

# Sumter City-County Planning Commission

February 25, 2026

## OA-25-08, Landscaping Standards (County)

### I. THE REQUEST

**Applicant:** Sumter County

**Request:** Amend *Article 8, Section D: Landscaping Standards*. of the Sumter County Zoning & Development Standards Ordinance in order to adopt comprehensive landscaping design standards for residential subdivision, commercial and industrial development in Sumter County.

### II. BACKGROUND

At the direction of the County Council Land Use Committee, staff has prepared an amendment to the Sumter County Zoning & Development Standards Ordinance (the “Zoning Ordinance”) to review and amend the proposed landscaping standards that were created in 2013 but did not receive final adoption. The primary goal of this amendment is to provide clear guidance for planting requirements and tree preservation expectations in commercial districts, industrial districts, and within the Highway Corridor Protection District design review overlay while relaxing standards within the agricultural and conservation zoning districts.

This will be a wholesale removal and replacement of Article 8, Section D with new less subjective language with prescriptive planting guidance and buffering standards based on proposed and adjacent land uses. The proposed amendment contains clear guidance related to required landscape plan submissions and an avenue to request relief where site/situation warrant deviation from the established standards.

#### *Proposed Text Amendment*

The proposed text amendment is attached as Exhibit 1. The current Article 8, Section proposed for replacement in attached as Exhibit 2.

### III. STAFF RECOMMENDATION

Staff recommends that the Planning Commission forward this request to County Council with a favorable recommendation.

### IV. PLANNING COMMISSION – February 25, 2026

## SECTION D: Landscaping, Bufferyard and Tree Protection Standards

**8.d.1. Purpose and Intent:** Regulations for landscaping and tree protection are necessary in order to preserve and enhance the visual image of Sumter County, and promote the safety and general welfare of its residents. More specifically, the intent of the landscape ordinance is to:

- a. Provide landscape buffering between land uses.
- b. Protect, preserve, and promote aesthetic appeal and scenic beauty, and enhance property values.
- c. Reduce noise impacts and air pollution, absorb carbon dioxide, provide shade and reduce the heat island effect.
- d. Reduce storm water run-off, control soil erosion and reduce the hazard of flooding.
- e. Filter and reduce glare from artificial light sources, and screen noise and dust.
- f. Provide shaded areas along streets and in parking areas.

### 8.d.2. Applicability and Exemptions:

- a. Applicable Areas:
  1. All land uses requiring major or minor site plan approval, and any additions to commercial projects requiring major or minor site plan review
  2. New major subdivisions in any residential (R-15, R-9, R-16, GR or RMF) or commercial (GC, LC, NC, or PO) zoning district.
- b. Exemptions: Under the following conditions, development shall be exempt from these landscaping, buffering, and tree protection regulations:
  1. Existing single-family detached dwellings and duplex dwellings on individual lots.
  2. Any project outside of the Highway Corridor Protection District (HCPD) that is in either the Agricultural Conservation (AC) or Conservation Preservation (CP) zoning districts.

### 8.d.3. Landscaping and Bufferyard Requirements

- a. Required Planting Areas
  1. Street landscaping
  2. Parking lots
  3. Side and rear yards (Referred to as Type A, B, and C landscaping).
- b. Planting Area Descriptions
  1. **Street Landscaping.** A planting area parallel to a public street designed to provide a continuity of vegetation along the right-of-way and a pleasing view from the road.
  2. **Parking Lot Landscaping.** The landscaping area within and adjacent to parking areas, designed to shade and improve the attractiveness of parking lots and paved

areas.

3. **Type A Landscaping.** A peripheral planting strip intended to separate uses, provide vegetation in densely developed areas and enhance the appearance of individual properties.
4. **Type B Landscaping.** A low-density screen that is intended to partially block visual contact between uses and create spatial separation.
5. **Type C Landscaping.** A medium-density screen that is intended to partially block visual contact between uses and create spatial separation.

**8.d.4. Landscaping Determination:** Requirements for landscaping yards shall be based on the existing land use of the adjacent parcel(s). The type of landscaping yard required for each zoning classification is outlined in Table D1.

a. Landscaping Determination and Calculation.

1. To determine the landscaping required based on development type, take the following steps:
  - a. Identify the proposed or expanded land use and the existing adjacent land use(s). The use on a property supersedes the actual zoning district. For example, a dwelling on a General Commercial (GC) zoned property is always considered a residential use.
  - b. Use the Landscaping Chart, Table D1, to determine the appropriate letter designation for each landscaping area.
  - c. Match the letter designation obtained from the Landscaping Chart with the Landscaping Type Depictions in *Article 8.d.5.* to determine the types and numbers of shrubs and trees required.

<b>Table D1 Landscaping Chart</b>						
<b>Proposed Use</b>	<b>Existing Adjacent Use</b>					
	<b>Agricultural/ Vacant</b>	<b>Residential</b>	<b>Office</b>	<b>Commercial</b>	<b>Light Industrial</b>	<b>Heavy Industrial</b>
<b>Residential</b> <sup>1, 2, 3</sup>	n/a	n/a	A	A	B	C
<b>Office/Institutional</b>	N/A	A	A	A	C	C
<b>Commercial</b>	N/A	A	A	A	B	C
<b>Light Industrial</b>	A	B	B	B	A	B
<b>Heavy Industrial</b>	B	C	C	C	B	A

NOTES:

1. Multifamily housing projects, apartment complexes, and mobile home parks shall be

considered a Commercial use for the purposes of this table.

2. For major subdivision developments, a developer may install a 6 ft. privacy fence in place of a Type A Buffer.
3. For major subdivision developments, a developer may install a 6 ft. privacy fence and a combination of canopy and understory trees in place of a Type B buffer.

#### 8.d.5. Responsibility for Bufferyard Installation

- a. It shall be the responsibility of the proposed use to provide the bufferyard required by Table D1.

