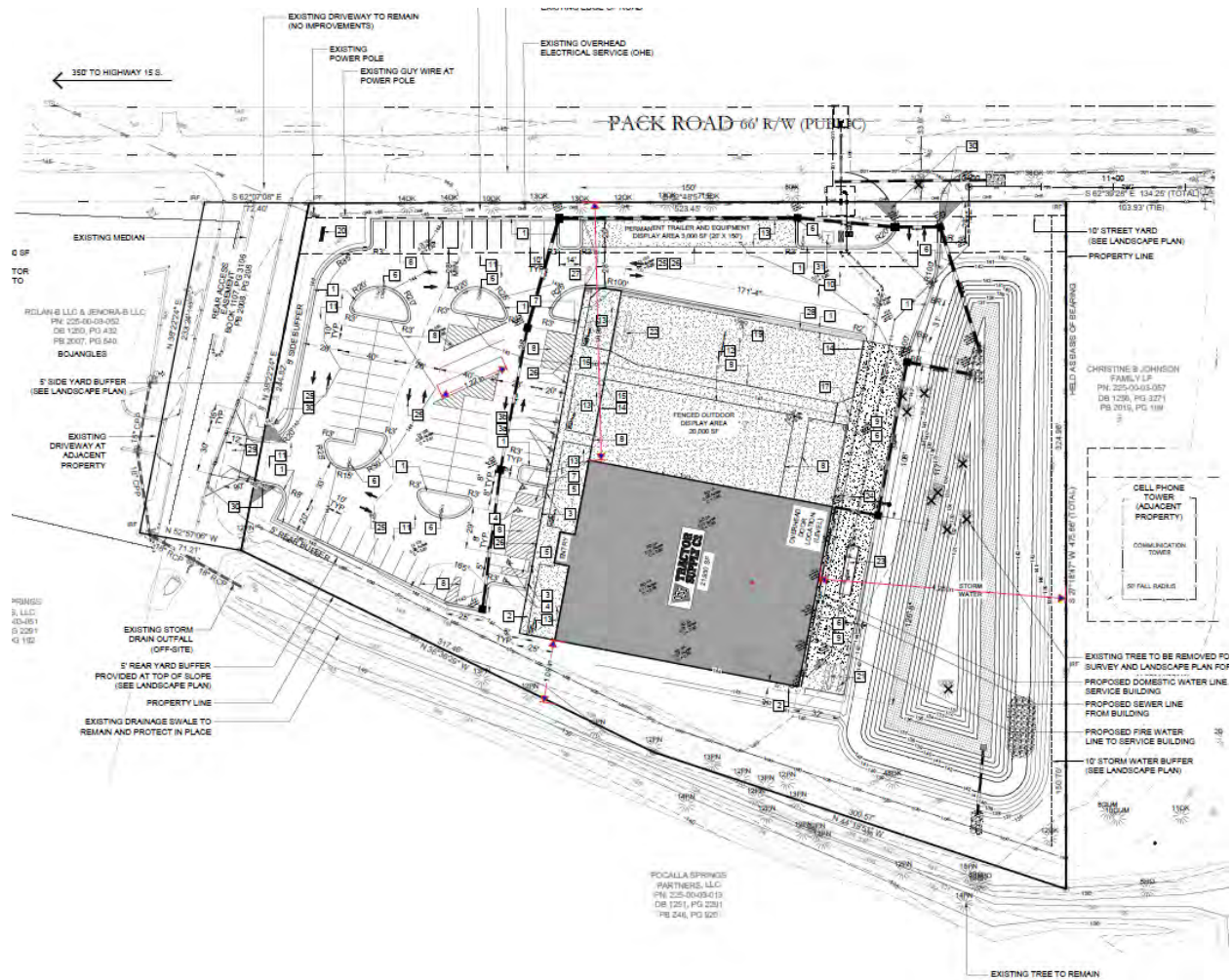


Figure 1 - Proposed Site Plan Layout



**Figure 2 - Elevation Rendering of development.**

Site development must adhere to the General Commercial (GC) zoning district standards found in *Section 3.j.5, Development Standards*. The proposed development meets the following minimum standards and development criteria:

Development Standard	Minimum Ordinance Requirement	Proposed
Minimum Site Area	N/A	<b>4.7 acres</b>
Minimum Lot Width	N/A	<b>+/- 523 ft.</b>
Front Setback	35 ft	<b>180 ft</b>
Side Setback	0 ft	<b>160 ft</b>
Rear Setback	20 ft	<b>40 ft.</b>
Maximum Impervious Surface	92%	<b>&lt;92%</b>
Maximum Building Height	60 ft	<b>30.75 ft</b>

### ***Parking Plan:***

Based upon the criteria found in *Exhibit 8-12 of the Ordinance*, the proposed use must provide a minimum of 1 space per 350 sq. ft. of gross floor area. A minimum of 1 space per every 25 total spaces must also be designated as ADA accessible. The parking lot is proposed to be asphalt, with curb and gutter included.



- 67 regular 10 ft. x 20 ft. parking spaces
- 3 pull through 10 ft. x 50 ft vehicle spaces for trailer parking
- 4 ADA-accessible parking space

***Environmental:***

***Landscape & Tree Protection Plan:***

At this time, there are 7 significant/historic trees proposed for removal on the site. Removal of any trees classified as ‘significant’ or ‘historic’ as defined in *Article 9.c.2* of the *Ordinance* requires appropriate planting mitigation. The applicant has submitted plans that provide 14 canopy tree plantings as mitigation, representing a 2 for 1 replacement.

[illegible]

### Figure 3 - Proposed Landscaping Plan

### ***Transportation Review:***

The tract has approximately 523 linear feet of frontage along Pack Rd. (S-401). This portion of S. Pack Rd. is a 2-lane local access street with no tracked AADT.

The site will be served by one standalone full access driveway and one shared full access driveway.

Based on the ITE Trip Generation Manual land use category 822 (strip retail plaza), the highest projected peak hour traffic volume generated by the development is 136 trips per hour, which applies to the Weekday PM Peak Hour. This total triggers TIS requirements consistent with *Article 7.d.10*.

### **Multimodal Transportation Factors**

- *Bicycle and Pedestrian:* Sidewalks do not currently exist in the area of the site.
- *Transit:* Santee-Wateree Regional Transit Authority does not operate any fixed service transit routes in the vicinity of the site.
- *Rail:* The proposed project would not result in any utilization of or impact to rail lines.

### **Analysis of Applicable Zoning & Development Standards Ordinance Transportation Provisions**

- *Visual Clearance at Intersections:* The proposed visual clearance at intersections conforms to Ordinance Requirements.
- *Traffic Impact Study Requirements:* Based on the proposed development scope and scale, a TIS was required and submitted in October 2025.
- *Consideration of Existing Local and Regional Plans:* The Sumter 2050 Long Range Transportation Plan contains 1 proposed project influenced by the site:
  - a. Corridor Operational Improvement #O-8 1 is a proposed operational improvement for US-15 South between Cockerill Rd. and S. Guignard Dr. The proposed development plan does not negatively impact this proposed project.
- *Circulation System Design:* The circulation system conforms to Ordinance requirements.

Staff concludes that the plan is reasonable for this site. Given that this site will produce limited durations of peak traffic flows, staff is of the opinion that additional traffic analysis and mitigation measures are not necessary, subject to SCDOT approval of encroachment permit(s).

