

Sumter City-County Planning Commission

January 28, 2026

MSP-26-02 – 38 Pack Rd. – Tractor Supply Store (City)

I. THE REQUEST

Applicant: Sumter SC Development Group, LLC (Gavin Melia)

Status of the Applicant: Developer

Request: Request for Major Site Plan approval for 21,930 sq. ft. farm supply retailer (Tractor Supply).

Ward Ward 2

Location: 38 Pack Rd.

Size of Development: 4.7 acres

Present Use/Zoning: Vacant / General Commercial (GC)

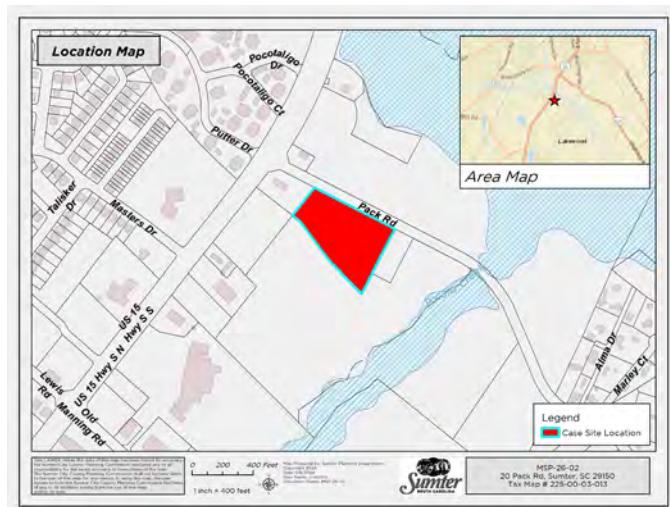
Proposed Use of Property: Commercial Development (Retail)

Tax Map Reference: 225-00-03-013

II. BACKGROUND

The applicant, Sumter SC Development Group, LLC, proposes to develop a 21,930 sq. ft. farm supply retail store (Tractor Supply) at 38 Pack Rd. The property is located on the south side of Pack Rd. east of the intersection of Pack Rd. and US-15 South.

The subject property is 4.7 acres in size, undeveloped, and zoned General Commercial (GC). There is a vacant tract partially zoned GC and Agricultural Conservation (AC) to the north, a fast food restaurant zoned GC to the west, a telecommunications tower zoned AC to the east, and a vacant tract zoned GC to the south.



III. SITE PLAN REVIEW

Site Layout:

The applicant has submitted a set of site plans titled, *“Tractor Supply Store T.B.D. Pack Rd. Sumter SC Design Documents”* prepared by Paramount Engineering, Inc. and dated January 6, 2026.

Copies of the Site Plan (Sheet C-2.0), Landscape Plan (Sheet L-2.0), and Building Exterior Elevation Renderings have been included in this packet for review as Exhibits 2, 3, and 4 respectively.

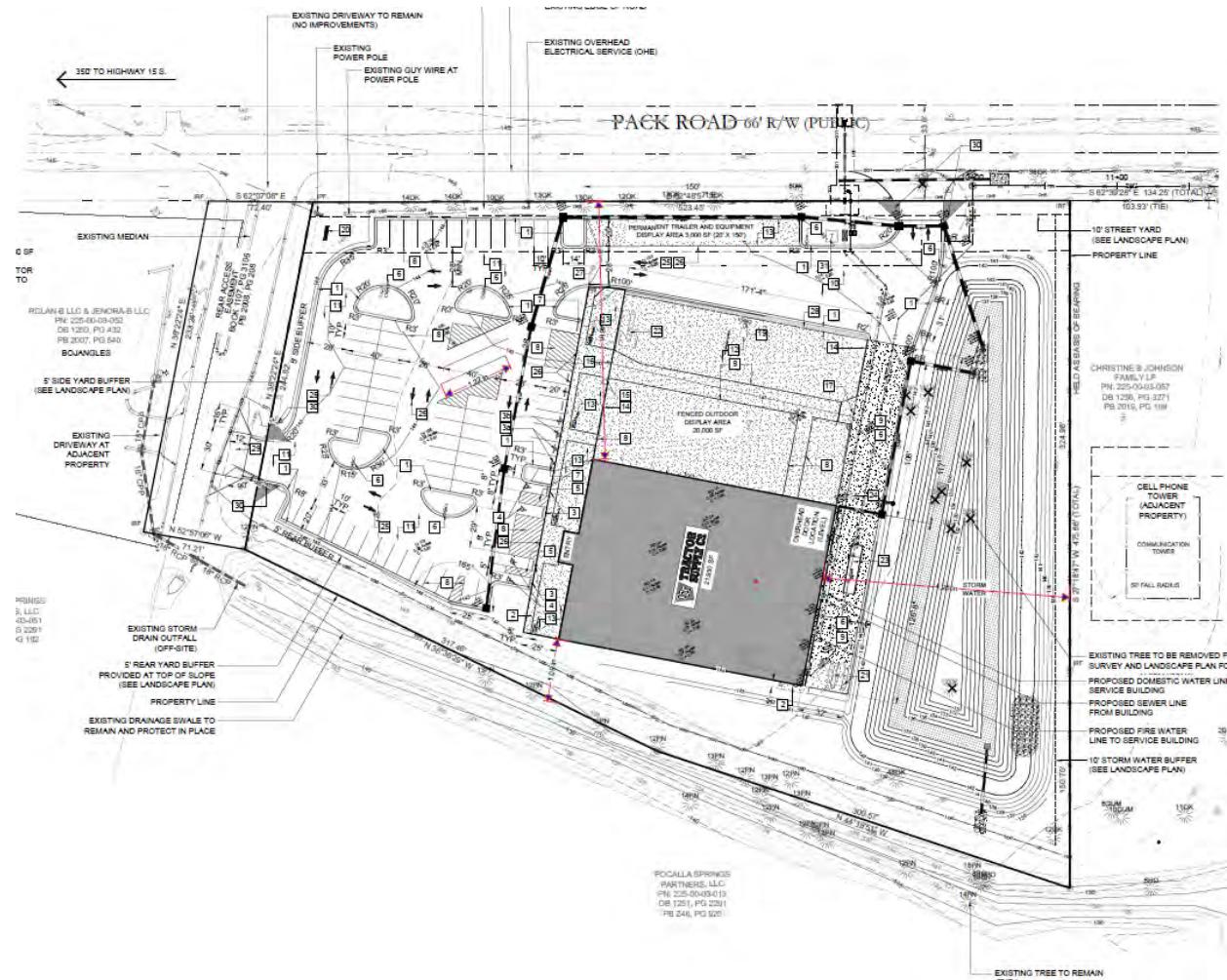


Figure 1 - Proposed Site Plan Layout



Figure 2 - Elevation Rendering of development.