#### 8.d.6. Landscaping Type Depictions

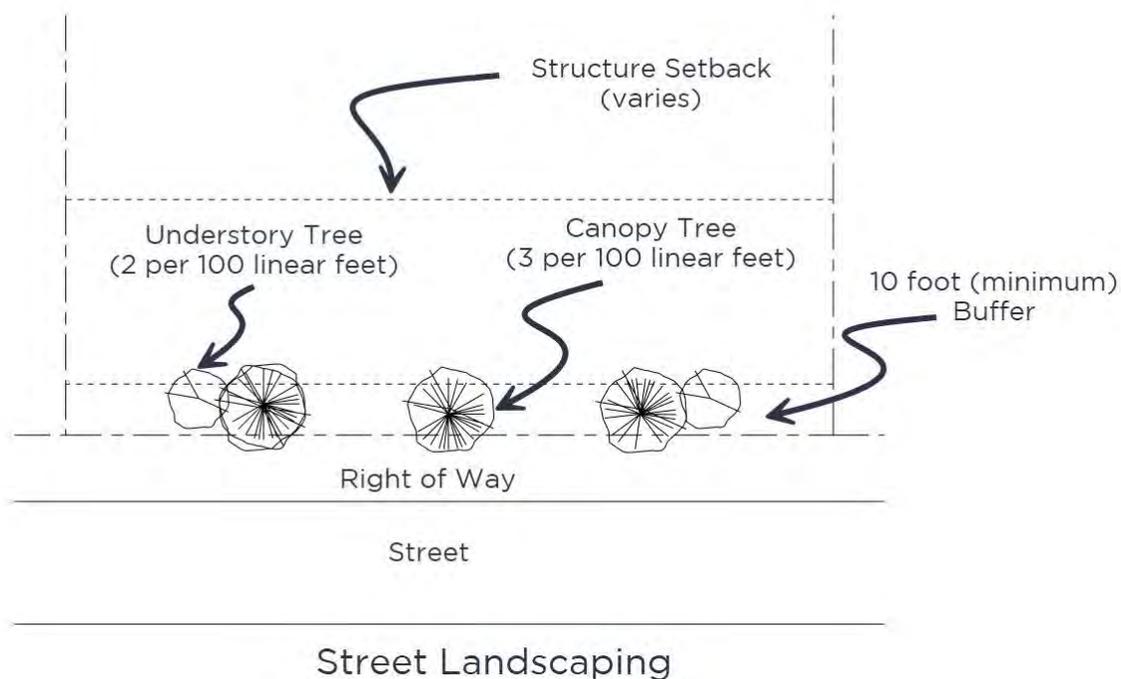
##### a. Street Landscaping

*Buffer width:* 10 foot minimum buffer width

*Plantings:* 3 Canopy trees per 100 linear feet

2 understory trees per 100 linear feet

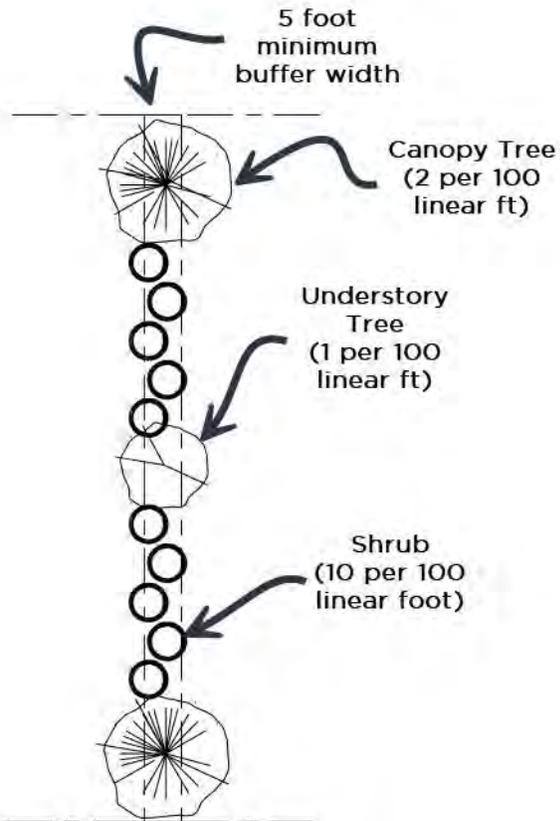
Ground cover (i.e. sod, grass, mulch, etc.)



**b. Type A Landscaping**

*Buffer width:* 5 foot minimum buffer width

*Plantings:* 2 Canopy trees per 100 linear feet  
1 Understory trees per 100 linear feet  
10 Shrubs per 100 linear feet



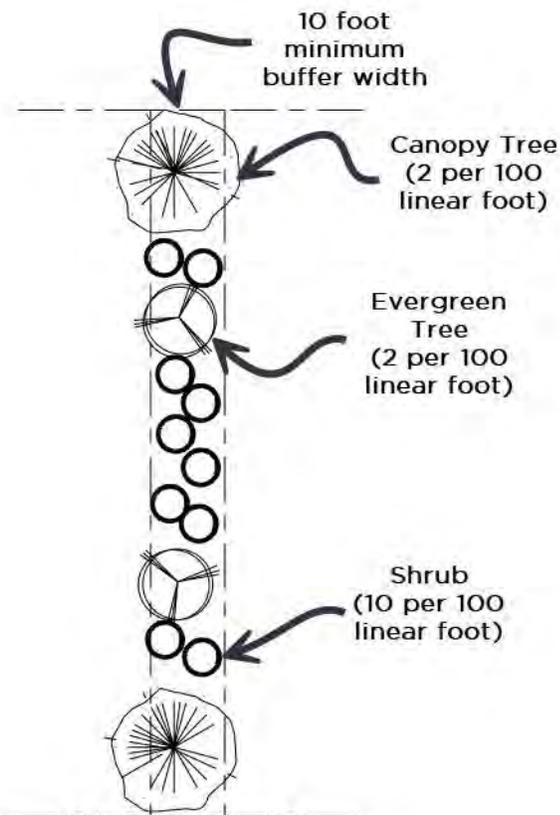
Type A Landscape Buffer

**c. Type B Landscaping** – it is the intent of this buffer to create a partial visual obstruction to uses on the adjacent parcel.

*Buffer width:* 10 foot minimum buffer width

*Plantings:* 2 Canopy trees per 100 linear feet on center  
2 Evergreen trees per 100 linear feet on center  
10 shrubs per 100 linear feet on center

*Fencing:* Walls and fences, a minimum of 6 feet in height (constructed of masonry, stone, pressure treated lumber, or composite material) may be used to reduce the number of plantings by one half.



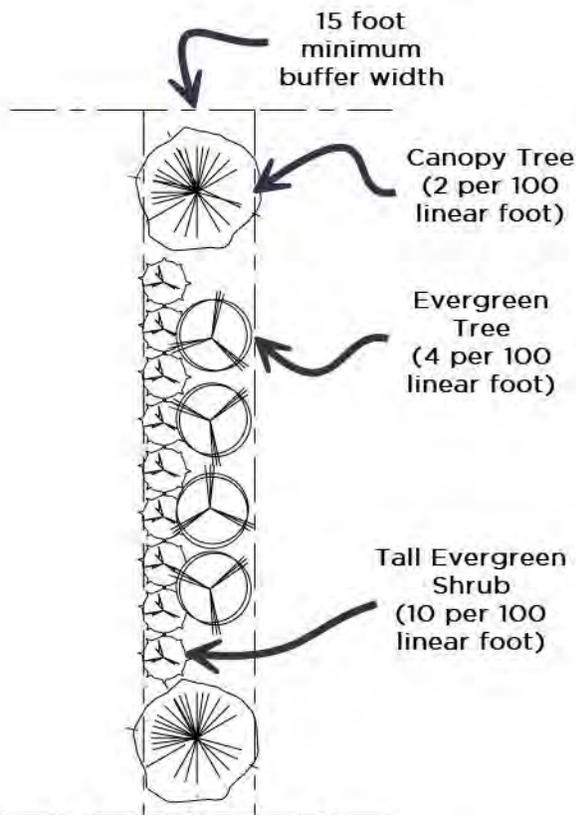
Type B Landscape Buffer

**d. Type C Landscaping** – it is the intent of this buffer to create a full visual barrier to uses on the adjacent parcel.

*Buffer width:* 15 foot minimum buffer width

*Plantings:* 2 Canopy trees per 100 feet on center  
4 Evergreen trees per 100 feet on center  
10 Tall evergreen shrubs per 100 feet on center

*Fencing:* Walls and fences, a minimum of 6 feet in height (constructed of masonry, stone, pressure treated lumber, or composite material) may be used to reduce the number of plantings by one half.



**Type C Landscape Buffer**

**8.d.7. Utility Service:** When the configuration of a site is such that the required landscaping set forth herein must be placed in proximity to utility services, consideration shall be given to the estimated mature height of required plant materials, as well as root structure.

- a. Understory trees which have an estimated mature height less than that of the overhead utility service may be substituted on a 2:1 ratio for canopy trees.

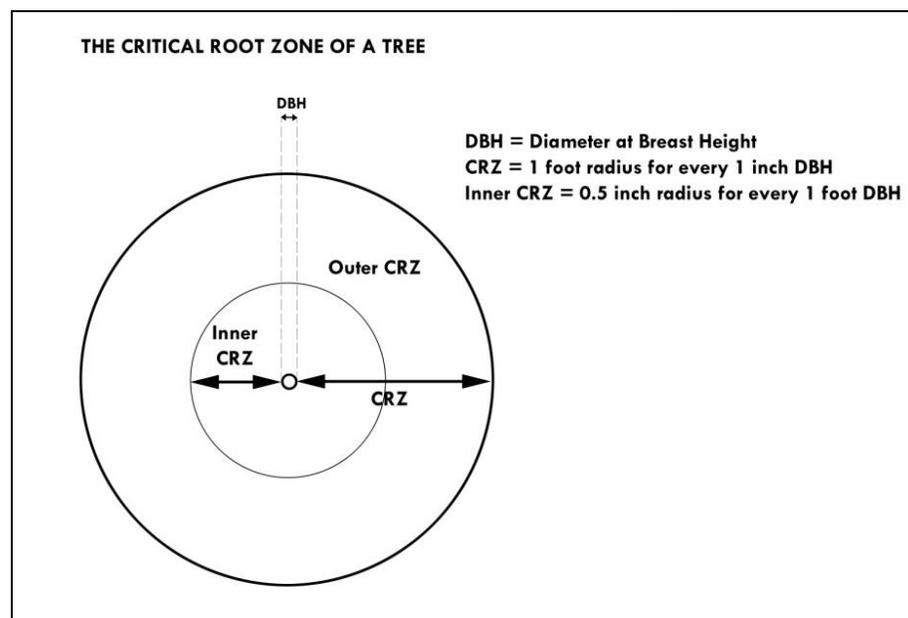
**8.d.8. Landscaping Design Standards**

- a. Calculation of Street Landscaping: Street landscaping rate and width calculations shall be based on gross linear footage at the street frontage.
- b. All plant materials used to satisfy requirements set forth herein shall be suitable for the climatic characteristics of Sumter (USDA Climate Zone 8).
- c. All plans must cite the most recent recommendations of American Standards for Nursery Stock by the American Association of Nurserymen with regards to size standard, planting specifications and maintenance recommendations.
- d. Equal spacing of plant material shall not be required. Plant materials may be grouped and clustered in order to present a more natural appearance. However, clusters of plant material shall be distributed equally throughout the landscaped areas.
- e. Existing trees may be counted as canopy or understory as set forth herein provided such trees are a minimum of 2” inches in caliper, in good health and located in the approximate area as required herein. Invasive species shall not be counted toward existing trees.
- f. Parcels containing delineated wetlands (as determined by U.S. Army Corps of Engineers) which would normally require landscape buffers as determined in this Article shall be exempt from such required buffer provided the width of the delineated wetlands is a minimum of 30 feet. If the adjacent wetlands should be mitigated and approved for development in the future, the required buffer shall be specified and installed at that time.
- g. No structures or portions of structures (except structures required in conjunction with public utility services and public transit, fences, or walls) shall be permitted in a required landscape buffer. Ingress and egress shall be permitted through required landscape buffers
- h. Adjacent commercial parcels shall provide pedestrian and bicycle connectivity when a buffer separates parcels. A minimum 5 foot width walkway shall be provided to allow pedestrian and bicycle access between parcels. This requirement shall be waived if there is a sidewalk at the street.

