

Sumter City-County Planning Commission

August 26, 2026

MSP-26-49/HCPD-26-17: 200 Miller Rd. (City)

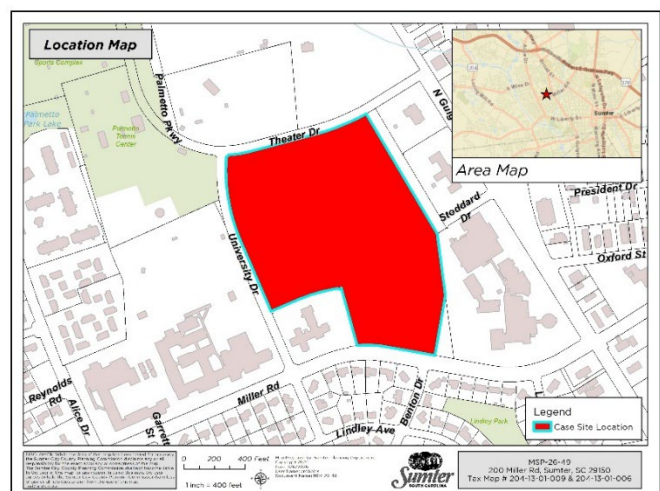
I. THE REQUEST

Applicant:	University of South Carolina
Status of the Applicant:	Property Owner
Request:	Request for Major Site Plan Review and Corridor Protection (CP) Overlay approval for construction of a +/-24,000 sq. ft. addition to the Nettles Building to serve as the College's Health, Wellness and Athletics Center.
City Council Ward:	6
Location:	200 Miller Rd.
Size of Development:	+/- 2.2 acres (disturbed area)
Present Use/Zoning:	Higher Education Facility / Residential-15 (R-15) <i>(to be updated to Institutional General (IG) upon adoption of City of Sumter Unified Development Ordinance)</i>
Proposed Use of Property:	Addition to campus building (Health, Wellness, and Athletics Center)
Tax Map Reference:	204-13-01-006, 204-13-01-009

II. BACKGROUND

The applicant is proposing to construct a +/- 24,000 sq. ft. addition to the existing Nettles Building on USC Sumter's campus. This facility will serve as the College's Health, Wellness and Athletics Center. The subject site is located in the center of USC Sumter's campus.

The property is currently zoned Residential-15 (R-15). However, the property zoning is to be updated to Institutional General (IG) upon adoption of the *City of Sumter Unified Development Ordinance* currently under consideration by Sumter City Council. This site



plan review was conducted using the proposed Unified Development Ordinance standards and IG zoning requirements, based on pending ordinance doctrine.

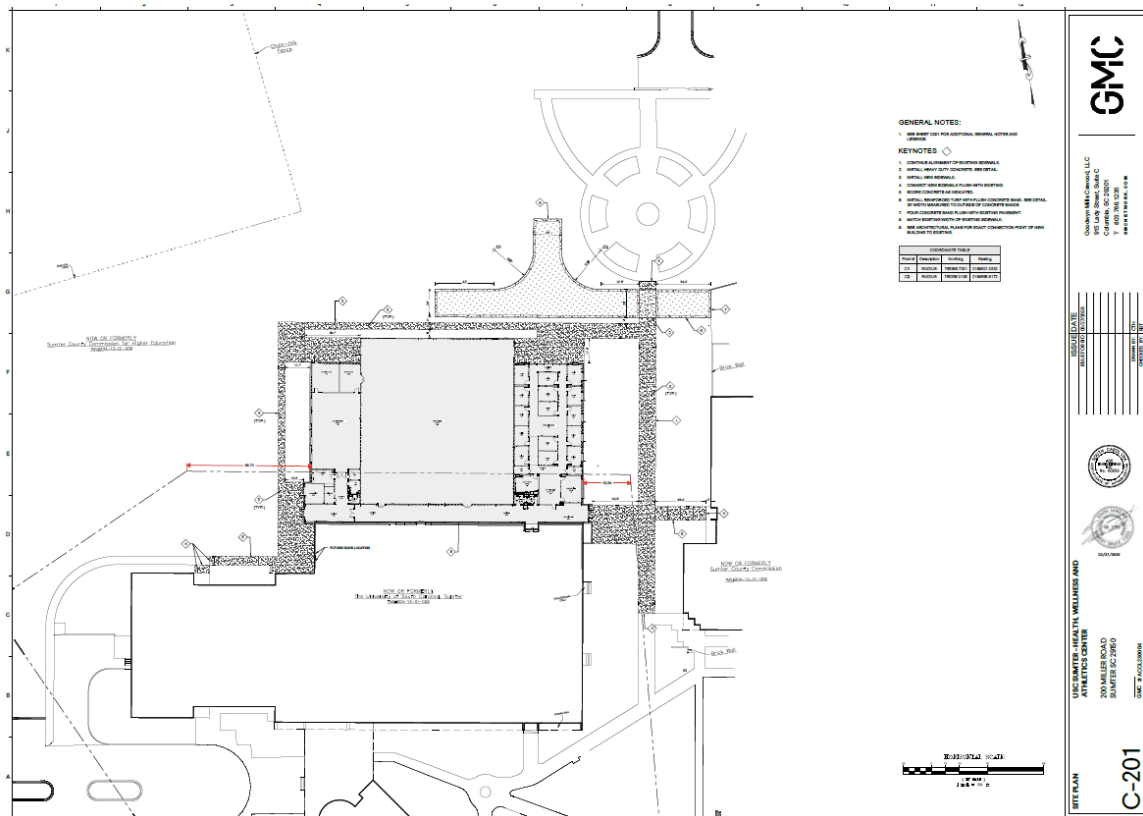
The proposed project crosses a property boundary which separates the Nettles Building site from the remainder of the USC Sumter campus. These parcels are 2 of the 3 pieces of property that comprise the overall USC Sumter campus, but combination into a single site is infeasible at this time, as each parcel is owned by a different entity (University of South Carolina vs. the Mid Carolina Commission on Higher Education). A variance was sought and approved by the Sumter City-County Board of Zoning Appeals to address these development constraints earlier in 2026 (BOA-26-17).