### ***Stormwater Management:***

This project will construct a stormwater detention facility +/- 340 ft. in length, +/- 100 ft in width, and 11 ft. deep. This retention area is expected to be permanently wet and is located on the east side of the property.

Stormwater generated from the site will be collected via sheet flow and via inlet for collection to the stormwater pond. As of report publication, City stormwater permits and NPDES coverage by the South Carolina Department of Environmental Services (SCDES) for projects with more than 1 acre of land disturbance have not been obtained by the applicant.

***Utilities:***

*Fire:* The proposed structure will require a fire suppression system. Placement of fire hydrants and Fire Department Connections (FDC) must be in compliance with regulatory standards.

*Sewer & Water:* The City of Sumter will provide sewer and water service. Coordination with the applicant is ongoing. However, there are no significant issues that would prevent the City from providing water and sewer services to this site.

*Solid Waste:* The site is proposed to be served by a private sanitation vendor. Dumpsters will be screened by an enclosure with materials consistent with the site buildings.

#### **IV. TECHNICAL REVIEW**

The technical review committee (TRC) was given the opportunity to review and comment on the project. There are no remaining outstanding TRC items to address.

#### **V. STAFF RECOMMENDATION**

Staff has reviewed the major site plan application, shared the proposed plans with the technical review committee, and recommends **approval** of this request subject to the staff recommended Conditions of Approval as outlined in Exhibit 1.

#### **VI. DRAFT MOTION**

1. I move the Planning Commission **approve** MSP-26-02 subject to conditions of approval outlined in Exhibit 1, and site plans titled, “*Tractor Supply Store T.B.D. Pack Rd. Sumter SC Design Documents*” prepared by Paramounte Engineering, Inc. and dated January 6, 2026.
2. I move the Planning Commission **deny** MSP-26-02.
3. I move an alternate motion.

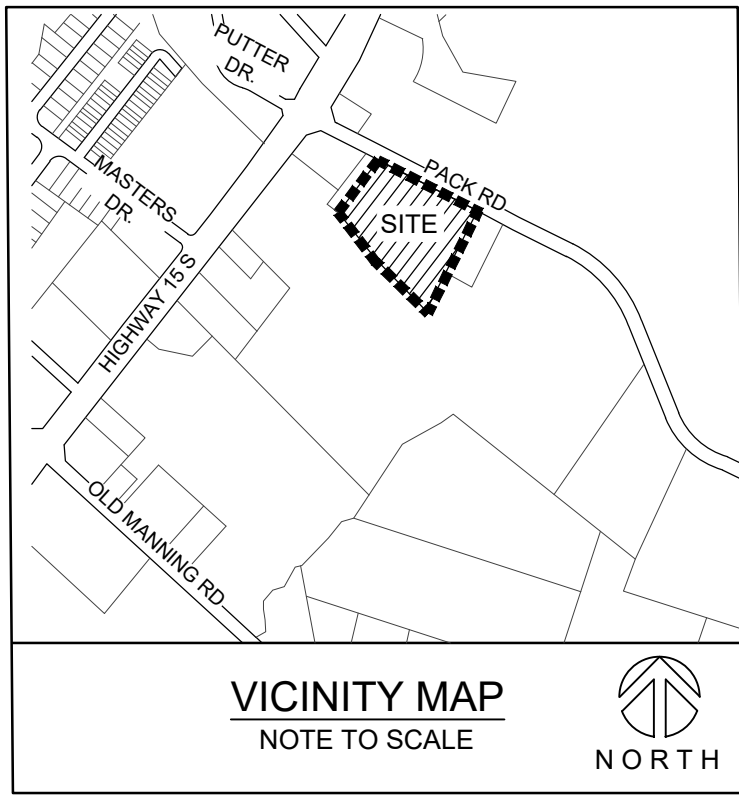
#### **VII. PLANNING COMMISSION – January 28, 2026**

**Exhibit 1:**  
**MSP-26-02, 38 Pack Rd.**  
**Tractor Supply Store (City)**  
**Proposed Conditions of Approval**

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1. The project shall be developed in substantial conformance with the site plans titled, “*Tractor Supply Store T.B.D. Pack Rd. Sumter SC Design Documents*” prepared by Paramounte Engineering, Inc. and dated January 6, 2026 as revised to address outstanding technical review items.
2. Prior to issuance of Land Disturbance permit and Building Permit(s), the following shall be received by the Sumter City-County Planning Department:
  - a. Submission of full final civil engineered plans. Said plans shall show the latest revision date reflecting revisions noted in the Technical Review Committee (TRC) Comments Memorandum and/or outstanding technical review items outlined in the project staff report.
  - b. Stormwater permit approval and NPDES concurrence letter from the City Stormwater Utility must be submitted to the Sumter City-County Planning Department.
3. Prior to zoning final inspection approval:
  - a. Completion of all site developments as depicted on final civil engineered plans.
  - b. Copy of SCDOT encroachment permit
4. Separate sign permits are required for all exterior signage. All signage must be in full compliance with *Article 8.i: Sign Regulations* of the *City of Sumter Zoning & Development Standards Ordinance* prior to permit approval, issuance, and installation.





**SITE DATA**  
SITE ADDRESS(S): PACK RD.  
SUMTER, SC 29150

PIN: 225-00-03-013  
OWNER: POCALLA SPRINGS PARTNERS, LLC  
PO BOX 317 MANNING, SC 29102

APPLICANT: SUMTER SC DEVELOPMENT GROUP, LLC  
120 MARKET SQUARE: SECOND FLOOR  
PINEHURST, NC 28374

LOT AREA: 204,935 SF (4.705 ACRES)

ZONING: GC, GENERAL COMMERCIAL  
(CITY OF SUMTER)

EXISTING USE: VACANT LAND  
PROPOSED USE: RETAIL  
NCIS: 44424 NURSERY, GARDEN CENTER AND FARM SUPPLY RETAILERS

PROJECT DESCRIPTION: THE PROPOSED PROJECT WILL CONSIST OF A 21,930 SF BUILDING AND ACCESSORY USES, INCLUDING OUTDOOR DISPLAY OF MERCHANDISE, A FENCED OUTDOOR DISPLAY AREA AND PERMANENT TRACTOR AND EQUIPMENT DISPLAYS. ON SITE PARKING WILL CONSIST OF 74 SPACES TO SERVE THE PROPOSED USE AND WILL BE ACCESSED FROM A PROPOSED DRIVEWAY FROM PACK RD., AS WELL AS A CONNECTION TO AN EXISTING DRIVEWAY EASEMENT LOCATED ADJACENT TO THE SITE. STORM WATER MANAGEMENT WILL BE ACCOMMODATED ON SITE. SEWER AND WATER UTILITIES WILL BE PROVIDED BY THE CITY OF SUMTER.

**PROPOSED BUILDING SF & REQUIRED PARKING**

TOTAL BUILDING:	21,930 SF
FENCED OUTDOOR DISPLAY*	20,000 SF
TRAILER AND EQUIPMENT DISPLAY*	3,500 SF
SIDEWALK DISPLAY OF MERCHANDISE*	3,750 SF
TOTAL SQUARE FOOTAGE CALCULATED FOR PARKING:	21,930 SF

\*DISPLAY AREAS NOT CALCULATED IN REQUIRED PARKING

REQUIRED PARKING: 1 SPACE / 300 SF  
21,930 SF / 300 SF = 73.1 (74) SPACES

PARKING PROVIDED: 74 SPACES  
REQUIRED HANDICAP PARKING : 4 SPACES  
HANDICAP PARKING PROVIDED: 4 SPACES

**GENERAL COMMERCIAL (GC) DIMENSIONAL REQUIREMENTS**

FRONT SETBACK: 35'  
SIDE SETBACK: 0' (NONE REQUIRED WHEN ADJACENT TO NON-RESIDENTIAL PROPERTY)  
REAR SETBACK: 20' (AT NON-RESIDENTIAL DISTRICT)  
MAX. BUILDING HT.: 60'  
IMPERVIOUS SURFACE RATIO: 92% MAX.