#### **8.d.9. Definitions**

- a. Berms. Berms constructed to satisfy buffer requirements stated herein shall be physical barriers which screen incompatible land uses. If included in the landscape design, berms more than 2 ft. in height shall be:
  - 1. Constructed with a maximum slope of 1 foot of rise to 3 feet of run (1:3).
  - 2. Have a minimum crown of 6 feet in width.
  - 3. Have a maximum slope of 1:4 when greater than 6 feet in height, as measured from the exterior property line.
  - 4. Designed and constructed with an undulating appearance which mimics as much as is practicable a natural topographical feature of the site.

5. Substantially planted and covered with live vegetation. No berm shall consist entirely of turf grass, groundcover, mulch or similar material. If a berm is greater than 2 feet in height all trees shall be arranged so that they are planted within 2 vertical feet of the natural grade. The surface of the berm shall be planted according to Table D1 and Article 8.d.6.c. Berms functioning as part of a front bufferyard shall be planted using Type A landscaping.
  6. Fully installed, planted and stabilized prior to issuance of certificate of occupancy.
  7. Designed to prevent standing water or to impede the flow of storm water from adjacent properties.
  8. Free of structures, including fences, unless approved by the Planning Commission as part of the landscaping requirements for site development.
- b. Barricade. Protective fencing consisting of 2x4-inch posts with 1x4-inch rails or orange safety fence, for the purpose of tree preservation and to protect environmentally sensitive areas during construction.
  - c. Caliper. Tree caliper, or diameter, is measured 6 inches above the ground for young and recently planted trees. Measurement of mature trees is based on Diameter at Breast Height (DBH).
  - d. Critical Root Zone (CRZ). Tree Protection Area. Calculated by 1 foot radius for every 1" DBH, or a 10' radius of the trunk of a tree, whichever is greater.



- e. Deciduous Plant. A plant that loses its leaves in winter.
- f. Diameter at Breast Height (DBH). The diameter of an existing tree, measured 4.5 ft from ground level. For multi-stemmed varieties, add the individual stem widths to calculate DBH.

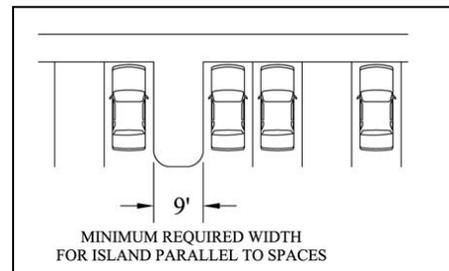
- g. Evergreen Plant. A plant that does not lose its leaves and remains green in the winter.
- h. Groundcover. Groundcover shall be grass, turf, sod, ivy, bulbs, potted flowers, and bedding plants. Pebbles, wood chips, bark, mulch, straw and similar materials, may be used in conjunction with groundcover to delineate planting beds, but in no instance shall such materials be used for the purpose of sidewalks, parking areas, or driveways. Areas dedicated for lawns shall be cleared of debris, graded level, and covered with sod, turf, or grass seed.
- i. Historic Tree. A tree listed on Table D2 that is 30” DBH or greater
- j. Irrigation System. A water distribution system that ensures that all plant materials and landscaped areas are watered on a regular basis.
- k. Palm trees. Palm species trees shall be used as an ornamental, canopy, or decorative tree. Palm trees shall be permitted to meet the minimum landscaping requirements (i.e. buffers, perimeter, mitigation requirements, etc.), except for internal parking lot landscaping.
- l. Pervious (permeable) Pavement. A paving system that allows water to move through the driving surface into the stone base below.
- m. Significant Tree. A tree listed on Table D2 that is 12” DBH or greater,
- n. Shrubs.
  - 1. *Foundation/small* – shall be a minimum of 3 gallons in size and 15 inches in height at the time of planting, and shall reach a minimum height of 3 feet at maturity;
  - 2. *Tall* – shall be a minimum height of 3 feet and width of 2 feet at time of planting, and shall reach a minimum height of 6 feet and width of 4 feet at maturity.
- o. Trees:
  - 1. *Canopy* – Any tree that reaches a mature height in excess of 40 feet. Examples include oaks, hickories, maples, poplars, and others.
  - 2. *Understory* –When mature, an understory tree should be between 15 and 40 feet high. Examples include dogwoods, sourwoods, fruit trees, and others.
  - 3. *Evergreen* – A canopy tree that does not lose its leaves and remains green in winter, and typically reaches a minimum mature height of 8 feet.
- p. Verge. A narrow strip of grass, plants, and sometimes also trees, located between the roadway curb, or road surface edge, and the boundary of a road or parking lot.
- q. Walls and Fences. Walls and fences constructed to satisfy buffer requirements stated herein shall be placed in a linear, serpentine, or stepped alignment and shall be a minimum of 6 feet in height, and shall not exceed 8 feet in height. Such walls and fences shall be solid, continuous structures made of brick, stone, stucco, concrete, wood or synthetic wood, or composite material. Other materials and

colors may be approved by the Planning Department. The finished side of the fence shall be installed on the outside of the property. Hurricane or chain-link fencing is permitted for use around retention ponds, or where not seen by the general public.

#### 8.d.10. Landscape Requirements for the Interior of Parking Areas

- a. Parking areas shall contain landscape islands and peninsulas located in such a manner as to:
  1. Divide and break up large expanses of paving.
  2. Guide traffic flow and direction.
  3. Promote pedestrian and vehicular safety.
  4. Preserve existing trees and vegetation.
  5. Provide shade and reduce heat island effect.

- b. Parking lot perimeter landscaping shall be determined by Type A – C landscape buffers where the parking lot perimeter is the property perimeter.



- c. The minimum width for a landscape island or peninsula that is parallel to a parking space shall be nine (9) feet, and the minimum length for the same shall be seventeen (17) feet. Each landscape island or peninsula shall contain a minimum of one (1) canopy tree. There shall be no more than 20 parking spaces between landscape islands.
- d. Each end of each row of parking spaces shall require a landscape island unless the end of such row of parking spaces is adjacent to a perimeter landscape screen or border as required in Section 8.d.3.
- e. The Zoning Administrator may consider reducing the width of a landscape island and the amount of plant materials by up to 50% if impervious surface reduction design methods, as described in Article 8.d.11, are used in a parking area. Traditional curb and gutter may be replaced by wheel stops, or curb cuts may be implemented as part of a Low Impact Development (LID) grading system.

#### 8.d.11. Parking Lot Design for Impervious Surface Reduction.

- a. Use minimum parking stall and ADA compliant dimensions.
- b. Use the most space-efficient stall configuration for the site.
- c. Selection of pervious surface material shall be based on amount of automobile traffic and use.
- d. If soils are suitable, drain parking lot runoff into infiltration islands using curb cuts or flat curbs with ribbon edging and wheel stops. If existing soils are unsuitable for infiltration, excavate the infiltration area to a depth of 3 feet and fill with a planting soil mix.
- e. Plant native perennials or grasses, or shrubs rather than turfgrass over as much of

- non-paved surfaces as possible.
- f. Use of other accepted best engineering practices for LID.

#### **8.d.12. Stormwater Facility Landscape Requirements**

- a. Native plants and selected non-native plants shall be required in and around on-site stormwater facilities. The plant species selected shall be those which are commonly known to flourish in wetland or stormwater areas. Non-native species shall be approved on a case-by-case basis and shall be proven non-invasive species.
  - 1. 70% of the disturbed area and slopes of a Stormwater area, excluding any area intended to be wet at all times, shall be planted with perennial cover (grasses, shrubs, perennials) of either native or approved non-native plants. A combination of coir fabric and seed mix is acceptable as long as all slopes greater than 8% are completely covered.
- b. No trees shall be planted on dams, pond slopes or fill dirt areas, or anywhere that may compromise the integrity of the storm water engineering system.
- c. Native plants are not required in swales located in turfgrass areas or lawns.
- d. Chain link fencing is permitted around stormwater facilities. If said fencing is visible to the road right of way the fence shall be black or green so as to blend into the landscaping.