III. SITE PLAN REVIEW

Site Layout:

The applicant has submitted a civil engineered site plan titled, “*USC Sumter – Health, Wellness and Athletics Center*” prepared by Goodwyn Mills Cawood, LLC, last revised March 27, 2026, and architectural plans titled “*USC Sumter – Health, Wellness and Athletics Center*” prepared by Goodwyn Mills Cawood, LLC, last revised March 27, 2026, and landscaping plan titled “*USC Sumter – Health and Athletics Center*”, prepared by McIver Landscape Architecture, last revised August 14, 2026.

Copies of the Site Plan (Sheet C-301), Landscape Plan (Sheet L1.00), and Building Elevation Drawings (Sheet A4.01) have been included in this packet for review as Exhibits 2, 3, and 4 respectively.



Site development must adhere to the Institutional General (IG) zoning district standards of the proposed *City of Sumter Unified Development Ordinance*. The proposed development meets the minimum standards and development criteria as outlined in the following table:

Development Standard	Minimum Ordinance Requirement	Proposed
Front Setback	15 ft	520 ft
Exterior Side Setback	10 ft	88 ft
Interior Side Setback	15 ft	33 ft*
Rear Setback	10 ft	0 ft*
Maximum Impervious Surface	50%	<40%
Maximum Building Height	55 ft	31.75 ft

**Variances to building setback requirements granted by the Sumter City-County Board of Zoning Appeals via BOA-26-17*

Building Layout:

The proposed building is +/- 24,000 sq. ft. and contains a gymnasium, weight room, laundry facility, offices, and meeting rooms.

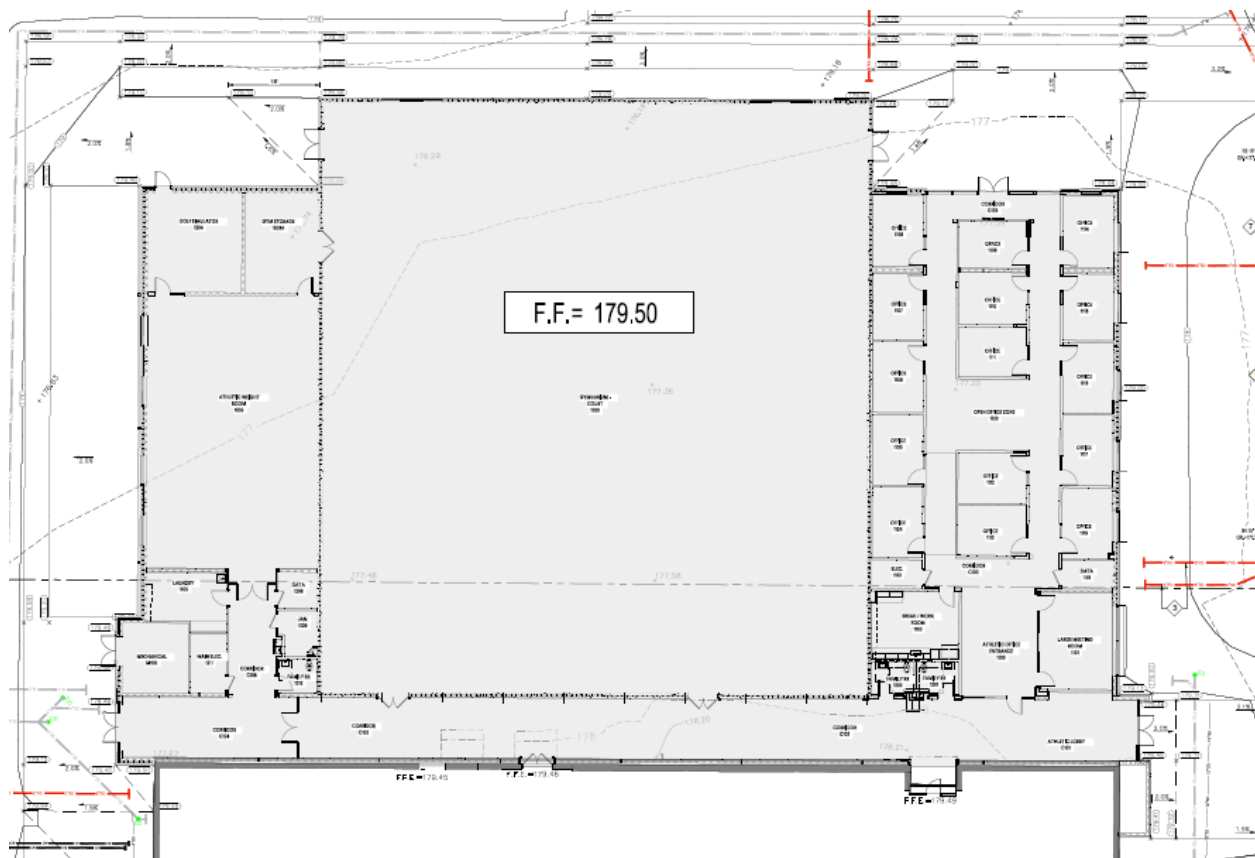


Figure 2 - Proposed Building Floorplan

Parking Plan:

Based upon the criteria found in *Table C.2.1.* of the proposed Unified Development Ordinance, the use must provide a minimum of 5 spaces per classroom and 1 spaces per office. No new parking areas are proposed as part of this project. As part of the existing USC Sumter campus, shared parking across the college campus will be utilized, and the College recently partnered with

the City of Sumter to construct a 205-space parking facility (including 7 ADA spaces) adjacent to this proposed building location. This parking facility, approved via MSP-25-02 and located approximately 300 ft from the new building, accommodates the required parking for the proposed project.

Environmental:

The property is located in Zone X, which is not a special flood hazard area (SFHA), as shown on FEMA FIRM Panel: 45085C0294E, with an effective date of October 27, 2022. National Wetland Inventory (NWI) data indicates that there are no wetlands on the property.

Stormwater Management:

Stormwater run-off from the site will be collected and piped to a detention/infiltration pond to be located to the north of the developed area, at the College's driveway access onto Theatre Dr.