**SIGN NOTES**

PROJECT SIGNAGE WILL BE SUBMITTED UNDER SEPARATE PERMIT. APPROXIMATE LOCATION OF PROPOSED SIGN IS SHOWN ON THE SITE PLAN, SEE KEY NOTE #17. ANY PROPOSED SIGN IS SUBJECT TO SECTION 5.6 OF THE UDO.

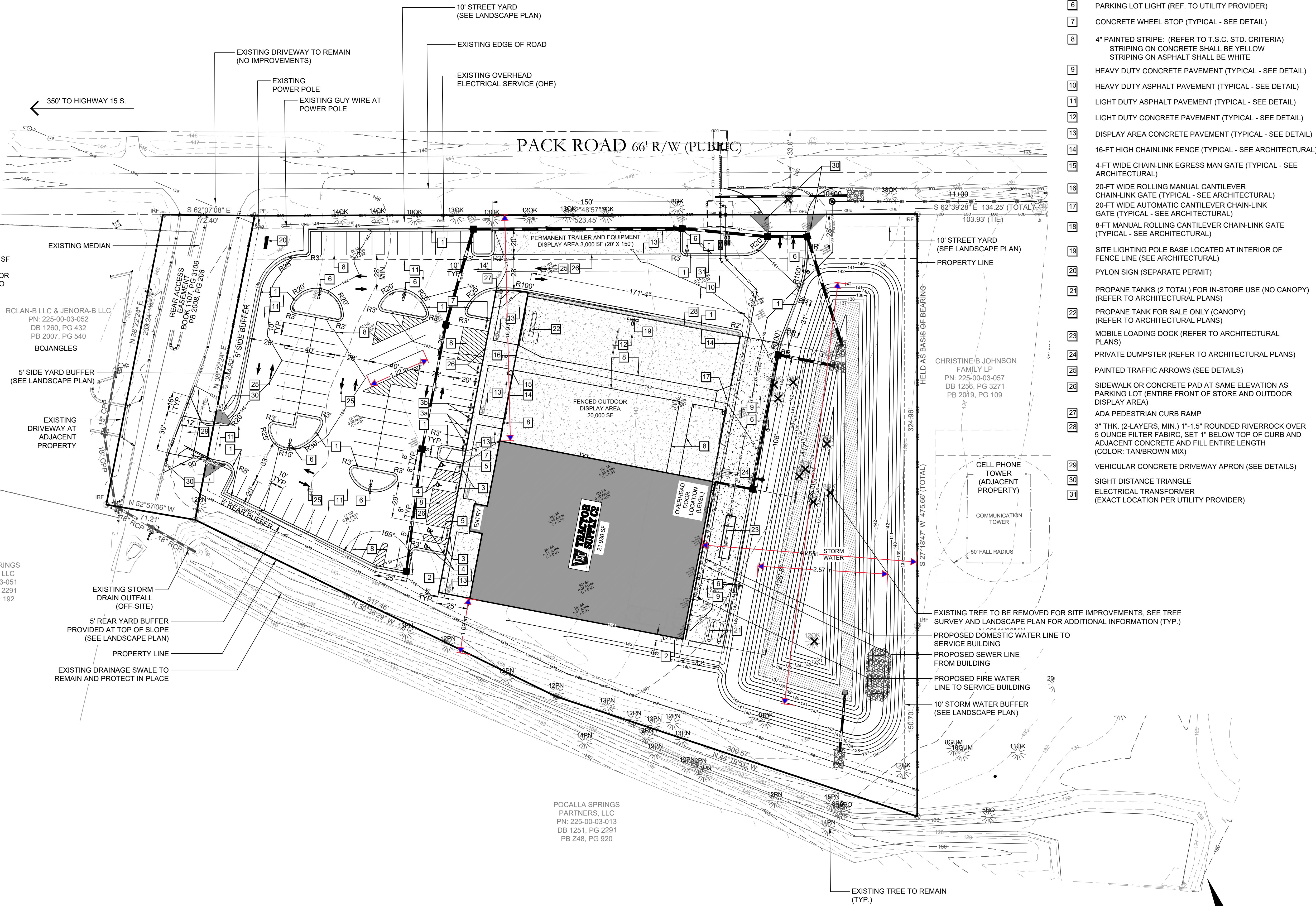
**SIGHT DISTANCE TRIANGLE NOTES**

ALL PROPOSED VEGETATION WITHIN SIGHT DISTANCE TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 3'-6" TO 10'

**FLOOD NOTES**

THE SUBJECT PARCEL DOES NOT LIE WITHIN A FLOOD ZONE AS INDICATED BY FEMA FLOOD ZONE MAP NUMBER 45085C0476E, BEARING AN EFFECTIVE DATE OF 10/27/2022.

POCALLA SPRINGS PARTNERS, LLC  
PN: 225-00-03-051  
DB 1251, PG 2291  
PB 2007, PG 192



**SITE KEY NOTES:**

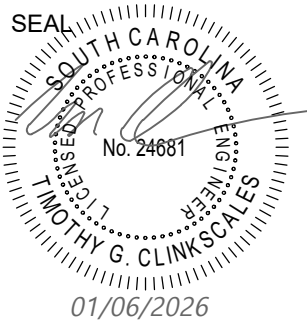
- 24" CURB & GUTTER (TYPICAL - SEE DETAIL)
- CONCRETE SIDEWALK (TYPICAL - SEE DETAIL)
- HANDICAP PARKING SIGN (TYPICAL - SEE ARCHITECTURAL)
- VETERAN PARKING SIGN (TYPICAL - SEE ARCHITECTURAL)
- BOPIS PARKING SIGN (TYPICAL - SEE ARCHITECTURAL)
- HANDICAP PARKING SYMBOL (TYPICAL - SEE DETAIL)
- HANDICAP ACCESS UNLOADING ZONE: SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPE AS SHOWN. (TYPICAL - SEE DETAIL)
- PARKING LOT LIGHT (REF. TO UTILITY PROVIDER)
- CONCRETE WHEEL STOP (TYPICAL - SEE DETAIL)
- 4" PAINTED STRIPE: (REFER TO T.S.C. STD. CRITERIA)  
STRIPE ON CONCRETE SHALL BE YELLOW  
STRIPE ON ASPHALT SHALL BE WHITE
- HEAVY DUTY CONCRETE PAVEMENT (TYPICAL - SEE DETAIL)
- HEAVY DUTY ASPHALT PAVEMENT (TYPICAL - SEE DETAIL)
- LIGHT DUTY ASPHALT PAVEMENT (TYPICAL - SEE DETAIL)
- LIGHT DUTY CONCRETE PAVEMENT (TYPICAL - SEE DETAIL)
- DISPLAY AREA CONCRETE PAVEMENT (TYPICAL - SEE DETAIL)
- 16-FT HIGH CHAINLINK FENCE (TYPICAL - SEE ARCHITECTURAL)
- 4-FT WIDE CHAIN-LINK EGRESS MAN GATE (TYPICAL - SEE ARCHITECTURAL)
- 20-FT WIDE ROLLING MANUAL CANTILEVER CHAIN-LINK GATE (TYPICAL - SEE ARCHITECTURAL)
- 20-FT WIDE AUTOMATIC CANTILEVER CHAIN-LINK GATE (TYPICAL - SEE ARCHITECTURAL)
- 8-FT MANUAL ROLLING CANTILEVER CHAIN-LINK GATE (TYPICAL - SEE ARCHITECTURAL)
- SITE LIGHTING POLE BASE LOCATED AT INTERIOR OF FENCE LINE (SEE ARCHITECTURAL)
- PYLON SIGN (SEPARATE PERMIT)
- PROPANE TANKS (2 TOTAL) FOR IN-STORE USE (NO CANOPY) (REFER TO ARCHITECTURAL PLANS)
- PROPANE TANK FOR SALE ONLY (CANOPY) (REFER TO ARCHITECTURAL PLANS)
- MOBILE LOADING DOCK (REFER TO ARCHITECTURAL PLANS)
- PRIVATE DUMPSTER (REFER TO ARCHITECTURAL PLANS)
- PAINTED TRAFFIC ARROWS (SEE DETAILS)
- SIDEWALK OR CONCRETE PAD AT SAME ELEVATION AS PARKING LOT (ENTIRE FRONT OF STORE AND OUTDOOR DISPLAY AREA)
- ADA PEDESTRIAN CURB RAMP
- 3" THK. (2-LAYERS, MIN.) 1"X1.5" ROUNDED RIVERROCK OVER 5 OUNCE FILTER FABRIC, SET 1" BELOW TOP OF CURB AND ADJACENT CONCRETE AND FILL ENTIRE LENGTH (COLOR: TAN/BROWN MIX)
- VEHICULAR CONCRETE DRIVEWAY APRON (SEE DETAILS)
- SIGHT DISTANCE TRIANGLE
- ELECTRICAL TRANSFORMER (EXACT LOCATION PER UTILITY PROVIDER)