Site development must adhere to the General Commercial (GC) zoning district standards found in *Section 3.j.5, Development Standards*. The proposed development meets the following minimum standards and development criteria:

Development Standard	Minimum Ordinance Requirement	Proposed
Minimum Site Area	N/A	4.7 acres
Minimum Lot Width	N/A	+/- 523 ft.
Front Setback	35 ft	180 ft
Side Setback	0 ft	160 ft
Rear Setback	20 ft	40 ft.
Maximum Impervious Surface	92%	<92%
Maximum Building Height	60 ft	30.75 ft

Parking Plan:

Based upon the criteria found in *Exhibit 8-12 of the Ordinance*, the proposed use must provide a minimum of 1 space per 350 sq. ft. of gross floor area. A minimum of 1 space per every 25 total spaces must also be designated as ADA accessible. The parking lot is proposed to be asphalt, with curb and gutter included.

Submitted parking plans show the following:

- 67 regular 10 ft. x 20 ft. parking spaces
- 3 pull through 10 ft. x 50 ft vehicle spaces for trailer parking
- 4 ADA-accessible parking space

The proposed parking lot plan meets the minimum number of parking spaces required by Ordinance.

Environmental:

The property is located in Zone X, which is not a special flood hazard area (SFHA), as shown on FEMA FIRM Panel: 45085C0476E, with an effective date of October 27, 2022.

Landscape & Tree Protection Plan:

The submitted landscape plan is based upon the requirements of *Article 9* and makes accommodation for irrigated and mulched landscaping. Landscape buffers along the perimeter of the property, and landscaping within the site meet or exceed minimum standards.

At this time, there are 7 significant/historic trees proposed for removal on the site. Removal of any trees classified as 'significant' or 'historic' as defined in *Article 9.c.2* of the *Ordinance* requires appropriate planting mitigation. The applicant has submitted plans that provide 14 canopy tree plantings as mitigation, representing a 2 for 1 replacement.

The landscape plan has been attached to this report for reference.

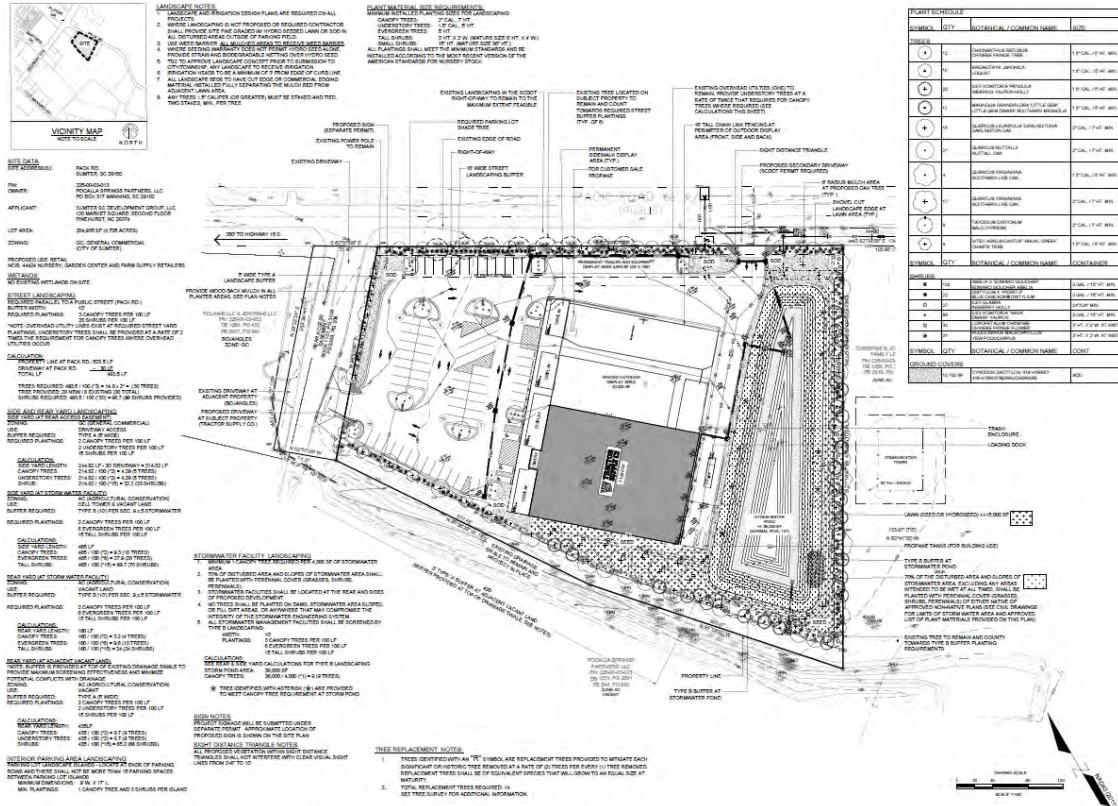


Figure 3 - Proposed Landscaping Plan

Transportation Review:

The tract has approximately 523 linear feet of frontage along Pack Rd. (S-401). This portion of S. Pack Rd. is a 2-lane local access street with no tracked AADT.

The site will be served by one standalone full access driveway and one shared full access driveway.

Based on the ITE Trip Generation Manual land use category 822 (strip retail plaza), the highest projected peak hour traffic volume generated by the development is 136 trips per hour, which applies to the Weekday PM Peak Hour. This total triggers TIS requirements consistent with Article 7.d.10.