The proposed project requires a City of Sumter stormwater permit. The project has been submitted and approved as permit #01-26-004. Coverage under the NPDES General Permit for Stormwater Discharges from Large and Small Construction Activities is pending with the S.C. Department of Environmental Services.

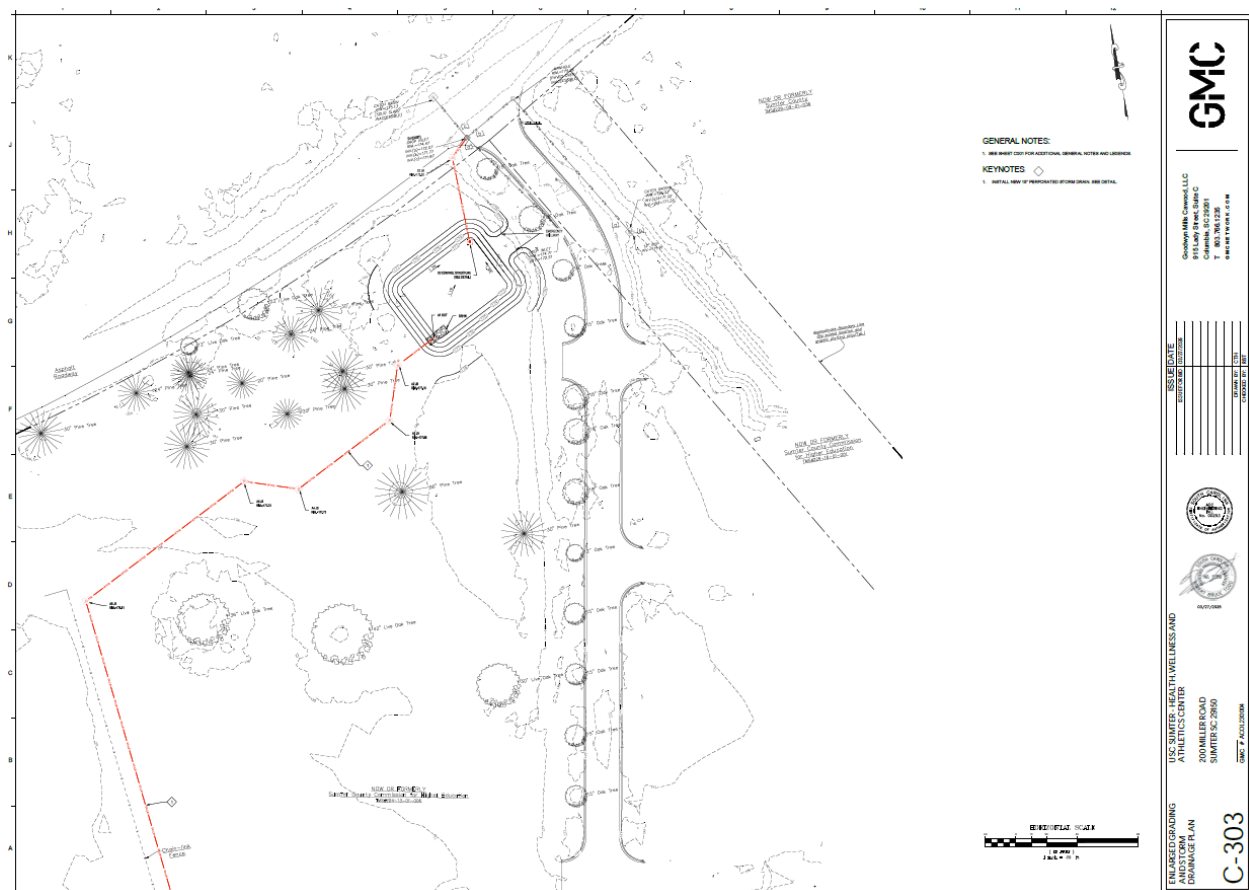


Figure 3 - Proposed Stormwater Plan

Landscape & Tree Protection Plan:

Based on the tree survey provided, the development would result in the proposed removal of 3 'grand' trees sized 24" in diameter and above. Removal of grand trees requires appropriate planting mitigation.

In order to fulfill the Ordinance's standard mitigation for removal of trees (6 for 1 replacement), 36 total replacement trees need to be planted on the site. In an effort to satisfy this requirement, the applicant is seeking credit for preservation of four 15" *Live Oaks* and three 30" *Loblolly Pines*, which represents a credit of 23 canopy trees based on Table C.5.11. of the proposed Unified Development Ordinance. The applicant is also proposing to plant 7 *Nuttall Oak* and 6 *Tulip Poplar* trees in addition to understory landscape plantings including 33 *wax myrtle* and 4 *little gem Magnolia*. The combined preservation credit and new plantings accounts for all 36 required mitigation trees.

The landscape plan has been attached to this report for reference.