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

**SITE PLAN**

TRACTOR SUPPLY CO.  
SUMTER, SOUTH CAROLINA

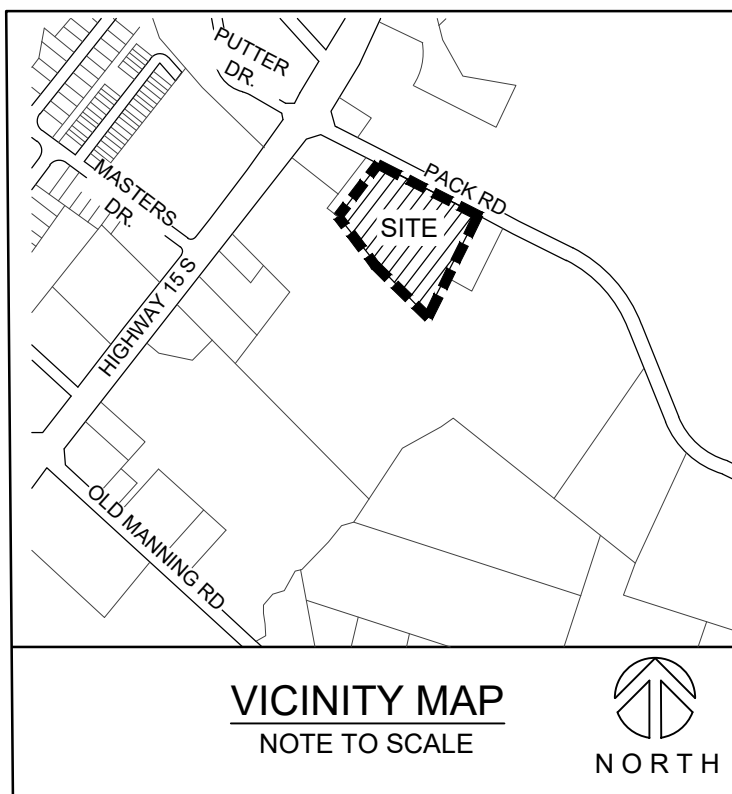
PROJECT STATUS:  
CONCEPT LAYOUT:  
FINAL DESIGN:  
RELEASED FOR CONSTRUCTION:



C-2.0

PEI JOB#: 24358.PE





<b>SITE DATA</b>	
<b>SITE ADDRESS(S):</b>	PACK RD. SUMTER, SC 29150
<b>PIN:</b>	225-00-03-013
<b>OWNER:</b>	POCALLA SPRINGS PARTNERS, LLC PO BOX 317 MANNING, SC 29102
<b>APPLICANT:</b>	SUMTER SC DEVELOPMENT GROUP, LLC 120 MARKET SQUARE: SECOND FLOOR PINEHURST, NC 28374
<b>LOT AREA:</b>	204,935 SF (4.705 ACRES)
<b>ZONING:</b>	GC, GENERAL COMMERCIAL (CITY OF SUMTER)

PROPOSED USE: RETAIL  
NCIS: 44424 NURSERY, GARDEN CENTER AND FARM SUPPLY RETAILERS

WETLANDS:  
NO EXISTING WETLANDS ON SITE.

**STREET LANDSCAPING**  
REQUIRED PARALLEL TO A PUBLIC STREET (PACK RD.)  
BUFFER WIDTH: 10'  
REQUIRED PLANTINGS: 3 CANOPY TREES PER 100 LF  
20 SHRUBS PER 100 LF  
\*NOTE: OVERHEAD UTILITY LINES EXIST AT REQUIRED STREET YARD PLANTINGS. UNDERSTORY TREES SHALL BE PROVIDED AT A RATE OF 2 TIMES THE REQUIREMENT FOR CANOPY TREES WHERE OVERHEAD UTILITIES OCCUR

**CALCULATION:**  
 PROPERTY LINE AT PACK RD.: 523.5 LF  
 DRIVEWAY AT PACK RD.                   + 30 LF  
 TOTAL LF                                       493.5 LF

TREES REQUIRED:  $493.5 / 100 (*3) = 14.8 \times 2' = (30 \text{ TREES})$   
 TREE PROVIDED: 28 NEW / 8 EXISTING (30 TOTAL)  
 SHRUBS REQUIRED:  $493.5 / 100 (*20) = 98.7 (99 \text{ SHRUBS PROVIDED})$

**SIDE AND REAR YARD LANDSCAPING**  
**SIDE YARD (AT REAR ACCESS EASEMENT)**

ZONING:	GC (GENERAL COMMERCIAL)
USE:	DRIVEWAY ACCESS
BUFFER REQUIRED:	TYPE A (5' WIDE)
REQUIRED PLANTINGS:	2 CANOPY TREES PER 100 LF 2 UNDERSTORY TREES PER 100 LF 15 SHRUBS PER 100 LF

**CALCULATION:**

SIDE YARD LENGTH:	244.82 LF - 30' DRIVEWAY = 214.82 LF
CANOPY TREES:	$214.82 / 100 (*2) = 4.29$ (5 TREES)
UNDERSTORY TREES:	$214.82 / 100 (*2) = 4.29$ (5 TREES)
SHRUB:	$214.82 / 100 (*15) = 32.2$ (33 SHRUBS)

<b>SIDE YARD (AT STORM WATER FACILITY)</b>	
<b>ZONING:</b>	AC (AGRICULTURAL CONSERVATION)
<b>USE:</b>	CELL TOWER & VACANT LAND
<b>BUFFER REQUIRED:</b>	TYPE B (10') PER SEC. 9.c.5 STORMWATER