Multimodal Transportation Factors

- *Bicycle and Pedestrian:* Sidewalks do not currently exist in the area of the site.
- *Transit:* Santee-Wateree Regional Transit Authority does not operate any fixed service transit routes in the vicinity of the site.
- *Rail:* The proposed project would not result in any utilization of or impact to rail lines.

Analysis of Applicable Zoning & Development Standards Ordinance Transportation Provisions

- *Visual Clearance at Intersections:* The proposed visual clearance at intersections conforms to Ordinance Requirements.
- *Traffic Impact Study Requirements:* Based on the proposed development scope and scale, a TIS was required and submitted in October 2025.
- *Consideration of Existing Local and Regional Plans:* The Sumter 2050 Long Range Transportation Plan contains 1 proposed project influenced by the site:
 - a. Corridor Operational Improvement #O-8 1 is a proposed operational improvement for US-15 South between Cockerill Rd. and S. Guignard Dr. The proposed development plan does not negatively impact this proposed project.
- *Circulation System Design:* The circulation system conforms to Ordinance requirements.

Staff concludes that the plan is reasonable for this site. Given that this site will produce limited durations of peak traffic flows, staff is of the opinion that additional traffic analysis and mitigation measures are not necessary, subject to SCDOT approval of encroachment permit(s).

Stormwater Management:

This project will construct a stormwater detention facility +/- 340 ft. in length, +/- 100 ft in width, and 11 ft. deep. This retention area is expected to be permanently wet and is located on the east side of the property.

Stormwater generated from the site will be collected via sheet flow and via inlet for collection to the stormwater pond. As of report publication, City stormwater permits and NPDES coverage by the South Carolina Department of Environmental Services (SCDES) for projects with more than 1 acre of land disturbance have not been obtained by the applicant.

Utilities:

Fire: The proposed structure will require a fire suppression system. Placement of fire hydrants and Fire Department Connections (FDC) must be in compliance with regulatory standards.

Sewer & Water: The City of Sumter will provide sewer and water service. Coordination with the applicant is ongoing. However, there are no significant issues that would prevent the City from providing water and sewer services to this site.

Solid Waste: The site is proposed to be served by a private sanitation vendor. Dumpsters will be screened by an enclosure with materials consistent with the site buildings.

IV. TECHNICAL REVIEW

The technical review committee (TRC) was given the opportunity to review and comment on the project. There are no remaining outstanding TRC items to address.

V. STAFF RECOMMENDATION

Staff has reviewed the major site plan application, shared the proposed plans with the technical review committee, and recommends **approval** of this request subject to the staff recommended Conditions of Approval as outlined in Exhibit 1.

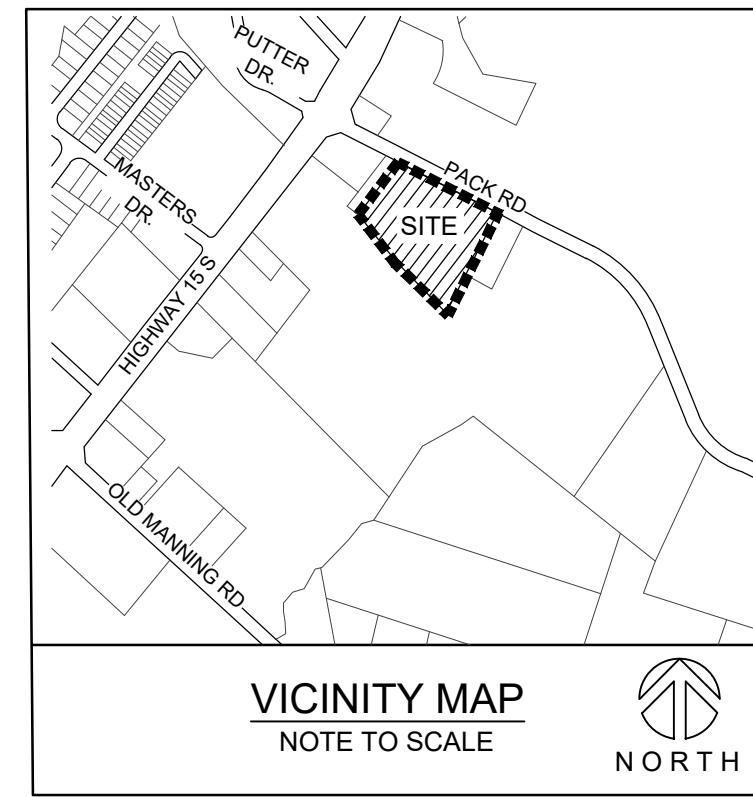
VI. DRAFT MOTION

1. I move the Planning Commission **approve** MSP-26-02 subject to conditions of approval outlined in Exhibit 1, and site plans titled, “*Tractor Supply Store T.B.D. Pack Rd. Sumter SC Design Documents*” prepared by Paramount Engineering, Inc. and dated January 6, 2026.
2. I move the Planning Commission **deny** MSP-26-02.
3. I move an alternate motion.

VII. PLANNING COMMISSION – January 28, 2026

Exhibit 1:
MSP-26-02, 38 Pack Rd.
Tractor Supply Store (City)
Proposed Conditions of Approval

1. The project shall be developed in substantial conformance with the site plans titled, “*Tractor Supply Store T.B.D. Pack Rd. Sumter SC Design Documents*” prepared by Paramounte Engineering, Inc. and dated January 6, 2026 as revised to address outstanding technical review items.
2. Prior to issuance of Land Disturbance permit and Building Permit(s), the following shall be received by the Sumter City-County Planning Department:
 - a. Submission of full final civil engineered plans. Said plans shall show the latest revision date reflecting revisions noted in the Technical Review Committee (TRC) Comments Memorandum and/or outstanding technical review items outlined in the project staff report.
 - b. Stormwater permit approval and NPDES concurrence letter from the City Stormwater Utility must be submitted to the Sumter City-County Planning Department.
3. Prior to zoning final inspection approval:
 - a. Completion of all site developments as depicted on final civil engineered plans.
 - b. Copy of SCOT encroachment permit
4. Separate sign permits are required for all exterior signage. All signage must be in full compliance with *Article 8.i: Sign Regulations* of the *City of Sumter Zoning & Development Standards Ordinance* prior to permit approval, issuance, and installation.