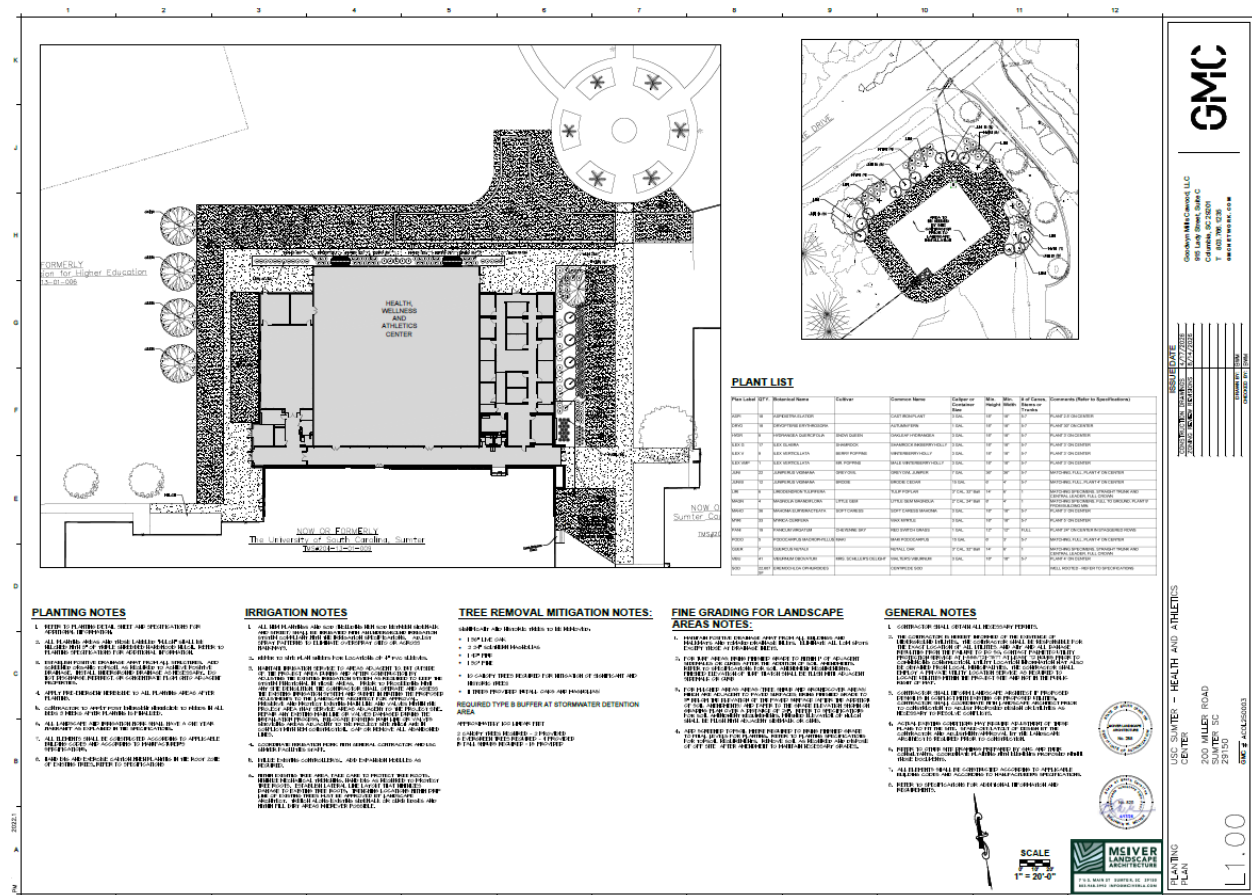


Figure 4 - Proposed Landscaping Plan

Transportation Review:

The site has access to University Dr. and Theatre Dr. via existing driveways that serve the USC Sumter campus. Both University Dr. and Theatre Dr. are City-owned and maintained roadways. Both roadways are paved 2-lane roads functionally classified as local access roadways. There are no AADT traffic counts for either street.

Multimodal Transportation Factors

- *Bicycle and Pedestrian:* USC Sumter has an internal network of sidewalks serving the campus. A potential greenway path adjoining campus, called the “Palmetto Park Connector Greenway” is in the feasibility planning stage.
- *Rail:* The proposed project would not result in any utilization of, or impact to, rail lines.
- *Transit:* Planned fixed-route transit service to USC Sumter would utilize existing bus stops and shelters on the campus main frontage on Miller Rd.

Analysis of Applicable Zoning & Development Standards Ordinance Transportation Provisions

- *Visual Clearance at Intersections:* The proposed visual clearance at intersections conforms to Ordinance requirements.
- *Traffic Impact Study (TIS) Requirements:* Based on the proposed development scope and scale, a TIS is not required.
- *Consideration of Existing Local and Regional Plans:* The Sumter 2050 Long Range Transportation Plan contains 1 proposed project influenced by the site:
 - Greenway Project #G-7 is a proposed greenway/sidepath connecting Shot Pouch Greenway at Miller Rd. with the City’s Palmetto Park Complex. The proposed route alternatives for the project, which is in the feasibility study phase, are not directly impacted by the proposed project.
- *Circulation System Design:* The circulation system conforms to Ordinance requirements.

Utilities:

Sewer & Water: The City of Sumter will provide sewer and water service. Coordination with the applicant is ongoing. However, there are no significant issues that would prevent the City from providing water and sewer services to this site.

Solid Waste: Solid waste disposal will be handled as part of the overall campus waste disposal plan, and no new dumpsters are proposed for this project.

Fire: Placement of fire hydrants and Fire Department Connections (FDC) must be in compliance with regulatory standards.

Corridor Protection District Design Review:

Proposed designs must conform to Chapter C.11.5. of the proposed City of Sumter Unified Development Ordinance. The purpose of the Corridor Protection District is to promote development that is compatible with the function, capacity, and design of major arterial roadways, while remaining sensitive to the relationship of the roads to abutting residential, commercial, and industrial development.

Chapter C.11.5.E.5 - Required Design Elements. *The following design elements, which promote a high-quality development or redevelopment, are required for all buildings:*

- a. Consistent architectural style, detail and trim;*
- b. Facades which break down large elements of mass and scale where appropriate;*
- c. Architectural details and articulation;*
- d. Material changes reflective of function and appropriately placed;*
- e. Canopies, porches, stoops, roof overhangs or other pedestrian friendly features;*
- f. Shade and weather protection for ground floor entrances;*
- g. Design elements such as cornice lines, columns, arches; and various fenestration and transparency elements.*

Staff Review: The proposed building complies with the required design elements of the Corridor Protection Overlay District.