REQUIRED PLANTINGS: 2 CANOPY TREES PER 100 LF  
6 EVERGREEN TREES PER 100 LF  
15 TALL SHRUBS PER 100 LF

CALCULATIONS:  
SIDE YARD LENGTH: 465 LF  
CANOPY TREES:  $465 / 100 (*2) = 9.3$  (10 TREES)  
EVERGREEN TREES:  $465 / 100 (*6) = 27.9$  (28 TREES)  
TALL SHRUBS:  $465 / 100 (*15) = 69.7$  (70 SHRUBS)

REAR YARD (AT STORM WATER FACILITY)  
ZONING: AC (AGRICULTURAL CONSERVATION)  
USE: VACANT LAND  
BUFFER REQUIRED: TYPE B (10') PER SEC. 9.c.5 STORMWATER

REQUIRED PLANTINGS: 2 CANOPY TREES PER 100 LF  
6 EVERGREEN TREES PER 100 LF  
15 TALL SHRUBS PER 100 LF

CALCULATIONS:  
 REAR YARD LENGTH: 160 LF  
 CANOPY TREES:  $160 / 100 (*2) = 3.2$  (4 TREES)  
 EVERGREEN TREES:  $160 / 100 (*6) = 9.6$  (10 TREES)  
 TALL SHRUBS:  $160 / 100 (*15) = 24$  (24 SHRUBS)

REAR YARD (AT ADJACENT VACANT LAND)  
 \*NOTE: BUFFER IS PROVIDED AT TOP OF EXISTING DRAINAGE SWALE TO  
 PROVIDE MAXIMUM SCREENING EFFECTIVENESS AND MINIMIZE  
 POTENTIAL CONFLICTS WITH DRAINAGE  
 ZONING: AC (AGRICULTURAL CONSERVATION)  
 USE: VACANT  
 BUFFER REQUIRED: TYPE A (5' WIDE)  
 REQUIRED PLANTINGS: 2 CANOPY TREES PER 100 LF  
 2 UNDERSTORY TREES PER 100 LF  
 15 SHRUBS PER 100 LF

CALCULATIONS:  
 REAR YARD LENGTH: 435LF  
 CANOPY TREES:  $435 / 100 (*2) = 8.7$  (9 TREES)  
 UNDERSTORY TREES:  $435 / 100 (*2) = 8.7$  (9 TREES)  
 SHRUBS:  $435 / 100 (*15) = 65.2$  (66 SHRUBS)

**INTERIOR PARKING AREA LANDSCAPING**  
**PARKING LOT LANDSCAPE ISLANDS - LOCATE AT ENDS OF PARKING ROWS AND THERE SHALL NOT BE MORE THAN 15 PARKING SPACES BETWEEN PARKING LOT ISLANDS**  
 MINIMUM DIMENSIONS: 9' W. X 17' L.  
 MIN. PLANTINGS: 1 CANOPY TREE AND 3 SHRUBS PER ISLAND

### LANDSCAPE NOTES:

1. LANDSCAPE AND IRRIGATION DESIGN PLANS ARE REQUIRED ON ALL PROJECTS.
2. WHERE LANDSCAPING IS NOT PROPOSED OR REQUIRED CONTRACTOR SHALL PROVIDE SITE FINE GRADED W/ HYDRO SEEDED LAWN OR SOD IN ALL DISTURBED AREAS OUTSIDE OF PARKING FIELD.
3. USE WEED BARRIER ALL MULCHED AREAS TO RECEIVE WEED BARRIER
4. WHERE SEEDING WARRANTY DOES NOT PERMIT HYDRO SEED ALLOW, PROVIDE STRAW AND BIODEGRADABLE NETTING OVER HYDRO SEED.
5. TSC TO APPROVE LANDSCAPE CONCEPT PRIOR TO SUBMISSION TO LANDSCAPE AND IRRIGATION TO RECEIVE IRRIGATION
6. IRRIGATION HEADS TO BE A MINIMUM OF 3' FROM EDGE OF CURB LINE
7. ALL LANDSCAPE BEDS TO HAVE CUT EDGE OR COMMERCIAL EDGING MATERIAL, INSTALLED FULLY SEPARATING THE MULCH BED FROM ADJACENT LAWN AREA.
8. ANY TREES 1.5" CALIPER (OR GREATER) MUST BE STAKED AND TIED. TWO STAKES, MIN., PER TREE

**PLANT MATERIAL SIZE REQUIREMENTS:**  
**MINIMUM INSTALLED PLANTING SIZES FOR LANDSCAPING:**

CANOPY TREES:	2" CAL., 7' HT.
UNDERSTORY TREES:	1.5" CAL., 5' HT.
EVERGREEN TREES:	5' HT.
TALL SHRUBS:	3' HT. X 2' W. (MATURE SIZE 6' HT. X 4' W.)
SMALL SHRUBS:	15" HT. (MATURE SIZE 36" HT.)

ALL PLANTINGS SHALL MEET THE MINIMUM STANDARDS AND BE  
 INSTALLED ACCORDING TO THE MOST RECENT VERSION OF THE  
 AMERICAN STANDARDS FOR NURSERY STOCK.

## STORMWATER FACILITY LANDSCAPING

1. MINIMUM 1 CANOPY TREE REQUIRED PER 4,000 SF OF STORMWATER AREA.
2. 70% OF DISTURBED AREA AND SLOPES OF STORMWATER AREA SHALL BE PLANTED WITH PERENNIAL COVER (GRASSES, SHRUBS, PERENNIALS).
3. STORMWATER FACILITIES SHALL BE LOCATED AT THE REAR AND SIDES OF PROPOSED DEVELOPMENT.
4. NO TREES SHALL BE PLANTED ON DAMS, STORMWATER AREA SLOPES, OR FILL DIRT AREAS, OR ANYWHERE THAT MAY COMPROMISE THE INTEGRITY OF THE STORMWATER ENGINEERING SYSTEM.
5. ALL STORMWATER MANAGEMENT FACILITIES SHALL BE SCREENED BY TYPE B LANDSCAPING:
 

WIDTH:	10'
PLANTINGS:	3 CANOPY TREES PER 100 LF
	6 EVERGREEN TREES PER 100 LF
	15 TALL SHRUBS PER 100 LF

CALCULATIONS:







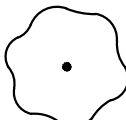
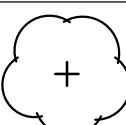









SEE REAR & SIDE YARD	CALCULATIONS FOR TYPE B LANDSCAPING
STORM POND AREA:	36,000 SF
CANOPY TREES:	$36,000 / 4,000 (*1) = 9$ (9 TREES)

**SIGN NOTES**  
PROJECT SIGNAGE WILL BE SUBMITTED UNDER  
SEPARATE PERMIT. APPROXIMATE LOCATION OF  
PROPOSED SIGN IS SHOWN ON THE SITE PLAN

**SIGNIT DISTANCE TRIANGLE NOTES**  
ALL PROPOSED VEGETATION WITHIN SIGNIT DISTANCE  
TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGNIT  
LINES FROM 3'-6" TO 10'

**TREE REPLACEMENT NOTES:**

1. TREES IDENTIFIED WITH AN "R" SYMBOL ARE REPLACEMENT TREES PROVIDED TO MITIGATE EACH SIGNIFICANT OR HISTORIC TREE REMOVED AT A RATE OF (2) TREES PER EVERY (1) TREE REMOVED. REPLACEMENT TREES SHALL BE OF EQUIVALENT SPECIES THAT WILL GROW TO AN EQUAL SIZE AT MATURITY.
2. TOTAL REPLACEMENT TREES REQUIRED: 14  
SEE TREE SURVEY FOR ADDITIONAL INFORMATION.