SITE DATA
SITE ADDRESS(S): PACK RD.
 SUMTER, SC 29150
PIN: 225-00-03-13
OWNER: POCALLA SPRINGS PARTNERS, LLC
 PO BOX 317 MANNING, SC 29102
APPLICANT: SUMTER SC DEVELOPMENT GROUP, LLC
 120 MARKET SQUARE, SECOND FLOOR
 PINEHURST, NC 28374
LOT AREA: 204,935 SF (4.705 ACRES)
ZONING: GC, GENERAL COMMERCIAL
 (CITY OF SUMTER)
EXISTING USE: VACANT LAND
PROPOSED USE: RETAIL
 NCIS: 4424 NURSERY, GARDEN CENTER AND FARM SUPPLY RETAILERS
PROJECT DESCRIPTION: THE PROPOSED PROJECT WILL CONSIST OF A 21,930 SF BUILDING AND ACCESSORY USES, INCLUDING OUTDOOR DISPLAY OF MERCHANDISE, A FENCED OUTDOOR DISPLAY AREA AND PERMANENT TRACTOR AND EQUIPMENT DISPLAYS. ON SITE PARKING WILL CONSIST OF 74 SPACES TO SERVE THE PROPOSED USE AND WILL BE ACCESSED FROM A PROPOSED DRIVEWAY FROM PACK RD. AS WELL AS A CONNECTION TO AN EXISTING DRIVEWAY EASEMENT LOCATED ADJACENT TO THE SITE. STORM WATER MANAGEMENT WILL BE ACCOMMODATED ON SITE. SEWER AND WATER UTILITIES WILL BE PROVIDED BY THE CITY OF SUMTER.

PROPOSED BUILDING SF & REQUIRED PARKING

TOTAL BUILDING: 21,930 SF
 FENCED OUTDOOR DISPLAY* 20,000 SF
 TRAILER AND EQUIPMENT DISPLAY* 3,500 SF
 SIDEWALK DISPLAY OF MERCHANDISE* 3,750 SF
 TOTAL SQUARE FOOTAGE CALCULATED FOR PARKING: 21,930 SF
 *DISPLAY AREAS NOT CALCULATED IN REQUIRED PARKING

REQUIRED PARKING: 1 SPACE / 300 SF
 21,930 SF / 300 SF = 73.1 (74) SPACES

PARKING PROVIDED: 74 SPACES
 REQUIRED HANDICAP PARKING: 4 SPACES
 HANDICAP PARKING PROVIDED: 4 SPACES

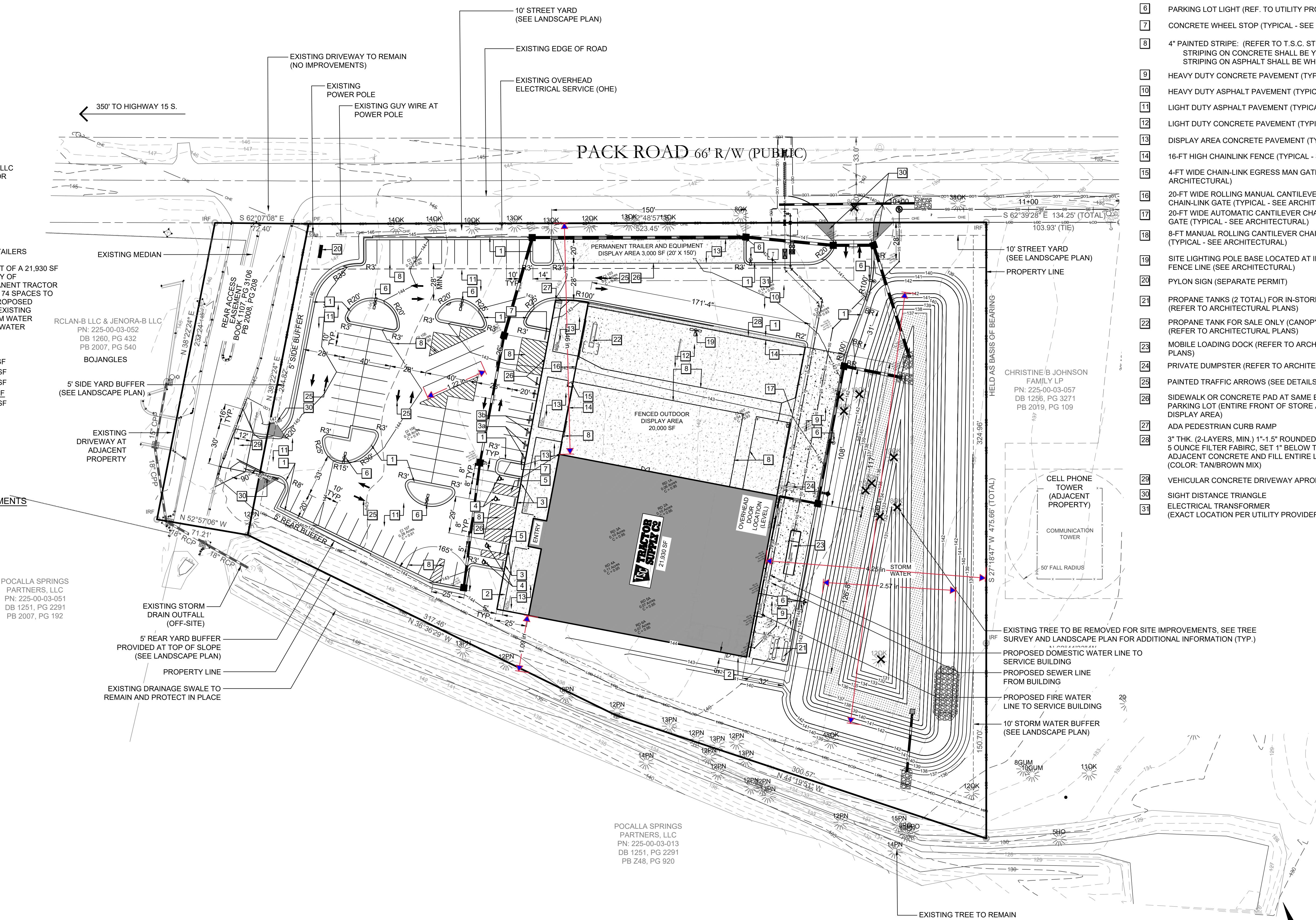
GENERAL COMMERCIAL (GC) DIMENSIONAL REQUIREMENTS

FRONT SETBACK: 35'
 SIDE SETBACK: 0' (NONE REQUIRED WHEN ADJACENT TO NON-RESIDENTIAL PROPERTY)
 REAR SETBACK: 20' (AT NON-RESIDENTIAL DISTRICT)
 MAX. BUILDING HT.: 60'
 IMPERVIOUS SURFACE RATIO: 92% MAX.