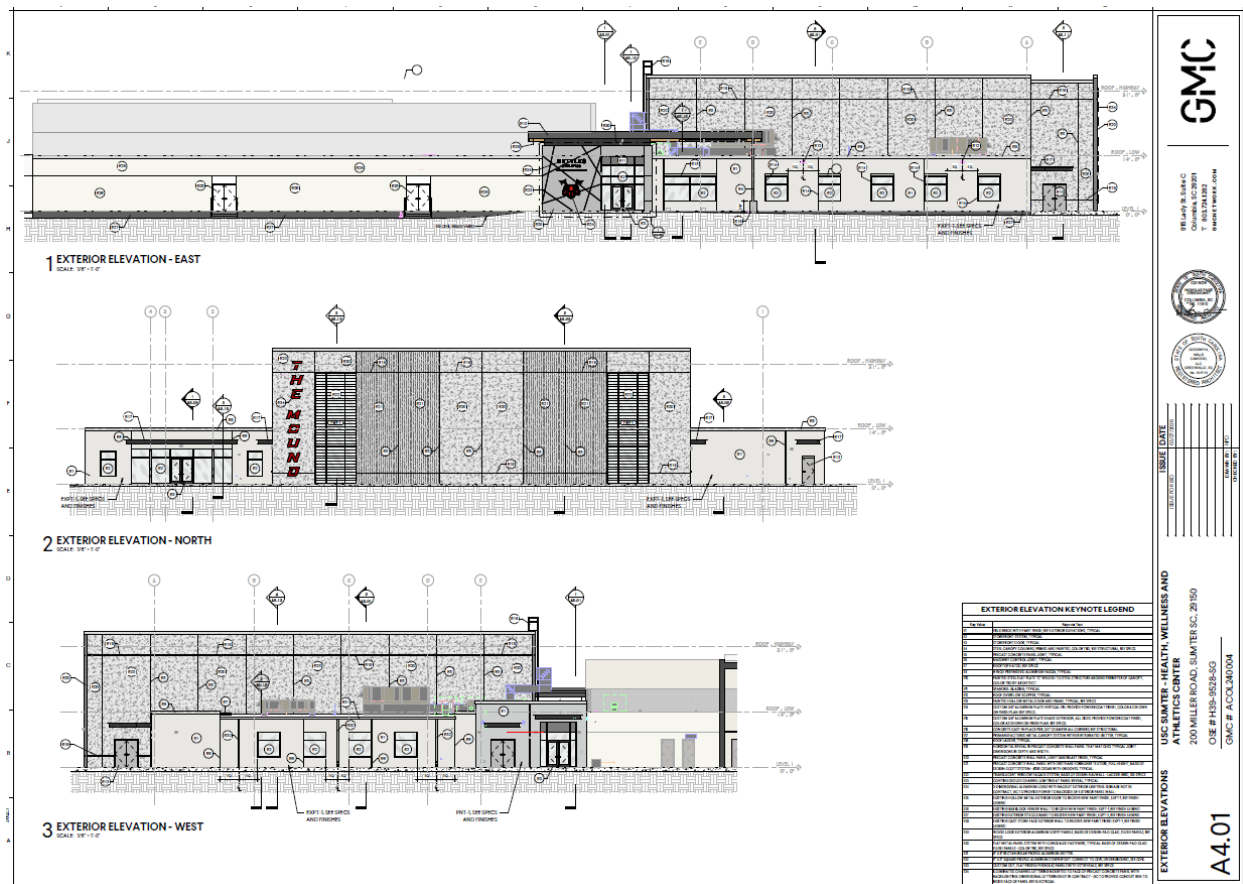


Figure 5 - Building Elevation Drawings

IV. TECHNICAL REVIEW

The technical review committee (TRC) was given the opportunity to review and comment on the project. There are no outstanding TRC items to address.

V. STAFF RECOMMENDATION

Staff has reviewed the major site plan application, shared the proposed plans with the technical review committee, and recommends **approval** of this request subject to the standard Conditions of Approval in *Exhibit 1*, and the specific condition noted below:

VI. DRAFT MOTION

1. I move the Planning Commission **approve** MSP-26-49/HCPD-26-17 based on the site plans titled, “USC Sumter – Health, Wellness and Athletics Center” prepared by Goodwyn Mills Cawood, LLC, last revised March 27, 2026, architectural plans titled “USC Sumter – Health, Wellness and Athletics Center” prepared by Goodwyn Mills Cawood, LLC, last revised March 27, 2026, and landscaping plan titled “USC Sumter – Health and Athletics Center”, prepared by McIver Landscape Architecture, last revised August 14, 2026, and subject to the conditions of approval outlined in *Exhibit 1*.

2. I move the Planning Commission deny MSP-26-49/HCPD-26-17.
3. I move an alternate motion.

VII. PLANNING COMMISSION – August 26, 2026

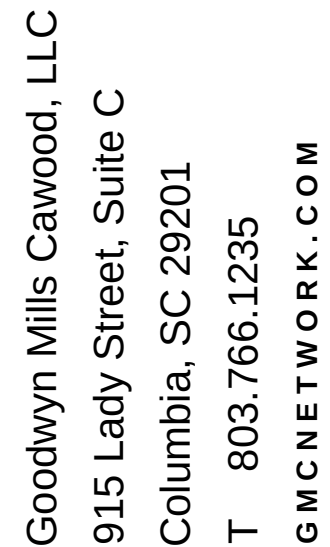
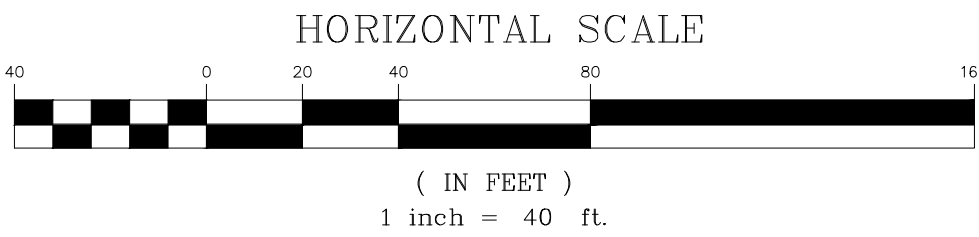
Exhibit 1:

**MSP-26-49: 200 Miller Rd.
USC Sumter – Health, Wellness and Athletics Center (City)
Proposed Conditions of Approval**

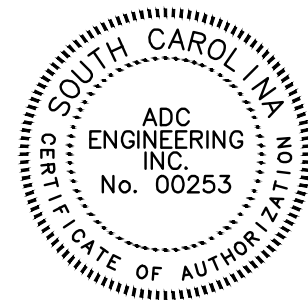
1. The project shall be developed in substantial conformance with the site plans titled, “*USC Sumter – Health, Wellness and Athletics Center*” prepared by Goodwyn Mills Cawood, LLC, last revised March 27, 2026, and architectural plans titled “*USC Sumter – Health, Wellness and Athletics Center*” prepared by Goodwyn Mills Cawood, LLC, last revised March 27, 2026 and as revised based on all Planning Commission-specified conditions of approval.
2. The following items are required prior to issuance of a land disturbance permit:
 - a. Submission of full final civil engineered plans. Said plans shall show the latest revision date reflecting revisions made based on all conditions of Planning Commission approval.
 - b. Stormwater permit approval and NPDES concurrence letter from the City Stormwater Utility must be submitted to the Sumter City-County Planning Department.
3. The following items are required prior to zoning final inspection approval:
 - a. Completion of all site developments as depicted on final civil engineered plans.
4. Separate sign permits are required for all exterior signage. All signage must be in full compliance with *Chapter C.3. Sign Regulations of the City of Sumter Unified Development Ordinance* prior to permit approval, issuance, and installation.