#### **8.d.13. Residential Subdivision Development** – Major subdivision developments in zoning districts subject to landscaping requirements shall comply with the following:

- a. Subdivision Front Bufferyard (Exterior Street Landscaping) Requirements. A subdivision must choose from the following street landscaping types:
  - 1. Berms. Shall meet the standards as described in Article 8.d.9.a. minimum bufferyard width 20 feet.
  - 2. Walls. Shall be constructed of brick, stucco or stone, pressure treated lumber or composite material with a minimum height of 6 feet. All walls along the street frontage shall be constructed of the same material and provide a uniform appearance.
  - 3. Type A buffer.
- b. Subdivision Perimeter Bufferyard Requirements: perimeter plantings for a subdivision shall be in accordance with Table D1.
- c. Bufferyards shall be located on commonly owned open space controlled by an approved Homeowners Association (HOA). Said organization shall be responsible for maintenance and upkeep of all required buffers.

#### **8.d.14. Landscape Plan Submittal Requirements**

- a. 1 physical copy and 1 digital copy (PDF) of the proposed landscape plans shall be submitted for zoning compliance.
- b. The landscape plan shall be drawn to scale and shall illustrate the following information:
  1. Scale, date and north arrow;
  2. Location and labels for all proposed vegetation, including a legend;
  3. Planting and installation details for proposed plant materials.
  4. Location labels of existing vegetation and trees to be saved;
  5. Methods and details for the protection of existing vegetation;
  6. Location and specifications for proposed fences, walls, and berms – plans shall include a scaled cross section of any proposed berms;
  7. Plant list or schedule with the botanical and common name, quantity, spacing and size of all proposed materials at the time of installation;
  8. Provide a tree legend with existing trees, and all significant and historic trees.
  9. Location of all existing and proposed structures, paved areas, landscape islands, and sidewalks;
  10. Location and specification of proposed irrigated areas;
  11. Location and specifications for dumpster pads;
  12. List adjacent land uses and zoning districts of adjacent properties.
  13. Location of environmental conditions such as creeks, wetlands, floodplain areas, Carolina bays or any other environmental features of note.

#### **8.d.15. Plant Material and Irrigation Requirements:**

- a. All plant materials used in a landscape plan must meet the following minimum standards at time of planting:
  1. Canopy Trees must be a minimum of 1.5-inch caliper with a minimum height of 6 feet.
  2. Understory Trees must be a minimum of 1.5-inch caliper with a minimum height of 5 feet.
  3. Multi-stemmed specimens shall be calculated by adding the calipers of individual stems. The cumulative caliper for any multi-stemmed specimen must be a minimum of 1.5 inches.
  4. Evergreen Trees must be a minimum height of 5 feet.
  5. “Tall Shrubs” as specified for bufferyards shall be a minimum height of 3 feet and width of 2 feet at time of installation and shall reach a minimum mature height of 6 feet and width of 4 feet. The tall shrubs used in a buffer shall be predominantly evergreen, no more than one in ten of the shrubs used in a bufferyard may be deciduous.
  6. Foundation/small shrubs shall be 15 inches tall when planted; 36 inches in height at maturity.
  7. Any deviations from these minimum standards must reference the most updated version of the American Nursery and Landscaping Association’s publication American Standards for Nursery Stock (ANSI) for plant material standards.
  8. Rootbound, damaged, diseased or otherwise inferior plant material shall be replaced before final zoning approval is given.

**8.d.16. Tree Preservation**

- a. Existing trees and vegetation may be used to satisfy requirements stated herein. Site plans shall be designed to preserve existing vegetation.

Trenching, placing backfill, driving or parking equipment in the CRZ area, and dumping of oil, trash, paint or other materials detrimental to plant health in close proximity to protected trees is prohibited;

- b. Tree Survey/Tree Protection Plan: A tree survey and tree protection plan is required in all areas to be developed, excluding any development activity in residentially zoned districts in the County. The survey shall include the species and location of all significant and historic trees. A tree protection plan shall be drawn to scale and submitted as part of a landscape plan, site plan, preliminary subdivision plan, when seeking a land disturbance permit, or filed separately. Components shall include:
  1. Footprint or proposed footprint of any building(s) or structure(s);
  2. Areas of clearing, grading, trenching, and other earth moving activities;
  3. Significant and/or historic trees in area(s) to be developed, with barricades around CRZ of trees shown on plan;
  4. Areas to be protected during development are not required to show individual significant or historic trees, as long as the entire area is contained by a barricade and is indicated on the tree protection plan;
  5. Ponds, creeks, wetlands, floodplain areas, Carolina bays and other ~~important~~ natural features shall be protected by silt fencing or other methods that ensure their protection from erosion and disturbance during development activities. The developer is responsible for coordinating with the U.S. Army Corps of Engineers to obtain necessary permits for areas determined to be jurisdictional and under their purview.
  6. Areas of planned remediation for significant and/or historic trees to be removed shall be indicated on the submitted landscape plan;
  7. Existing trees may be counted in meeting the number of required trees for Street Landscaping and buffers. To be counted, a tree must have a tree diameter at breast height (DBH) of two inches.
  8. In parking lots, curb and gutter systems shall be installed around the CRZ of existing trees to maintain a protective area after construction. Soil amendments and mulch shall be applied to refill areas where soil removal and root pruning have taken place;
  9. Permeable paving, asphalt or concrete as well as tree grates, structural soils, and other engineered products which allow water to penetrate the soil underneath the tree are permitted within the outer CRZ area. Sidewalks and other hardscape

elements with permeable qualities are permitted in outer CRZ areas. When installing such elements, tree roots shall be pruned with clean cuts at the edge of the disturbed area and shall not compromise more than 25% of the outer CRZ area. No fill shall be placed above grade, and no disturbance, parking of heavy machinery or planting is permitted within the Inner CRZ area of a tree. (See graphic entitled “Critical Root Zone of a Tree” in definitions [Article 8.d.9.d](#))

10. No planting other than groundcover is to occur within the outer CRZ of an existing significant or historic tree being retained on-site;
11. Trees and undergrowth in designated open space in an approved plan shall remain undisturbed, except as indicated on an approved plan. Removal of any dead and dying plant, or any plant currently listed on the USDA Invasive and Noxious Weed List is permitted;
12. The following trees are considered significant or historic, depending on size as indicated. It is the intent of this ordinance to encourage the preservation of any mature tree, even if it is not on this list, when located within a development site in a manner that may contribute to any required landscaping.

**Table D2 Significant and Historic Trees**

Latin Name:	Common Name:	DBH for Significant:	DBH for Historic:
<i>Acer rubrum</i>	Red Maple	12”	30”
<i>Carya illinoensis</i>	Pecan	12”	30”
<i>Cedrus deodora</i>	Deodar Cedar	12”	30”
<i>Celtis occidentalis</i>	Hackberry	12”	30”
<i>Fagus grandifolia</i>	Beech	12”	30”
<i>Ginkgo biloba</i>	Ginkgo	12”	30”
<i>Juglans nigra</i>	Black Walnut	12”	30”
<i>Liriodendron tulipifera</i>	Tulip Poplar	12”	30”
<i>Magnolia grandiflora</i>	Southern Magnolia	12”	30”
<i>Nyssa sylvatica</i>	Tupelo	12”	30”
<i>Quercus virginiana</i>	Live Oak	12”	30”
<i>Quercus spp.</i>	All other large oaks, except water oaks	12”	30”
<i>Pinus palustris</i>	Longleaf Pine	12”	30”
<i>Ulmus Americana</i>	American Elm	12”	30”
<i>Ulmus parviflora</i>	Chinese Elm	12”	30”
<i>Taxodium distichum</i>	Bald Cypress	12”	30”

- c. A Land Disturbance Permit shall be required for all major subdivisions, commercial and industrial projects occupying undeveloped and/or developed property, or portions thereof.
  1. Owner occupied individual residential properties and on-going farm operations are expressly excluded from the provisions requiring a land disturbance permit;