SIGN NOTES
 PROJECT SIGNAGE WILL BE SUBMITTED UNDER SEPARATE PERMIT. APPROXIMATE LOCATION OF PROPOSED SIGN IS SHOWN ON THE SITE PLAN, SEE KEY NOTE #17. ANY PROPOSED SIGN IS SUBJECT TO SECTION 5.6 OF THE UDO.

SIGHT DISTANCE TRIANGLE NOTES
 ALL PROPOSED VEGETATION WITHIN SIGHT DISTANCE TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 3'-6" TO 10'

FLOOD NOTES
 THE SUBJECT PARCEL DOES NOT LIE WITHIN A FLOOD ZONE AS INDICATED BY FEMA FLOOD ZONE MAP NUMBER 45085C0476E, BEARING AN EFFECTIVE DATE OF 10/27/2022.



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

SITE PLAN

REVISIONS:

CLIENT INFORMATION:

PARAMOUNT

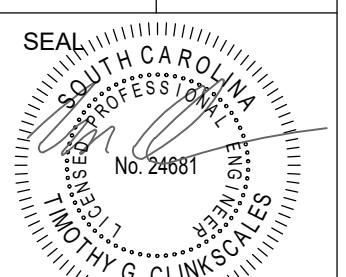
122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-3701 (O) (910) 791-6760 (F)
 NC License # C-2846

PROJECT STATUS

CONCEPTUAL LAYOUT
 PRELIMINARY LAYOUT
 RELEASED FOR CONST.

DRAWING INFORMATION

DATE: 01/06/2026
 SCALE: 1"=40'
 DESIGNED: DRAFTER: C-24681
 CHECKED: C-24681



PEI JOB #: 24358.PE

SITE KEY NOTES:

- 24" CURB & GUTTER (TYPICAL - SEE DETAIL)
- CONCRETE SIDEWALK (TYPICAL - SEE DETAIL)
- HANDICAP PARKING SIGN (TYPICAL - SEE ARCHITECTURAL)
- VETERAN PARKING SIGN (TYPICAL - SEE ARCHITECTURAL)
- BOPIS PARKING SIGN (TYPICAL - SEE ARCHITECTURAL)
- HANDICAP PARKING SYMBOL (TYPICAL - SEE DETAIL)
- HANDICAP ACCESS UNLOADING ZONE: SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPE AS SHOWN. (TYPICAL - SEE DETAIL)
- PARKING LOT LIGHT (REF. TO UTILITY PROVIDER)
- CONCRETE WHEEL STOP (TYPICAL - SEE DETAIL)
- 4" PAINTED STRIPE: (REFER TO T.S.C. STD. CRITERIA)
 STRIPING ON CONCRETE SHALL BE YELLOW
 STRIPING ON ASPHALT SHALL BE WHITE
- HEAVY DUTY CONCRETE PAVEMENT (TYPICAL - SEE DETAIL)
- HEAVY DUTY ASPHALT PAVEMENT (TYPICAL - SEE DETAIL)
- LIGHT DUTY ASPHALT PAVEMENT (TYPICAL - SEE DETAIL)
- DISPLAY AREA CONCRETE PAVEMENT (TYPICAL - SEE DETAIL)
- 16-FT HIGH CHAINLINK FENCE (TYPICAL - SEE ARCHITECTURAL)
- 4-FT WIDE CHAIN-LINK EGRESS MAN GATE (TYPICAL - SEE ARCHITECTURAL)
- 20-FT WIDE ROLLING MANUAL CANTILEVER CHAIN-LINK GATE (TYPICAL - SEE ARCHITECTURAL)
- 20-FT WIDE AUTOMATIC CANTILEVER CHAIN-LINK GATE (TYPICAL - SEE ARCHITECTURAL)
- 8-FT MANUAL ROLLING CANTILEVER CHAIN-LINK GATE (TYPICAL - SEE ARCHITECTURAL)
- SITE LIGHTING POLE BASE LOCATED AT INTERIOR OF FENCE LINE (SEE ARCHITECTURAL)
- PYLON SIGN (SEPARATE PERMIT)
- PROPANE TANKS (2 TOTAL) FOR IN-STORE USE (NO CANOPY) (REFER TO ARCHITECTURAL PLANS)
- PROPANE TANK FOR SALE ONLY (CANOPY) (REFER TO ARCHITECTURAL PLANS)
- MOBILE LOADING DOCK (REFER TO ARCHITECTURAL PLANS)
- PRIVATE DUMPSTER (REFER TO ARCHITECTURAL PLANS)
- PAINTED TRAFFIC ARROWS (SEE DETAILS)
- SIDEWALK OR CONCRETE PAD AT SAME ELEVATION AS PARKING LOT (ENTIRE FRONT OF STORE AND OUTDOOR DISPLAY AREA)
- ADA PEDESTRIAN CURB RAMP
- 3" THK. (2-LAYERS, MIN.) 1"-1.5" ROUNDED RIVERROCK OVER 5 OUNCE FILTER FABRIC, SET 1" BELOW TOP OF CURB AND ADJACENT CONCRETE AND FILL ENTIRE LENGTH (COLOR: TAN/BROWN MIX)
- VEHICULAR CONCRETE DRIVEWAY APRON (SEE DETAILS)
- SIGHT DISTANCE TRIANGLE
- ELECTRICAL TRANSFORMER (EXACT LOCATION PER UTILITY PROVIDER)