[illegible]

1. SEE SHEET C001 FOR ADDITIONAL GENERAL NOTES AND LEGENDS



	ISSUE DATE
	03/27/2026
	DRAWN BY: CTH
	CHECKED BY: RRT



03/27/2026

USC SUMTER - HEALTH, WELLNESS AND ATHLETICS CENTER

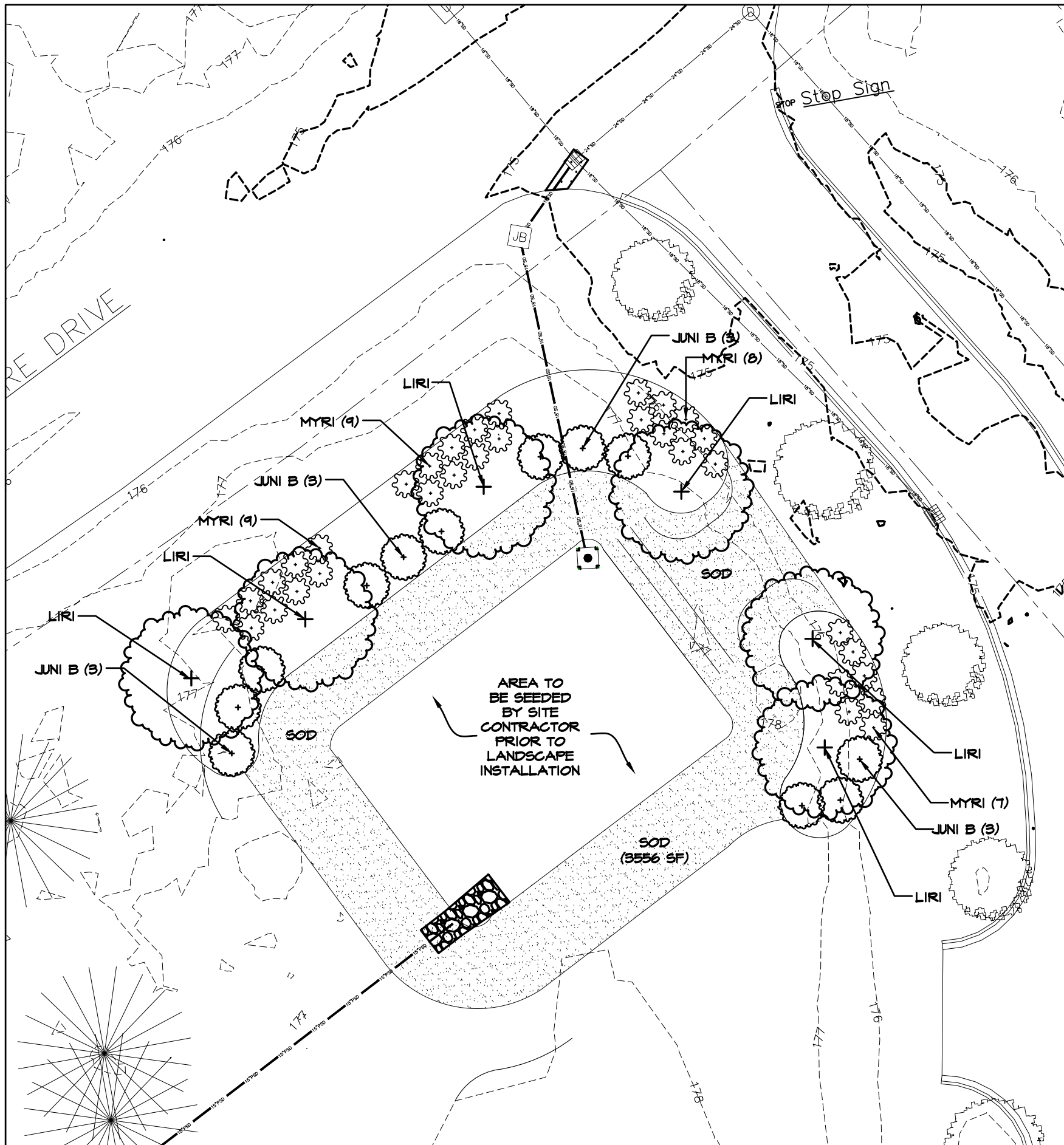
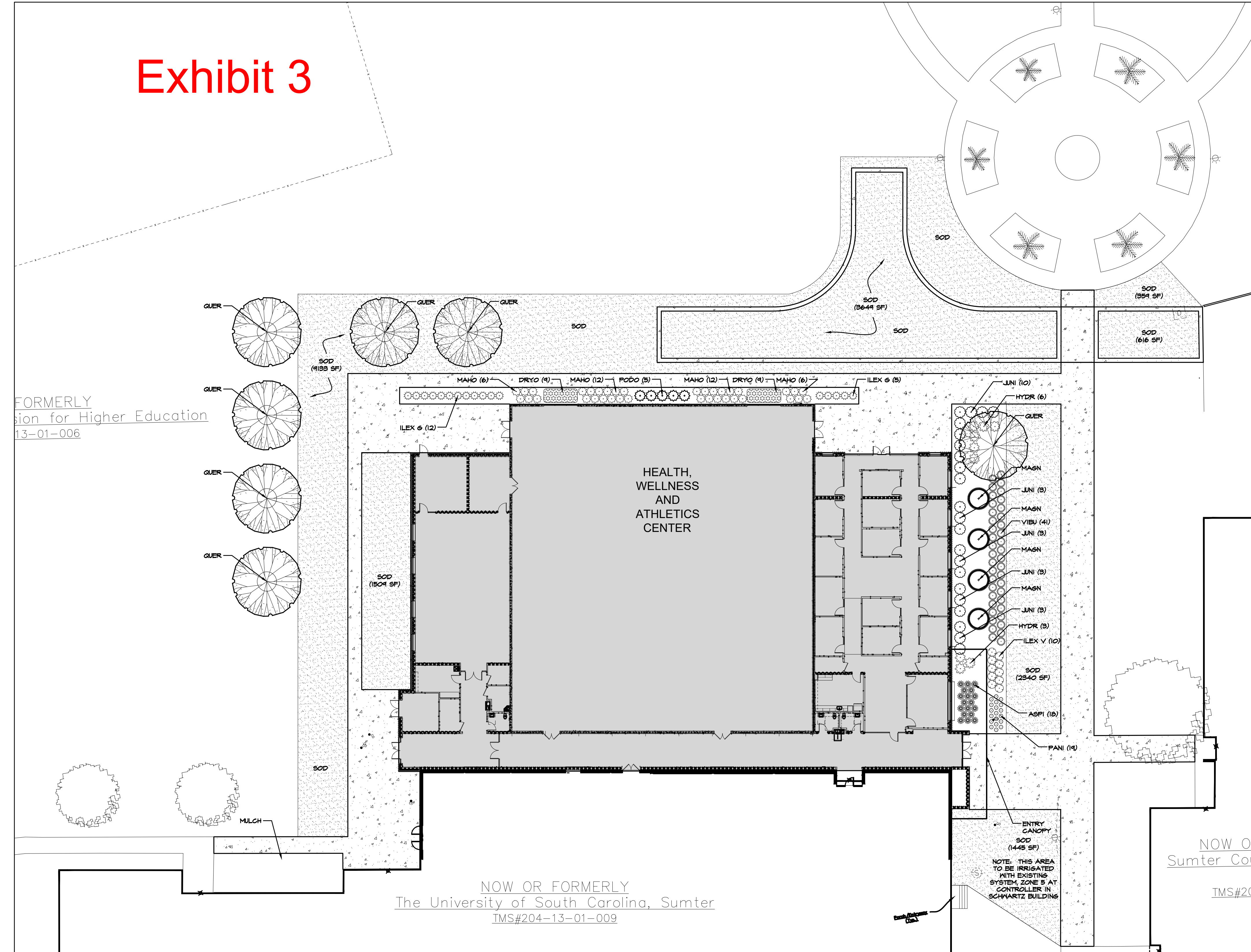
OVERALL GRADING AND STORM DRAINAGE PLAN