PLANT SCHEDULE			
SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE
<b>TREES</b>			
	12	CHIONANTHUS RETUSUS CHINESE FRINGE TREE	1.5" CAL. / 5' HT. MIN.
	10	ERIBOTRYA JAPONICA LOQUAT	1.5" CAL. / 5' HT. MIN.
	22	ILEX VOMITORIA 'PENDULA' WEeping YAUPON HOLLY	1.5" CAL. / 5' HT. MIN.
	17	MAGNOLIA GRANDIFLORA 'LITTLE GEM' LITTLE GEM DWARF SOUTHERN MAGNOLIA	1.5" CAL. / 5' HT. MIN.
	15	QUERCUS LAURIFOLIA 'DARLINGTONIA' DARLINGTON OAK	2" CAL. / 7' HT. MIN.
	21	QUERCUS NUTTALLII NUTTALL OAK	2" CAL. / 7' HT. MIN.
	4	QUERCUS VIRGINIANA SOUTHERN LIVE OAK	1.5" CAL. / 5' HT. MIN.
	17	QUERCUS VIRGINIANA SOUTHERN LIVE OAK	2" CAL. / 7' HT. MIN.
	9	TAXODIUM DISTICHUM BALD CYPRESS	2" CAL. / 7' HT. MIN.
	9	VITEX AGNUS-CASTUS 'SHOAL CREEK' CHASTE TREE	1.5" CAL. / 5' HT. MIN.
SYMBOL	QTY	BOTANICAL / COMMON NAME	CONTAINER
<b>SHRUBS</b>			
	103	ABELIA X 'EDWARD GOUCHER' EDWARD GOUCHER ABELIA	3 GAL. / 15' HT. MIN.
	22	DISTYLIUM X 'PIDDIST-II' BLUE CASCADE® DISTYLIUM	3 GAL. / 15" HT. MIN.
	27	ILEX GLABRA INKBERRY HOLLY	24"X24" MIN.
	99	ILEX VOMITORIA 'NANA' DWARF YAUPON	3 GAL. / 15" HT. MIN.
	30	LOROPETALUM CHINENSE CHINESE FRINGE FLOWER	3' HT. X 2' W. AT INSTALL
	31	PODOCARPUS MACROPHYLLUS YEw PODOCARPUS	3' HT. X 2' W. AT INSTALL
SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT
<b>GROUND COVERS</b>			
	10,700 SF	CYNODON DACTYLON '419 HYBRID' 419 HYBRID BERMUDAGRASS	SOD

REVISIONS:

**CLIENT INFORMATION:**

PARAMOUNT®

TRACTOR SUPPLY CO.  
SUMTER, SOUTH CAROLINA

PROJECT STATUS

CONCEPTUAL LAYOUT:  
PRELIMINARY LAYOUT:  
FINAL DESIGN:  
RELEASED FOR CONSTRUCTION:

DRAWING INFORMATION

DATE:  
SCALE:  
DESIGNED:  
DRAWN:

SEAL

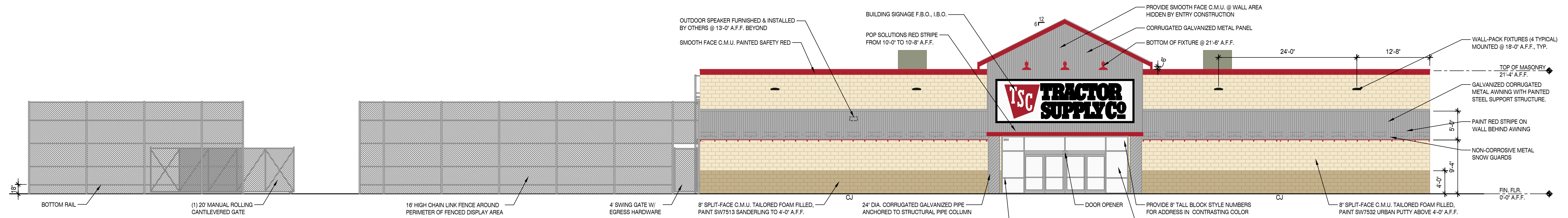
SOUTH CAROLINA  
REGISTERED PROFESSIONAL ENGINEER  
No. 24681  
T. MOTHY G. CLINKSCALES  
01/06/2026

PEI JOB#: 24358.PE

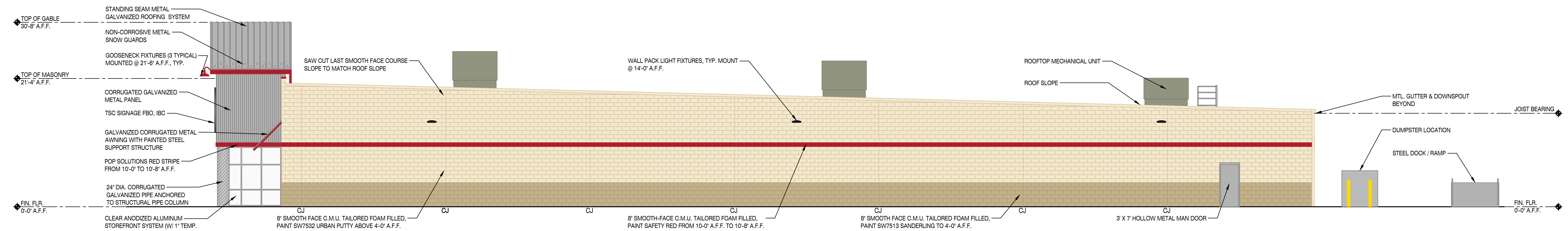
PRELIMINARY DESIGN – NOT RELEASED FOR CONSTRUCTION

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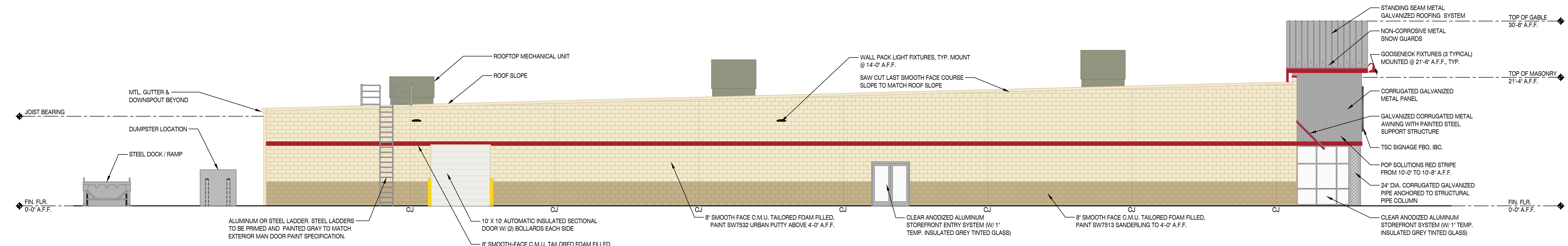