01/06/2026

1"

40'

80'

120'

0

20'

40'

60'

80'

100'

120'

140'

160'

180'

200'

220'

240'

260'

280'

300'

320'

340'

360'

380'

400'

420'

440'

460'

480'

500'

520'

540'

560'

580'

600'

620'

640'

660'

680'

700'

720'

740'

760'

780'

800'

820'

840'

860'

880'

900'

920'

940'

960'

980'

1000'

1020'

1040'

1060'

1080'

1100'

1120'

1140'

1160'

1180'

1200'

1220'

1240'

1260'

1280'

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1860'

1880'

1900'

1920'

1940'

1960'

1980'

2000'

2020'

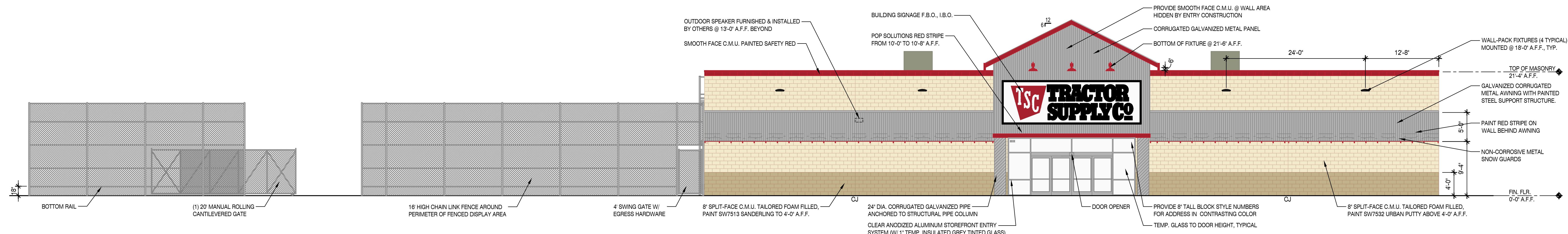
2040'

2060'

2080'

2100'

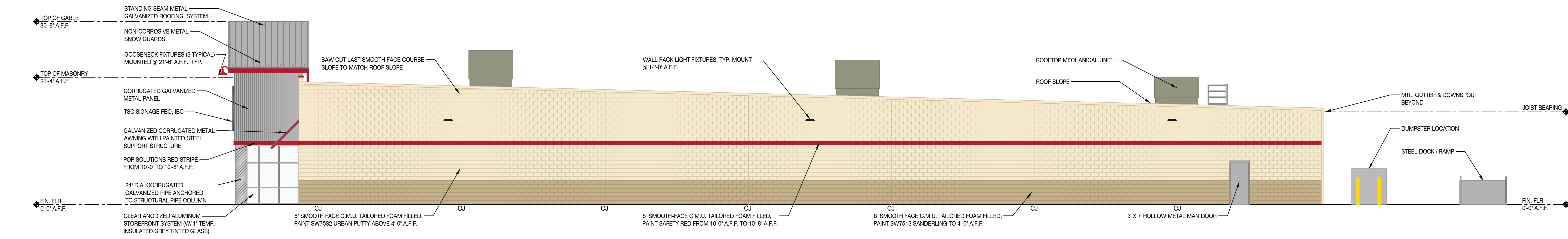
2120'



1 ELEVATION

FRONT

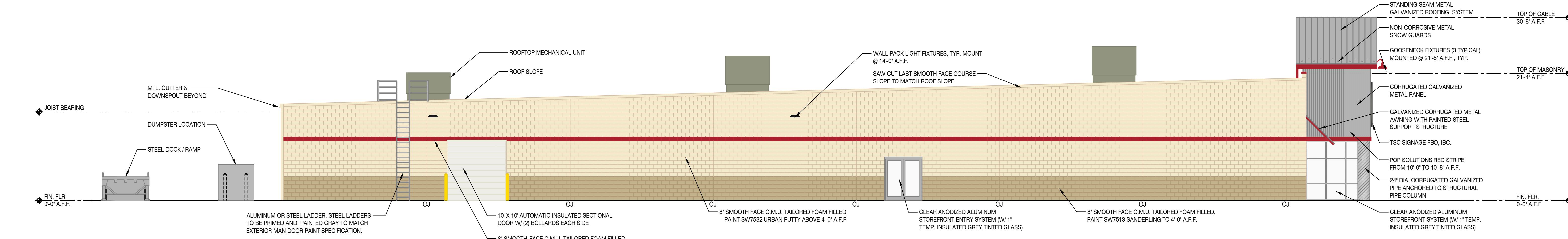
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2 ELEVATION

LEFT SIDE

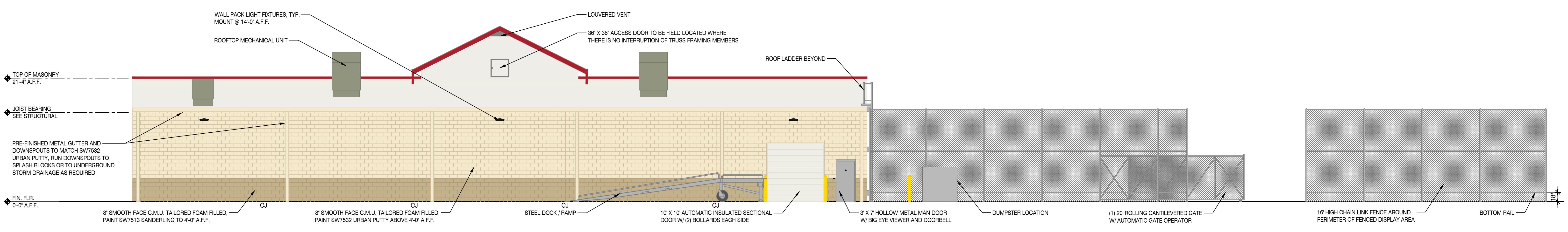
SCALE: 1/8"=1'-0"



3 ELEVATION

RIGHT SIDE

SCALE: 1/8"=1'-0"