200 MILLER ROAD
SUMTER SC 29150

GMC # ACOL230004

C-301

Exhibit 3



PLANT LIST

Plant Label	QTY.	Botanical Name	Cultivar	Common Name	Caliper or Container Size	Min. Height	Min. Width	# of Canes, Stems or Trunks	Comments (Refer to Specifications)
ASPI	18	ASPIDISTRA ELATOR		CAST IRON PLANT	3 GAL.	18"	18"	5-7	PLANT 2.5' ON CENTER
DRYO	18	DRYOPTERIS ERYTHROSORA		AUTUMN FERN	1 GAL.	18"	18"	5-7	PLANT 30" ON CENTER
HYDR	9	HYDRANGEA QUERCIFOLIA	SNOW QUEEN	OAKLEAF HYDRANGEA	3 GAL.	18"	18"	5-7	PLANT 3' ON CENTER
ILEX G	17	ILEX GLABRA	SHAMROCK	SHAMROCK INKBERRY HOLLY	3 GAL.	18"	18"	5-7	PLANT 3' ON CENTER
ILEX V	9	ILEX VERTICILLATA	BERRY POPPINS	WINTERBERRY HOLLY	3 GAL.	18"	18"	5-7	PLANT 3' ON CENTER
ILEX VMP	1	ILEX VERTICILLATA	MR. POPPINS	MALE WINTERBERRY HOLLY	3 GAL.	18"	18"	5-7	PLANT 3' ON CENTER
JUNI	22	JUNPERUS VIGNIANA	GREY OWL	GREY OWL JUNIPER	7 GAL.	36"	36"	5-7	MATCHING, FULL, PLANT 4' ON CENTER
JUNI B	12	JUNPERUS VIGNIANA	BRODIE	BRODIE CEDAR	15 GAL.	6'	4'	5-7	MATCHING, FULL, PLANT 4' ON CENTER
LIRI	6	LIRIODENDRON TULIPIFERA		TULIP POPLAR	3" CAL., 32" Ball	14'	6'	1	MATCHING SPECIMENS, STRAIGHT TRUNK AND CENTRAL LEADER, FULL CROWN
MAGN	4	MAGNOLIA GRANDIFLORA	LITTLE GEM	LITTLE GEM MAGNOLIA	2" CAL., 24" Ball	8'	4'	1	MATCHING SPECIMENS, FULL TO GROUND, PLANT 9' FROM BUILDING MIN.
MAHO	36	MAHONIA EURYBRACTEATA	SOFT CARESS	SOFT CARESS MAHONIA	3 GAL.	18"	18"	5-7	PLANT 3' ON CENTER
MYRI	33	MYRICA CERIFERA		WAX MYRTLE	3 GAL.	18"	18"	5-7	PLANT 5' ON CENTER
PANI	19	PANICUM VIRGATUM	CHEYENNE SKY	RED SWITCH GRASS	1 GAL.	12"	12"	FULL	PLANT 24" ON CENTER IN STAGGERED ROWS
PODO	5	PODOCARPUS MACROPHYLLUS	MAKI	MAKIPODOCARPUS	15 GAL.	6'	3'	5-7	MATCHING, FULL, PLANT 4' ON CENTER
QUER	7	QUERCUS NUTALLI		NUTTALL OAK	3" CAL., 32" Ball	14'	6'	1	MATCHING SPECIMENS, STRAIGHT TRUNK AND CENTRAL LEADER, FULL CROWN
VIBU	41	VIBURNUM OBOVATUM	MRS. SCHILLER'S DELIGHT	WALTER'S VIBURNUM	3 GAL.	18"	18"	5-7	PLANT 4' ON CENTER
SOD	22,607 SF	EREMOCHLOA OPHIUROIDES		CENTPEDE SOD					WELL ROOTED - REFER TO SPECIFICATIONS