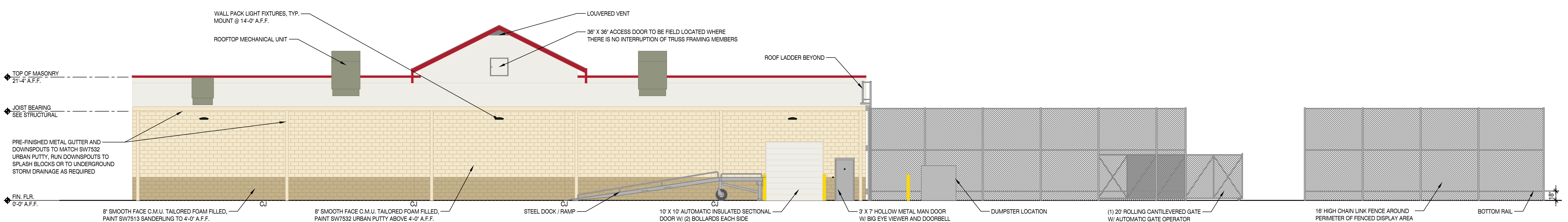
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SCALE: 1/8"=1'-0"



2 ELEVATION  
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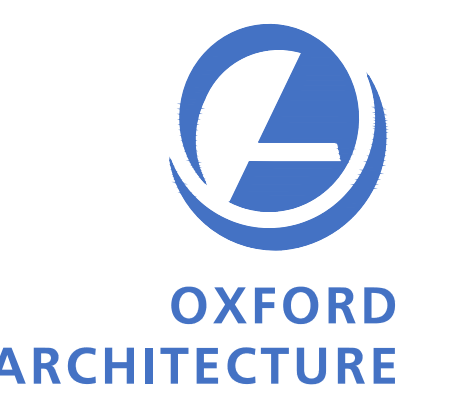


3 ELEVATION  
SCALE: 1/8"=1'-0"



4 ELEVATION  
SCALE: 1/8"=1'-0"

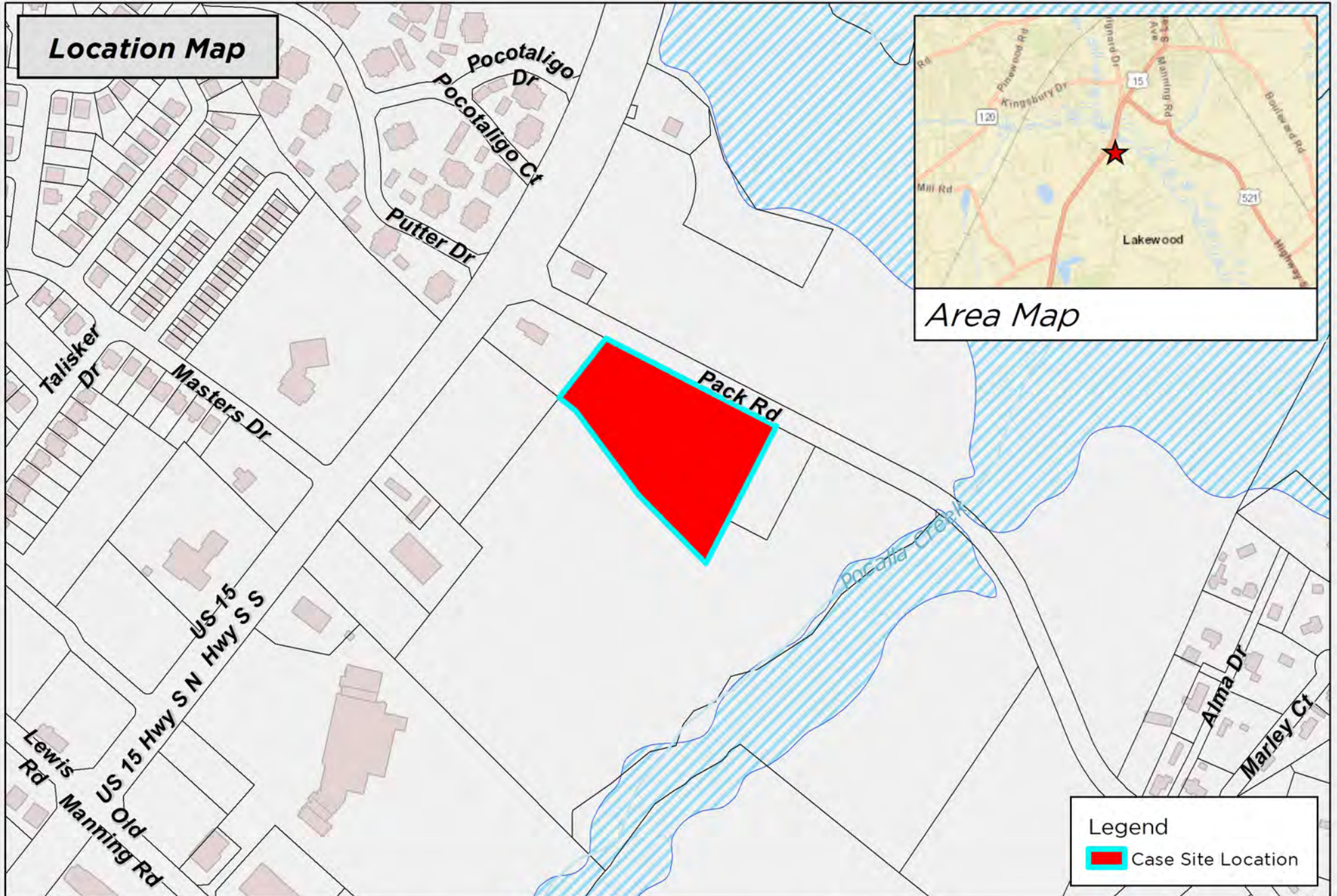
TRACTOR SUPPLY COMPANY  
SUMTER, SOUTH CAROLINA