2. An application for a Land Disturbance Permit shall be available from the Planning Department. The issuance of a Land Disturbance Permit is contingent upon the approval of a Tree Protection Plan except in single-family or duplex residential parcels.
- d. Tree Removal: A permit shall be required for the removal or destruction of a significant or historic tree or trees. A permit may be issued by the Zoning Administrator if it meets the following criteria:
1. The significant and/or historic tree(s) to be removed is dead, diseased, irreparably damaged, hazardous or creating or potentially creating damage to the property or injury to person;
  2. A landscape plan and tree protection plan have been approved pursuant to this ordinance;
  3. No person, firm, organization, society, association or corporation, or any agent or representative thereof shall directly or indirectly destroy or remove any significant or historic tree situated on property under the jurisdiction of this Section without a *Land Disturbance Permit*. A permit for tree removal is not required for trees on established single family or duplex residential parcels;
  4. It is Council's intent that this Ordinance not render any site impractical for its permitted or conditionally allowed uses. In instances where a Significant or Historic Tree must be removed because such tree is located within a proposed building footprint, street, road, driveway, drainage way, or parking area and no other reasonable design or economically reasonable alternative exists to save the tree, removal shall be mitigated by either if the following options:
    - a. The planting of 2 trees of an equivalent species to the tree(s) being removed (i.e. canopy tree for canopy tree). Such replacement trees will grow to an equal size at maturity of the tree being removed. Replacement trees must meet the minimum planting specifications of this ordinance at time of planting. Replacement trees shall not count towards buffering, street tree or other landscape planting requirements.
    - b. Zoning Administrator approved alternate mitigation plan which meets the public purpose to at least an equivalent degree.

#### **8.d.17. Replacement of Dead, Dying, and Damaged Vegetation.**

- a. The damage, failure to thrive, and/or intentional removal of any landscaped area or vegetation required by this section shall constitute a violation of the Zoning Ordinance. All disturbed landscaped areas and vegetation shall be replanted in accordance with the approved landscape plan or in accordance with an agreed upon mitigation plan approved by the Zoning Administrator.
- b. Upon notification by the Zoning Administrator, dead or dying plant materials required by an approved landscape/buffering plan shall be replaced by the current

property owner(s) or legally responsible party. Failure to act within 30 days of notice by the Zoning Administrator will constitute a zoning violation.

- c. **Emergencies:** In the case of emergencies such as windstorms, ice storms, fire, or other disasters, the Zoning Administrator may waive the requirements of this ordinance during the emergency period so that the requirements of this ordinance will in no way hamper work to restore order. This shall not be interpreted as a general waiver of the intent of this ordinance. A period of one year shall be granted following such an emergency, for the requirements of the ordinance to be met;

**8.d.18. Revisions to Approved Plans:** Due to seasonal planting problems and/or lack of plant availability, approved landscape plans may require minor revisions. In instances where planting is delayed by weather or other factors, a written request for planting extensions shall be provided to the Zoning Administrator indicating a finite date for final installation. Minor revisions to landscaping plans may be approved by the Zoning Administrator so long as the plan does not violate any part of this ordinance.

**8.d.19. Waivers:** A waiver of the landscaping requirements may be requested of the Zoning Administrator. The waiver request shall be in writing and include a detailed justification in support of the request. Waiver requests shall be judged on their ability to provide an alternative design which meets the public purpose to at least an equivalent degree.

**8.d.20. Recommended Planting:** The following list contains those plant materials which are native to the Sumter area or have been determined to be suitable for the climate of the Sumter area. Applicants seeking landscape plan approval are encouraged but not required to select plant materials from the following plant list. The Zoning Administrator may consult an arborist, the South Carolina Urban Tree Species Guide, SCDOT Tree Guide, or any other industry recognized source for more information.

**Table D3 Canopy Trees:**

Common/Scientific Name	Height and Width	Sun and Shade
Ash, green/ <i>Fraxinus pennsylvanica</i>	60-70' h/45' w	FS
Beech, American/ <i>Fagus grandifolia</i>	50-75' h/40-80' w	PS/FS
Birch, River/ <i>Betula nigra</i>	40-70' h/25-45' w	PS/FS
Blackgum/ <i>Nyssa sylvatica</i>	65-75' h/25-35' w	PS/FS
Deodar Cedar/ <i>Cedrus deodara</i>	40-60' h/25-30' w	PS/FS
Cryptomeria, Japanese/ <i>Cryptomeria japonica</i>	50-60' h/15-20' w	FS
Cypress, bald/ <i>Taxodium distichum</i>	60-80' h/25-35' w	FS/PS
Cypress, pond/ <i>Taxodium ascendens</i>	50-60' h/50-60' w	PS/FS
Dawn redwood/ <i>Metasequoia glyptostroboides</i>	70-90' h/25-35' w	FS/PS
Ginkgo/ <i>Ginkgo biloba</i>	50-75' h/50-60' w	PS/FS
Hackberry/ <i>Celtis occidentalis</i>	40-60' h/30-50' w	FS
Hickory, pignut/ <i>Carya glabra</i>	50-65' h/30-40' w	PS/FS
Hickory, shagbark/ <i>Carya ovata</i>	60-80' h/25-35' w	PS/FS
Holly, American/ <i>Ilex opaca</i>	40-80' h/25-50' w	PS/FS
Hophornbeam, American/ <i>Ostrya virginiana</i>	40-50' h/25-35' w	PS/FS

Hornbeam, European/ <i>Carpinus betulus</i>	40-50' h/15-20' w	PS
Katsura tree/ <i>Cercidiphyllum japonicum</i>	40-60' h/35-60' w	PS/FS
Loblolly bay/ <i>Gordonia lasianthus</i>	50-60' h/10-15' w	PS/FS
Magnolia, Southern/ <i>Magnolia grandiflora</i> 'Claudia Wannamaker'	60-80' h/30-40' w	PS/FS
Magnolia, Southern/ <i>Magnolia grandiflora</i> 'Bracken's Brown Beauty'	40-50'h/15-30'w	FS
Maple, red/ <i>Acer rubrum</i>	60-75 'h/25-35' w	PS/FS
Maple, sugar/ <i>Acer saccharum</i>	50-80' h/35-50' w	S/FS
Oak, Chinese evergreen/ <i>Quercus myrsinifolia</i>	30-50' h/20-30' w	FS
Oak, laurel/darlington/ <i>Quercus laurifolia</i>	60-70 'h/50' w	PS/FS
Oak, live/ <i>Quercus virginiana</i>	60-80' h/60-120' w	PS/FS
Oak, nuttall/ <i>Quercus nuttallii</i>	40-60' h/25-40' w	FS
Oak, overcup/ <i>Quercus lyrata</i>	40-50' h/35-50' w	FS
Oak, shumard/ <i>Quercus shumardii</i>	60-80' h/40-50' w	FS
Oak, southern red/ <i>Quercus falcata</i>	60-80' h/60-70' w	FS
Oak, willow/ <i>Quercus phellos</i>	70-80' h/35-50' w	FS
Oak, swamp chestnut/ <i>Quercus michauxii</i>	60-70' h/30-50' w	PS/FS
Oak, white/ <i>Quercus alba</i>	60-100' h/60-80' w	PS/FS
Pine, loblolly/ <i>Pinus taeda</i>	50-80' h/30' w	FS
Pine, longleaf/ <i>Pinus palustris</i>	60-80' h/30-40' w	FS
Redcedar, eastern/ <i>Juniperus virginiana</i>	40-50' h/8-25' w	FS
Sassafras/ <i>Sassafras albidum</i>	40-60' h/25-40' w	PS/FS
Sweetgum/ <i>Liquidambar styraciflua</i>	75' h/50' w	PS/FS
Sycamore, American/ <i>Platanus occidentalis</i>	75-90' h/60-70' w	FS
Tulip poplar/ <i>Liriodendron tulipifera</i>	80-120' h/25-40' w	FS
Yellowwood, American/ <i>Cladrastis kentukea</i>	40-50' h/40-50' w	PS/FS
Zelkova, Japanese/ <i>Zelkova serrata</i>	50-90' h/50-75' w	FS

FS=Full Sun PS= Part Sun S= Shade

**Table D4 Understory Trees:**

Common/Scientific Name	Height and Width	Sun and Shade
Buckeye, red/ <i>Aesculus pavia</i>	15-20' h/15-25' w	S/FS
Chastetree/ <i>Vitex agnus-castus</i>	10-15' h/15-20' w	PS/FS
Chastetree, cutleaf/ <i>Vitex negundo- 'Heterophylla'</i>	10-15' h/10-15' w	PS/FS
Crapemyrtle/ <i>Lagerstroemia indica</i>	15-30' h/15-25' w	FS
Crapemyrtle, Japanese/ <i>Lagerstroemia fauriei</i>	35-50 'h/25-35' w	FS
Cherry, Okame/ <i>Prunus x incamp 'Okame'</i>	15-25' h/20' w	PS/FS
Dogwood, flowering/ <i>Cornus florida</i>	20-30' h/20' w	PS
Dogwood, Japanese/ <i>Cornus officinalis</i>	20' h/25' w	PS/FS
Dogwood,kousa/ <i>Cornus kousa</i>	15-20' h/15-20' w	PS/FS
Dogwood, pagoda/ <i>Cornus alternifolia</i>	15-20' h/15-20' w	PS/FS
Fringetree/ <i>Chionanthus virginicus</i>	12-15' h/10-15' w	PS/FS
Fringetree, Chinese/ <i>Chionanthus retusus</i>	20' h/10-15' w	PS/FS
Hornbeam, American/ <i>Carpinus caroliniana</i>	20-40' h/20-30' w	PS