4 ELEVATION

REAR

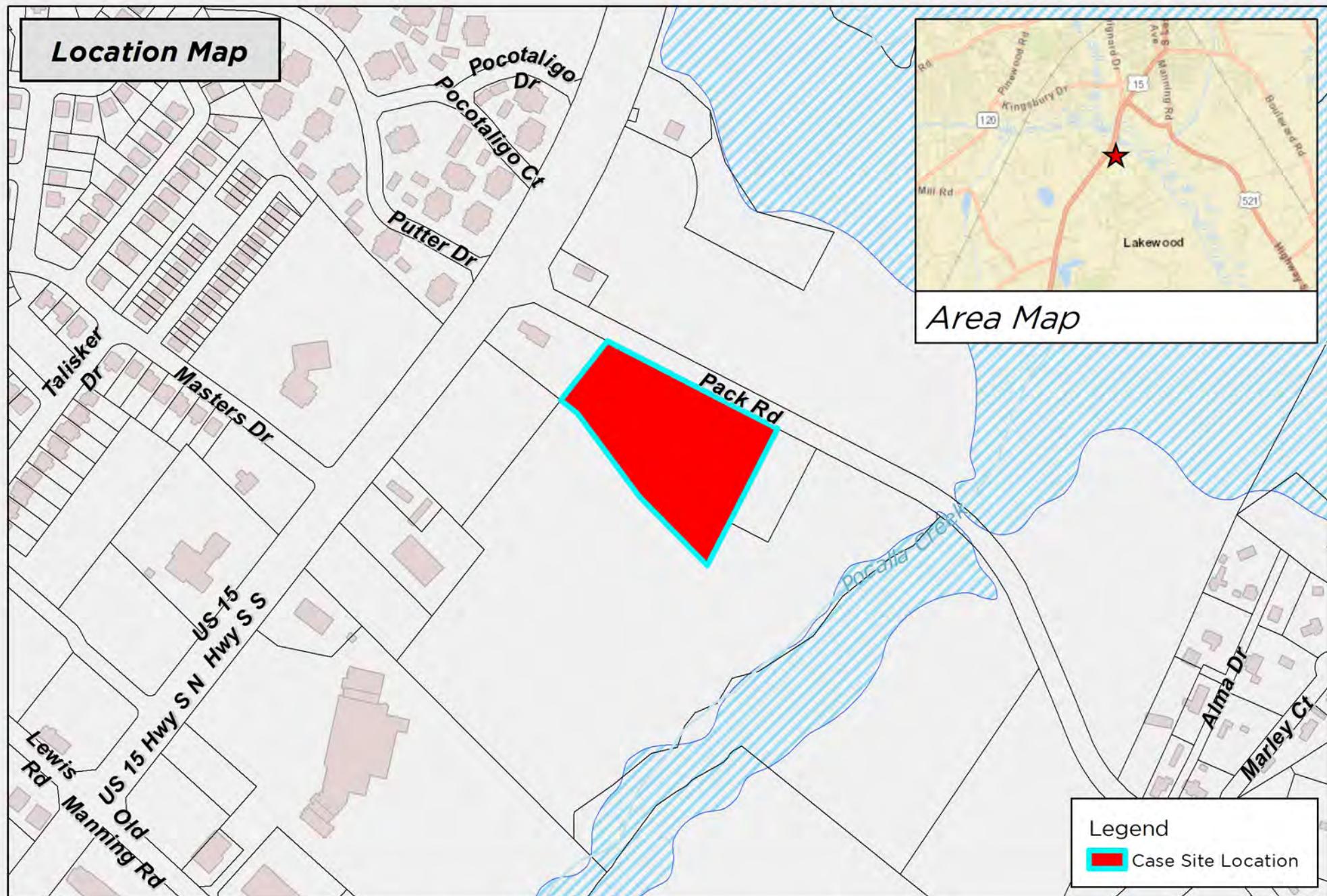
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TRACTOR SUPPLY COMPANY
SUMTER, SOUTH CAROLINA