2934 Sidco Drive  
Suite 120  
Nashville, TN 37204  
Architecture  
Planning  
Interior Architecture



## Location Map

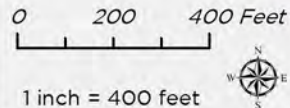


## Area Map

## Legend

 Case Site Location

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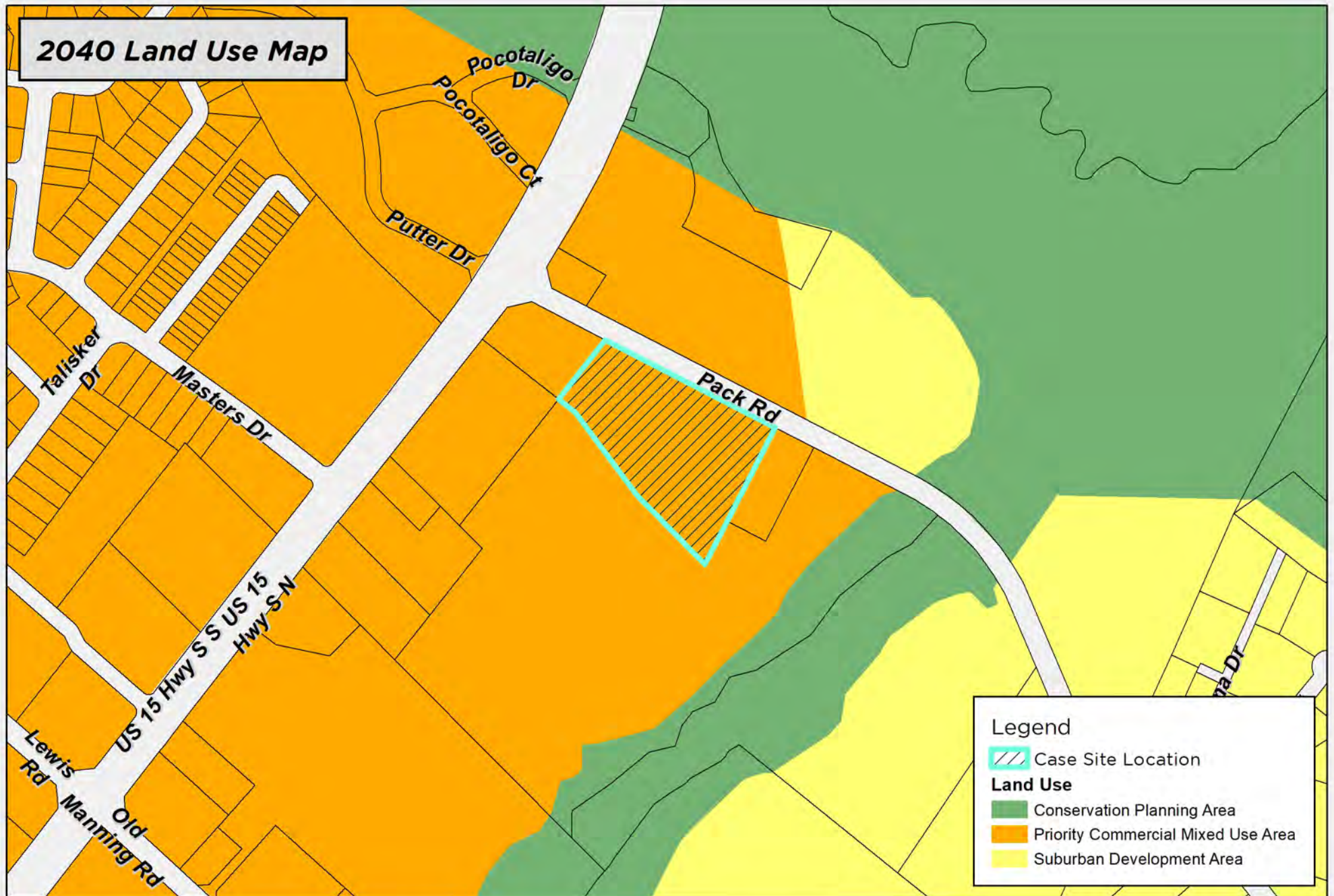
Map Prepared by: Sumter Planning Department  
Copyright 2026  
Date: 1/8/2026  
User Name: crobbins  
Document Name: MSP-26-02



MSP-26-02  
20 Pack Rd, Sumter, SC 29150  
Tax Map # 225-00-03-013



# 2040 Land Use Map



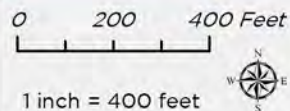
**Legend**

 Case Site Location

**Land Use**

-  Conservation Planning Area
-  Priority Commercial Mixed Use Area
-  Suburban Development Area

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 20 Pack Rd, Sumter, SC 29150  
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# 2025 Aerial Photography Map



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0 100 200 Feet  
1 inch = 200 feet

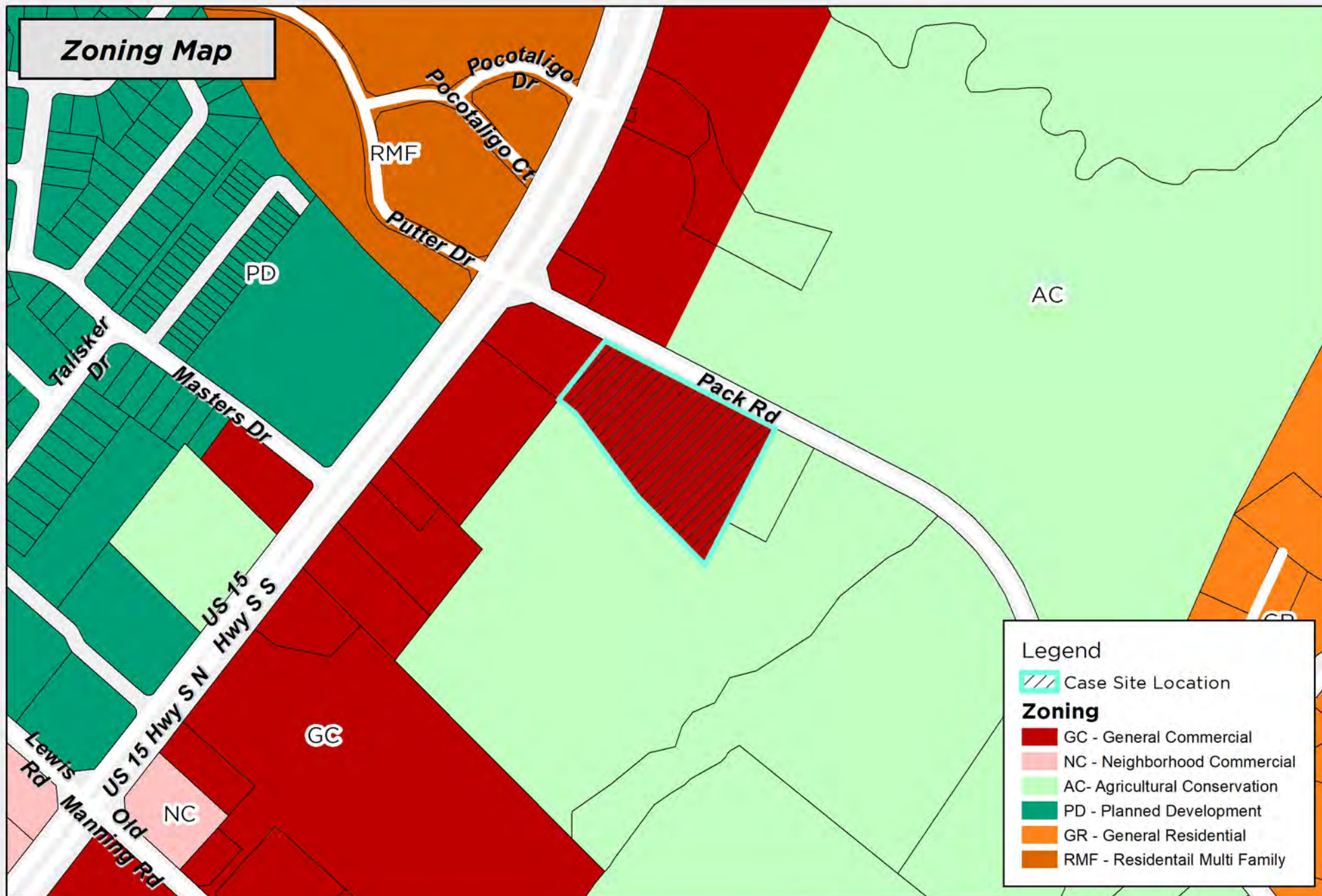
Map Prepared by: Sumter Planning Department  
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User Name: crobbins  
Document Name: MSP-26-02




MSP-26-02  
20 Pack Rd, Sumter, SC 29150  
Tax Map # 225-00-03-013



# Zoning Map



## Legend


 Case Site Location

## Zoning

-  GC - General Commercial
-  NC - Neighborhood Commercial
-  AC - Agricultural Conservation
-  PD - Planned Development
-  GR - General Residential
-  RMF - Residential Multi Family

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0 200 400 Feet  
1 inch = 400 feet



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