Loquat/ <i>Eriobotrya japonica</i>	20-30' h/30-35' w	PS/FS
Maple, amur/ <i>Acer ginnala</i>	15-20' h/15-20' w	PS/FS
Magnolia, star/ <i>Magnolia stellata</i>	15-20' h/10-15' w	PS/FS
Magnolia, Southern/ <i>Magnolia grandiflora</i> 'Little Gem'	20-25' h/10-15' w	PS/FS
Magnolia, sweetbay/ <i>Magnolia virginiana</i>	30-40' h/15-25' w	PS
Maple, hedge/ <i>Acer campestre</i>	30-35' h/30-35' w/	PS/FS
Maple, trident/ <i>Acer buergerianum</i>	30-40' h/25' w	PS/FS
Palm, pindo/ <i>Butia capitata</i>	15-25' h/10-15' w	PS/FS
Persian parrotia/ <i>Parrotia persica</i>	20-40' h/20-40' w	PS/FS
Pistache, Chinese/ <i>Pistacia chinensis</i>	25-35' h/25-35' w	FS/PS
Redbud, Chinese/ <i>Cercis chinensis</i>	10-15' h/6-10' w	PS/FS
Redbud, eastern/ <i>Cercis canadensis</i>	20-30' h/15-30' w	PS
Silverbell, Carolina/ <i>Halesia Carolina</i>	20-40' h/15-30' w	PS/FS
Snowbell, Japanese/ <i>Styrax japonicus</i>	20-30' h/15-25' w	PS/FS
Stewartia, tall/ <i>Stewartia monadelphica</i>	25-35' h/15-25' w	PS/FS
Waxmyrtle/ <i>Myrica cerifera</i>	15-20' h/20-25' w	PS/FS

FS=Full Sun PS= Part Sun S= Shade

**Table D5 Evergreen Trees:** The following list consists of trees that are evergreen and perform well as screens in this climate. This is not an exhaustive list, there may be species acceptable for this use that are not listed here, this is just meant as a general guideline for the type of plants recommended for this purpose.

<b>Common/Scientific Name</b>	<b>Height and Width</b>
Japanese Cryptomeria/ <i>Cryptomeria japonica</i>	50-60' h/20-30' w
'Emily Bruner' Holly/ <i>Ilex cassine</i>	20-30' h/8-15' w
'Nellie R. Stevens' Holly/ <i>Ilex cornuta</i>	20-30' h/10-12' w
'Mary Nell' Holly/ <i>Ilex latifolia</i>	20-25' h/8-14' w
American Holly/ <i>Ilex opaca</i>	40-50' h/20-40' w
Foster's & Savannah Holly/ <i>Ilex x. attenuata</i>	20-30' h/10-12' w
Weeping Yaupon Holly/ <i>Ilex vomitoria</i>	20-30' h/6-12' w
'Emily Bruner' Holly/ <i>Ilex x. Maserveae</i>	18-30' h/8-15' w
Eastern Red Cedar/ <i>Juniperus virginiana</i>	40-50' h/8-20' w
Southern Magnolia/ <i>Magnolia grandiflora</i>	60-80' h/30-50' w
'Little Gem' Magnolia/ <i>Magnolia grandiflora</i>	18-30' h/8-15' w
Sweetbay Magnolia/ <i>Magnolia virginiana</i>	18-30' h/15-25' w
Longleaf Pine/ <i>Pinus palustris</i> *	60-80' h/20-40' w
Live Oak/ <i>Quercus virginiana</i>	40-80' h/60-100' w
Leyland Cypress/x. <i>Cupressocyparis Leylandii</i>	60-70' h/15-25' w
Redcedar, eastern/ <i>Juniperus virginiana</i>	40-50' h/8-25' w

\* Very tall and spindly at maturity, needs other plantings underneath to form a screen

**Table D6 Tall Shrubs:** The following list consists of tall shrubs (greater than 6 feet in height at maturity) that are evergreen and perform well as screens in this climate. This is not an exhaustive list, there may be species acceptable for this use that are not listed here, this is just

meant as a general guideline for the type of plants recommended for this purpose.

<b>Common/Scientific Name</b>	<b>Height and Width</b>
Camellia/ <i>Camellia japonica</i>	10-15' h/6-10' w
Sasanqua/ <i>Camellia sasanqua</i>	6-10' h/6-8' w
Loquat/ <i>Eriobotrya japonica</i>	15-25' h/15-25' w
Inkberry Holly/ <i>Ilex glabra</i>	6-8' h/8-10' w
Foster's Holly/ <i>Ilex x attenuate 'Fosteri'</i>	15-25' h/8-12' w
Yaupon Holly/ <i>Ilex vomitoria</i>	15-20' h/8-15' w
Florida Anise/ <i>Illicium floridanum</i>	6-10' h/6-8'w
Hollywood Juniper/ <i>Juniperus chinensis 'Torulosa'</i>	10-15' h/10-15' w
Japanese Ligustrum/ <i>Ligustrum japonicum*</i>	6-12' h/6-10' w
Loropetalum/ <i>Loropetalum chinense</i>	6-10' h/6-10' w
Banana Shrub/ <i>Michelia figo</i>	6-15' h/6-15' w
Wax Myrtle/ <i>Myrica cerifera</i>	10-15' h/10-15' w
Tea Olive/ <i>Osmanthus heterophyllus</i> (also <i>O. fragrans</i> , <i>O. x serrulata</i> )	8-20' h/8-12' w
Pittosporum/ <i>Pittosporum tobira**</i>	10-15' h/15-20' w
Podocarpus Yew/ <i>Podocarpus macrophyllus</i>	15-35' h/10-18' w
Cleyera/ <i>Ternstroemia gymnanthera**</i>	6-10' h/6-8' w
Waxmyrtle/ <i>Myrica cerifera</i>	15-20' h/20-25' w
Awabuki 'Chindo' Viburnum/ <i>Viburnum awabuki</i>	15-20' h/10-15' w

\* Chinese Privet/*L. sinense* is a noxious, invasive weed and is not permitted.

\*\* Prefer shade

**Table D7 Poor Performers:** The following trees are considered poor performers and are not permitted for use in landscaping applications:

<b>Common Name</b>	<b>Scientific Name</b>
Maple, Norway	<i>Acer platanoides</i>
Maple, Silver	<i>Acer saccharinum</i>
Catalpa	<i>Catalpa speciosa</i>
Honeylocust	<i>Gleditsia triacanthos</i>
Eastern White Pine	<i>Pinus strobes</i>
Scarlet Oak	<i>Quercus coccinea</i>
Siberian Elm	<i>Ulmus pumila</i>

**Table D8 Invasive Species:** No invasive species (shown below) will be allowed in Sumter County. Any plant not listed below but included on the USDA Noxious and Invasive Plant List is also considered an invasive plant.