2934 Sidco Drive
Suite 120
Nashville, TN 37204
Architecture
Planning
Interior Architecture

Location Map



Area Map

Legend

Case Site Location

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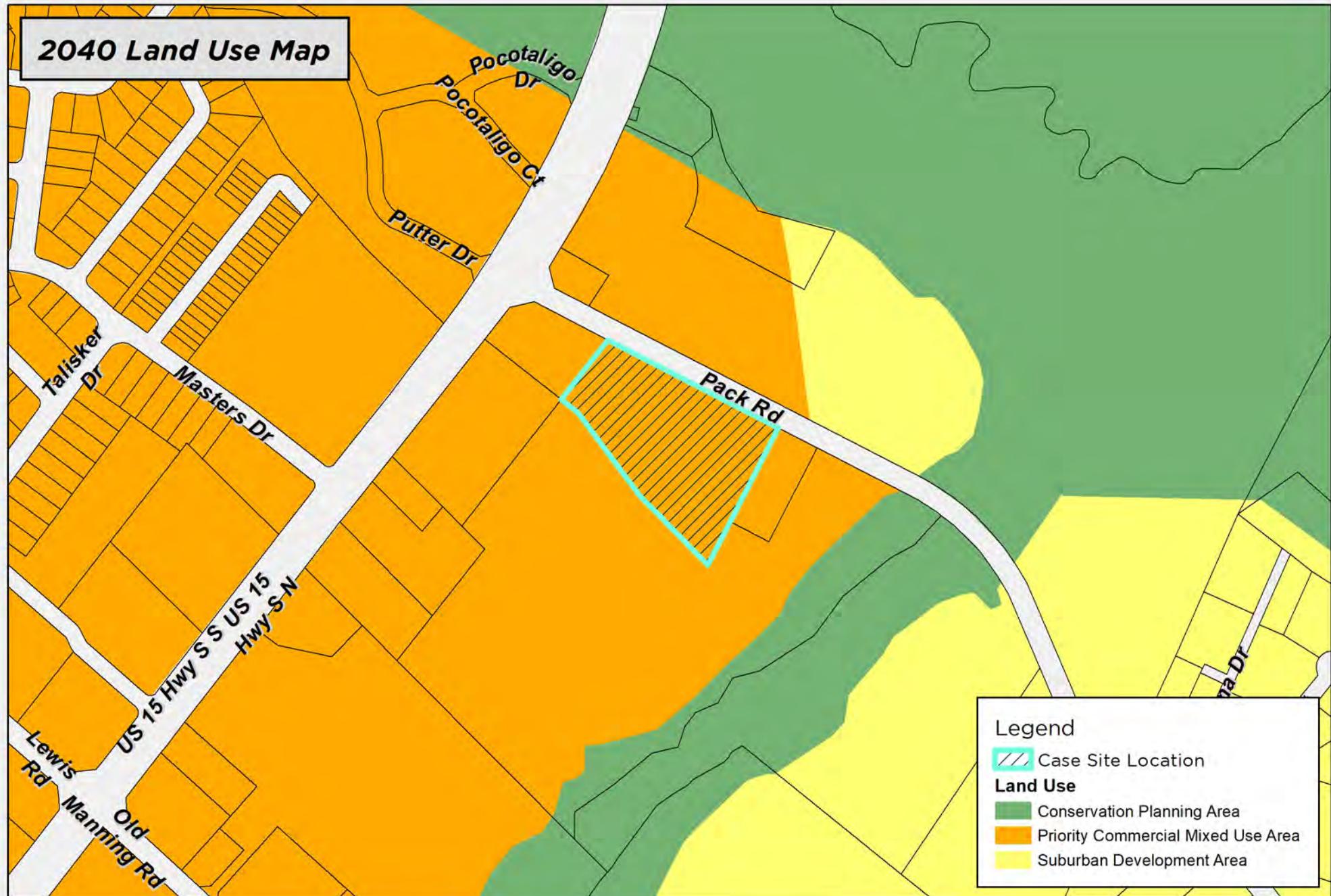
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Date: 1/8/2026
User Name: crobbins
Document Name: MSP-26-02



MSP-26-02
20 Pack Rd, Sumter, SC 29150
Tax Map # 225-00-03-013

2040 Land Use Map



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MSP-26-02
20 Pack Rd, Sumter, SC 29150
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2025 Aerial Photography Map



Legend

/// Case Site Location

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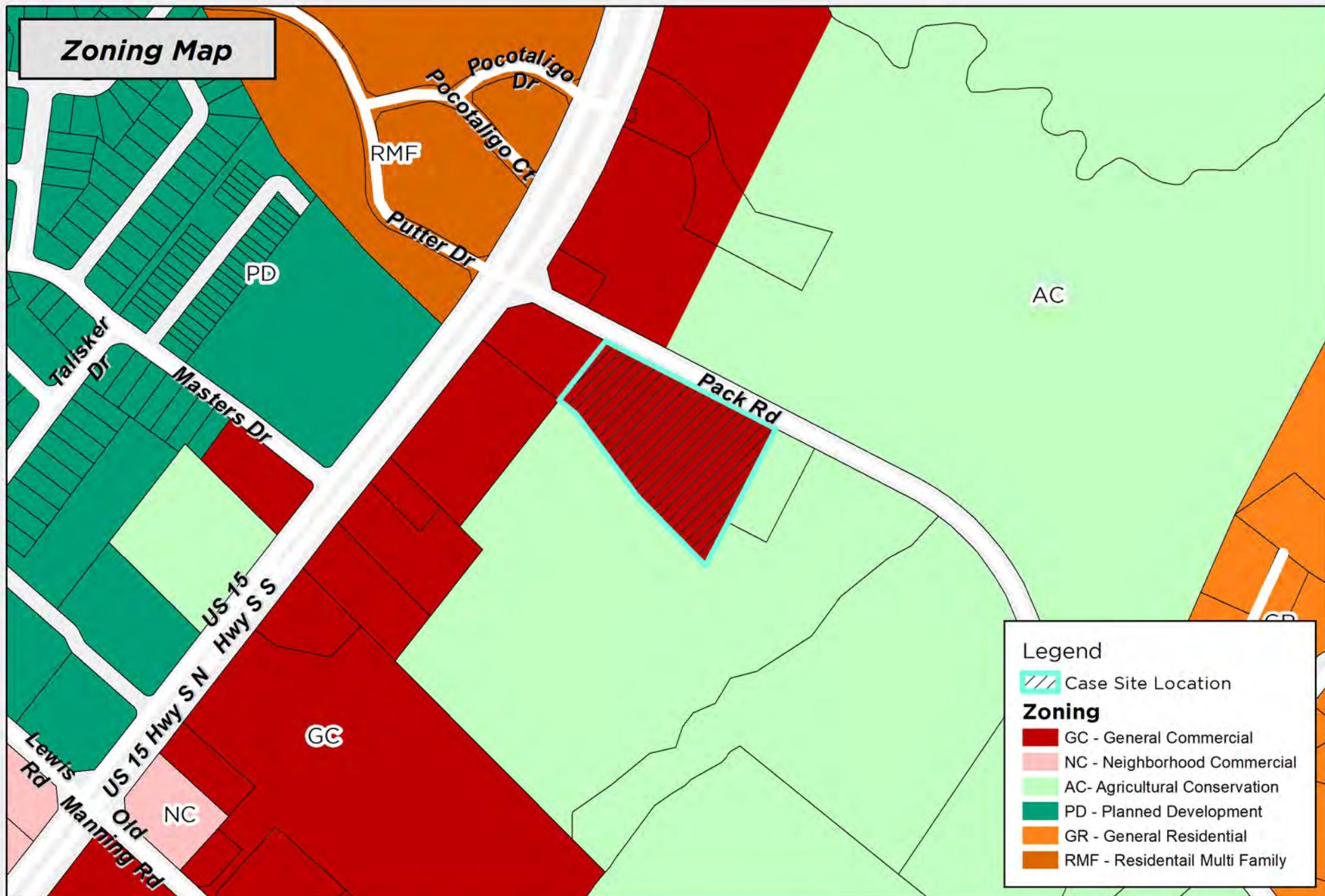
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