<b>Common Name</b>	<b>Scientific Name</b>
Tree-of-Heaven	<i>Ailanthus altissima</i>
Garlic Mustard	<i>Alliaria petiolata</i>

Mimosa	<i>Albizia julibrissin</i>
Downy Brome	<i>Bromus tectorum</i>
Musk Thistle	<i>Carduus nutans</i>
Oriental Bittersweet	<i>Celastrus orbiculatus</i>
Purple Star Thistle	<i>Centaurea calcitrapa</i>
Diffuse Knapweed	<i>Centaurea diffusa</i>
Yellow Star Thistle	<i>Centaurea solstitialis</i>
Spotted Knapweed	<i>Centaurea stoebe</i>
Canada Thistle	<i>Cirsium arvense</i>
Houndstongue	<i>Cynoglossum officinale</i>
Scotch Broom	<i>Cytisus scoparius</i>
Air Potato	<i>Dioscorea bulbifera</i>
Common Teasel	<i>Dipsacus fullonum</i>
Russian Olive	<i>Elaeagnus angustifolia</i>
Thorny Olive	<i>Elaeagnus pungens</i>
Autumn Olive	<i>Elaeagnus umbellata</i>
Quackgrass	<i>Elymus repens</i>
Leafy Spurge	<i>Euphorbia esula</i>
Japanese Knotweed	<i>Fallopia japonica</i>
Giant Hogweed	<i>Heracleum mantegazzianum</i>
St. Johnswort	<i>Hypericum perforatum</i>
Cogongrass	<i>Imperata cylindrica</i>
Hairy Whitetop	<i>Lepidium appelianum</i>
Whitetop	<i>Lepidium draba</i>
Dalmatian Toadflax	<i>Linaria dalmatica</i>
Chinese Privet	<i>Ligustrum sinense</i>
Yellow Toadflax	<i>Linaria vulgaris</i>
Japanese Honeysuckle	<i>Lonicera japonica</i>
Japanese Climbing Fern	<i>Lygodium japonicum</i>
Old World Climbing Fern	<i>Lygodium microphyllum</i>
Japanese Stilt Grass	<i>Microstegium vimineum</i>
Melaleuca	<i>Melaleuca quinquenervia</i>
Chinaberry	<i>Melia azedarach</i>
Mulberry	<i>Morus alba</i>
Scotch Thistle	<i>Onopordum acanthium</i>
Princess Tree	<i>Paulownia tomentosa</i>
Mile-A-Minute Weed	<i>Persicaria perfoliata</i>
Kudzu	<i>Pueraria montana var. lobata</i>
Fig Buttercup	<i>Ranunculus ficaria</i>
Russian Knapweed	<i>Rhaponticum repens</i>
Multiflora Rose	<i>Rosa multiflora</i>
Brazilian Peppertree	<i>Schinus terebinthifolius</i>
Tropical Soda Apple	<i>Solanum viarum</i>
Johnsongrass	<i>Sorghum halepense</i>
Japanese Spiraea	<i>Spiraea japonica</i>
Witchweed	<i>Striga asiatica</i>

Medusahead	<i>Taeniatherum caput-medusae</i>
Saltcedar	<i>Tamarix spp.</i>
Chinese Thallow	<i>Triadica sebifera</i>
Beach Vitex	<i>Vitex rotundifolia</i>
Bradford Pear	<i>Pyrus calleryana 'Bradford'</i>

#### 8.d.21. Native Plants for Stormwater Areas

- a. Native vegetation is recommended for all stormwater areas other than swales, such as rain gardens. Native vegetation includes plants indigenous to South Carolina (Zone 8), which intercept rainwater and are highly drought tolerant (see list below).

The following small to medium plants are all native and are tolerant of the fluctuating wet/dry conditions present in stormwater areas:

**Table D9 Native Plants:**

<i>Scientific Name</i>	<b>Common Name</b>	<b>Height</b>
<i>Amsonia hubrechtii</i>	Texas Bluestar	36"
<i>Asclepias incarnata</i>	Milkweed	30"
<i>Aster novae angliae</i>	New England Aster	24"
<i>Callicarpa Americana</i>	Beautyberry	42"
<i>Carex stricta</i>	Tussock Sedge	12-36"
<i>Echinacea purpurea</i>	Purple Coneflower	24"
<i>Chasmanthium latifolium</i>	Fish on a Pole	36"
<i>Coreopsis verticillata</i>	Coreopsis	24"
<i>Eupatorium purpureum</i>	Joe-Pye Weed	24-60"
<i>Itea virginica</i>	Virginia Sweetspire	36"
<i>Muehlenbergia</i>	Muhly Grass	36-42"
<i>Panicum virgatum</i>	Switch Grass	36"
<i>Rudbeckia hirta</i>	Black-Eyed Susan	24"
<i>Solidago rugosa</i>	Goldenrod	24-42"

## SECTION D: LANDSCAPING STANDARDS

### 8.d.1. Purpose:

- a. Landscaping shall be provided as part of site plan and subdivision design. It shall be conceived in a total pattern throughout the site, integrating the various elements of site design, preserving and enhancing the particular identity of the site, and creating a pleasing site character;
- b. Landscaping may include plant materials such as trees, shrubs, ground covers, perennials, and annuals, and other materials such as walls, fences, paving materials, and street furniture.

**8.d.2. Landscape Plan:** A landscape plan shall be submitted by a landscape architect, horticulturist, or persons actively involved in the design of plant materials with each site plan and subdivision application, unless a waiver is specifically granted by the Sumter City-County Planning Commission. The plan shall identify proposed trees, shrubs, and ground covers, natural features, and other landscaping elements. The plan shall show where they are located and planting types and other construction details. Where existing plants are to be retained, the applicant shall include in the plans proposed methods of protecting them during construction.

### 8.d.3. Site Protection and General Planting Requirements:

- a. **Storm-water Management and Sediment Reduction Act:** All land grading and filling activities, as defined in 1.p.1. of this Ordinance and S.C. Codes 48-14-10 et seq., as amended, within the City of Sumter and the unincorporated portion of Sumter County shall require a grading permit by the Sumter County Soil and Water Conservation District. The Sumter Soil and Water Conservation Service, as an implementing agency, shall not issue grading permits for construction projects unless in conformance with the City of Sumter Ordinance Number 1627, and the Sumter County Ordinance Number 98-348. Appendix A of this Ordinance contains a copy of the herein referenced Ordinances.
- b. **Protection and the Replacement of Trees:** A *Land Disturbance Permit* shall be required for all commercial and industrial projects occupying undeveloped and/or developed property, or portions thereof. Expressly excluded from the provisions herein are only owner occupied individual residential properties, all one and two family lots that have been approved and recorded, and on-going farm operations. No person, firm, organization, society, association, or corporation, or any agent or representative thereof shall directly or indirectly destroy or remove any tree situated on property under the jurisdiction of this Section without *A Land Disturbance Permit*. Note: Tree protection and a Tree Protection Plan are not required for any development activity in residentially zoned districts in the county. This provision is in addition to the exclusions noted in the above paragraph.
  1. **Definition of a Land Disturbance Activity:** Residential subdivision development or commercial and industrial development projects involving earth moving, clearing, grading, ditching, tree removal, or other construction activities;

2. **Application, Fee, and Permit Issuance:** An application for a Land Disturbance Permit shall be available from the Sumter City-County Planning Commission. The permit fee shall be fifty (\$50.00) dollars. The issuance of a Land Disturbance Permit is contingent upon the approval of a Tree Protection Plan;
3. **Tree Protection Plan:** A Tree Protection Plan shall be submitted as part of a landscape plan, site plan, subdivision plan, or filed separately.

**Purpose and Intent:** It is the intent of Council that the individual planner reviewing tree protection will do an initial on-site inspection of trees and proposed construction. No lot shall be cut prior to this on-site inspection. From that, “Significant Trees” specified in the list below will be protected where feasible. That feasibility may include small site adjustments, saving additional trees outside the construction area, or having a landscape plan that replaces “Significant Trees” that must be removed to allow construction. More significant site adjustments may be required to protect and preserve “Historic Trees” that are found to be healthy and viable. Trees saved by site modifications will receive additional credit during the development of the final landscape plan. It is Council’s intent that this ordinance not render any parcel impractical for its permitted or conditionally allowed uses.

4. **Components of a Tree Protection Plan:** The following information shall be placed on a map at the same scale to be used later in a construction plan:
  - a. Foot print or proposed foot print of any building(s) or structure(s);
  - b. Areas of clearing, grading, trenching, and other earth moving activities;
  - c. Identification of significant trees, historic trees, and hazard trees;
  - d. Significant stands of trees;
  - e. Tree protection zones;
  - f. Ponds, creeks, wetlands and other important natural features;
  - g. Planned re-vegetation areas of re-vegetation.
5. **Tree Protection Measures During Construction:** The tree protection plan shall include drawings of tree protection measures to be used during construction including the following:
  - a. Tree protection barriers;
  - b. Erosion control fencing;
  - c. Transplantation specification;
  - d. Tree wells and aeration systems;
  - e. Staking specifications.
6. **Review of Tree Protection Plan:** The review of the Tree Protection Plan shall be conducted by the City or County Arborist. If a review is not complete within ten (10) working days after submission, the Tree Protection plan shall be deemed to be approved.

7. **Follow-up Inspections:** The Zoning Administrator, City or County Arborist shall conduct follow-up inspections for the enforcement of the Tree Protection Plan.

c. **Protection of Historic Trees and Significant Trees:** It shall be the responsibility of the City or County Arborist through the general enforcement provisions of this Ordinance to protect Historic and Significant Trees. Historic trees are any trees within the City of Sumter or the unincorporated areas of Sumter County which are known in local legend or lore; or are known by a popular name; or have a diameter at breast height (DBH) of thirty (30”) inches or more; or are over one hundred (100) years old. Significant trees are defined by a minimum DBH criteria for the designated trees as follows:

<u>Botanical Name</u>	<u>Common Name</u>	<u>DBH</u>
Qyercus virginiana	Live Oak	8 inches
Ulmus parviforia	Chinese Elm	10 inches
Cedrus deodara	Deodar Cedar	10 inches
Nyssa spp.	Tupelo	10 inches
Ginko biloba	Ginkgo	10 inches
Quercus spp.	Oaks other than live oaks	10 inches
Acer rubrum	Red Maple	10 inches
Liriodendron tulipifera	Yellow-poplar or tulip tree	10 inches
Taxodium distichum	Bald Cypress	10 inches
Magnolia grandiflora	Southern Magnolia	10 inches
Carya spp.	Hickory	10 inches
Ulmus americana	Elm	10 inches
Betula nigra	River Birch	10 inches

**8.d.4. Additional Landscaping in Residential Areas:** Besides the screening and street trees as may be required, additional plantings or landscaping elements may be established where necessary throughout the subdivision for climate control, privacy, or other reasons in accordance with the landscape plan approved by the Sumter City-County Planning Commission.

**8.d.5. Planting Specifications For All Forms Of Development:** Deciduous trees shall have at least a two (2”) inch caliper at planting. Size of evergreens and shrubs shall be allowed to vary depending on setting and type of shrub. Trees, shrubs, and ground covers shall be planted according to acceptable horticultural standards. Dead and dying plants shall be replaced by the developer during the following planting season, or at the end of the Maintenance Guarantee Phase, whichever is longer.

**8.d.6. Street Trees:**

a. **Location:** The Sumter City-County Planning Commission may require street trees when an adequate number of trees do not exist on a lot. Where street trees are installed they shall normally be on both sides of streets in accordance with the approved landscape plan as set forth in 8.d.1.a. Trees shall be spaced evenly along the street with spacing dependent on species and tree size. However, when spacing intervals exceed forty (40ft.) feet, small ornamentals (e.g., Crepe Myrtle) may be required between the larger trees as under-story

trees. Street trees shall be planted not to interfere with utilities, roadways, sidewalks, or street lights. Tree location, landscaping design, and spacing plan shall be approved by the Sumter City-County Planning Commission as part of the overall landscaping plan as set forth in 8.d.1.a.

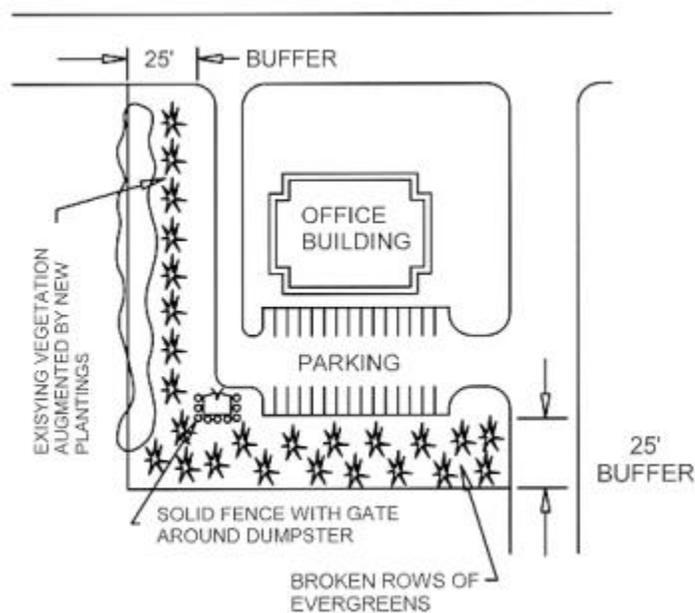
- b. **Tree Type:** The principle street tree chosen for a development shall be selected from known canopy trees species. However within this requirement, street tree type may vary depending on the overall effect desired. All trees on a particular street shall be of the same kind.
- c. **Planting Specifications:** All street trees shall have a caliper of two (2") inches and be of substantially uniform size and shape, and have straight trunks. Street trees shall be properly planted and staked and provisions shall be made by the developer or owner for regular watering and maintenance until the street trees are established. Dead and/or dying street trees shall be replaced by the applicant during the next planting season, or at the end of the Maintenance Guarantee period, whichever is longer.

#### **8.d.7. Buffering:**

- a. **Function and Materials:** Buffering shall provide a year-round visual screen to minimize adverse impacts and to insure high aesthetic standards of development. It may consist of fencing, trees, berms, landscaping or a combination thereof.
- b. **When Required:** Every development shall provide sufficient buffering when natural land features or existing natural vegetative barriers do not provide reasonable screening and when the Sumter City-County Planning Commission determines that there is a need to:
  1. Screen from view any proposed commercial, industrial or other nonresidential uses with outside storage area for materials to be sold, salvaged, stored and the like;
  2. Shield neighboring developed or undeveloped properties from any adverse external effects of a development;
  3. To shield the development from negative impacts of adjacent uses such as streets. In high-density developments, when building design and siting do not provide privacy, the Sumter City-County Planning Commission may require landscaping, fencing, or walls to screen dwelling units for privacy. Buffering may be required for front, side, or rear property lines, excluding driveways (see Exhibit 14 for an example of a buffering concept).
- c. **Amount Required:**
  1. Where more-intensive land uses or zoning districts abut less-intensive land uses or zoning districts, a buffer strip ten feet (10 ft.)feet in width shall be required;
  2. Parking lots, garbage collection and utility areas, and loading and unloading areas shall be screened around their perimeter by a buffer strip a minimum of five (5 ft.) feet wide;

- d. **Design:** Arrangement of plantings in buffers shall provide protection to adjacent properties. Possible arrangements include planting in parallel, serpentine, or broken rows. If planted berms are used, the minimum top width shall be four (4 ft.) feet, and a reasonable side slope shall be 2:1.
- e. **Planting Specifications:** Plant materials shall be sufficiently large and planted in such a fashion that a year round screen at least six (6ft.) in height shall be produced within three (3) growing seasons. All planting shall be installed according to acceptable horticultural standards.
- f. **Maintenance:** Plantings shall be watered regularly by means of an automatic and timed irrigation system or other acceptable methods of periodic watering. No buildings, structures, storage of materials, or parking shall be permitted within buffer areas. Buffer areas shall be maintained and kept free of all debris, rubbish, weeds, and tall grass.

**EXHIBIT 14  
BUFFERYARD ILLUSTRATED DRAWING**



**8.d.8. Parking Lot Landscaping:**

- a. **Amount Required:** Within parking lots, landscaped concrete planters should be considered as part of the overall planned landscape concept. Planting required within the parking lot is exclusive of other planting requirements, such as for shade trees planted along the street frontage.
- b. **Location:** The landscaping should be located in protected areas, such as in landscape islands, center islands, at the end of bays, around the perimeter of buildings, or along walkways

- c. **Plant Type:** A mixture of hardy flowering and/or decorative evergreen and deciduous trees may be planted. The evergreens should be used along the perimeter of the parking lot for screening, and the deciduous trees for shade within the lot. The area between trees shall be mulched and planted with shrubs or ground cover. Any area that will be under the overhang of vehicles shall be mulched or covered with paving material.
- d. **Maintenance:** Plantings shall be watered regularly by means of an automatic and timed irrigation system or other acceptable methods of periodic watering.
- e. Where there is a planned expansion of a parking lot of 25% or greater than the number of parking spaces found within an existing parking lot then the entire parking lot (existing and expanded) shall meet the landscaping and buffering requirements of this Ordinance after the expansion. Also, where the planned expansion of a parking lot is greater than 5%, then the requirements for perimeter buffering around the existing and the expanded parking lot shall be installed.

**8.d.9. Paving Material in Pedestrian Areas:**

- a. Design and choice of paving materials used in pedestrian areas shall consider such factors as function, characteristics of users, availability, maintenance, glare, drainage, noise, appearance, and compatibility.
- b. Acceptable materials shall include concrete, brick, concrete pavers, asphalt, and stone.
- c. All pedestrian areas must be compliant with ADA (Americans with Disabilities Act) standards in accordance with ANSI 117.1.

**8.d.10. Walls and Fences:**

- a. Walls and fences shall be erected where required for privacy, screening, separation, security, erosion control, or to serve other necessary and reasonable functions.
- b. The design and materials used shall be functional and compatible with existing and proposed site architecture.

**8.d.11. Retrofitting Under Prevailing Landscaping, Buffering, and Parking Lot Landscaping Standards:** As per Article Six, Section G. of this Ordinance, any commercial or industrial activity which remains vacant on a parcel of land for a six (6) month period, and re-opens as the same use or different use (which may be permitted in the zoning district) shall meet all of the standards of this Article.