PLANTING NOTES

- REFER TO PLANTING DETAIL SHEET AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- ALL PLANTING AREAS AND THOSE LABELED "MULCH" SHALL BE MULCHED WITH 9" OF TRIPLE SHREDDED HARDWOOD MULCH. REFER TO PLANTING SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- ESTABLISH POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES. ADD SCREENED ORGANIC TOPSOIL AS REQUIRED TO ACHIEVE POSITIVE DRAINAGE. INSTALL UNDERGROUND DRAINAGE AS NECESSARY. DO NOT DISCHARGE, REDIRECT, OR CONCENTRATE FLOW ONTO ADJACENT PROPERTIES.
- APPLY PRE-EMERGENT HERBICIDE TO ALL PLANTING AREAS AFTER PLANTING.
- CONTRACTOR TO APPLY POST EMERGENT HERBICIDE TO WEEDS IN ALL BEDS 3 WEEKS AFTER PLANTING IS FINALIZED.
- ALL LANDSCAPE AND IRRIGATION WORK SHALL HAVE A ONE YEAR WARRANTY AS EXPLAINED IN THE SPECIFICATIONS.
- ALL ELEMENTS SHALL BE CONSTRUCTED ACCORDING TO APPLICABLE BUILDING CODES AND ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- HAND DIG AND EXERCISE CAUTION WHEN PLANTING IN THE ROOT ZONE OF EXISTING TREES. REFER TO SPECIFICATIONS

IRRIGATION NOTES

- ALL NEW PLANTINGS AND SOD (INCLUDING NEW SOD BETWEEN SIDEWALK AND STREET) SHALL BE IRRIGATED WITH AN UNDERGROUND IRRIGATION SYSTEM COMPLIANT WITH THE IRRIGATION SPECIFICATIONS. ADJUST SPRAY PATTERNS TO ELIMINATE OVERSPRAY ONTO OR ACROSS WALKWAYS.
- REFER TO SITE PLAN SHEETS FOR LOCATIONS OF 4" PVC SLEEVES.
- MAINTAIN IRRIGATION SERVICE TO AREAS ADJACENT TO, BUT OUTSIDE OF, THE PROJECT AREA DURING AND AFTER CONSTRUCTION BY ADJUSTING THE EXISTING IRRIGATION SYSTEM AS REQUIRED TO KEEP THE SYSTEM FUNCTIONAL IN THOSE AREAS. PRIOR TO PROCEEDING WITH ANY SITE DEVOLITION, THE CONTRACTOR SHALL OPERATE AND ASSESS THE EXISTING IRRIGATION SYSTEM AND SUBMIT IN WRITING THE PROPOSED ADJUSTMENTS TO THE LANDSCAPE ARCHITECT FOR APPROVAL. PRESERVE AND PROTECT EXISTING MAIN LINE AND VALVES WITHIN THE PROJECT AREA THAT SERVICE AREAS ADJACENT TO THE PROJECT SITE. REPAIR ANY EXISTING MAIN LINE OR VALVES DAMAGED DURING THE INSTALLATION PROCESS. RELOCATE EXISTING MAIN LINE OR VALVES SERVING AREAS ADJACENT TO THE PROJECT SITE WHICH ARE IN CONFLICT WITH NEW CONSTRUCTION. CAP OR REMOVE ALL ABANDONED LINES.
- COORDINATE IRRIGATION WORK WITH GENERAL CONTRACTOR AND USC SUMTER FACILITIES STAFF.
- UTILIZE EXISTING CONTROLLER(S). ADD EXPANSION MODULES AS REQUIRED.
- WITHIN EXISTING TREE AREA, TAKE CARE TO PROTECT TREE ROOTS. MINIMIZE MECHANICAL TRENCHING. HAND DIG AS REQUIRED TO PROTECT TREE ROOTS. ESTABLISH LATERAL LINE LAYOUT THAT MINIMIZES DAMAGE TO EXISTING TREE ROOTS. TRENCHING LOCATIONS WITHIN DRIP LINE OF EXISTING TREES MUST BE APPROVED BY LANDSCAPE ARCHITECT. TRENCH ALONG EXISTING SIDEWALK OR CURB EDGES AND WITHIN FILL DIRT AREAS WHEREVER POSSIBLE.

TREE REMOVAL MITIGATION NOTES:

SIGNIFICANT AND HISTORIC TREES TO BE REMOVED:

- 1 36" LIVE OAK
- 2 24" SOUTHERN MAGNOLIAS
- 1 42" PINE
- 1 30" PINE

- 10 CANOPY TREES REQUIRED FOR MITIGATION OF SIGNIFICANT AND HISTORIC TREES
- 11 TREES PROVIDED (NUTTALL OAKS AND MAGNOLIAS)

REQUIRED TYPE B BUFFER AT STORMWATER DETENTION AREA

APPROXIMATELY 100 LINEAR FEET

2 CANOPY TREES REQUIRED - 2 PROVIDED
6 EVERGREEN TREES REQUIRED - 4 PROVIDED
15 TALL SHRUBS REQUIRED - 18 PROVIDED

FINE GRADING FOR LANDSCAPE AREAS NOTES:

- MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND WALKWAYS AND TOWARD DRAINAGE INLETS. ELIMINATE ALL LOW SPOTS EXCEPT THOSE AT DRAINAGE INLETS.
- FOR TURF AREAS, BRING FINISHED GRADE TO WITHIN 1" OF ADJACENT SIDEWALKS OR CURBS AFTER THE ADDITION OF SOIL AMENDMENTS. REFER TO SPECIFICATIONS FOR SOIL AMENDMENT REQUIREMENTS. FINISHED ELEVATION OF TURF THATCH SHALL BE FLUSH WITH ADJACENT SIDEWALK OR CURB
- FOR MULCHED AREAS (TREE SHRUB AND GROUNDCOVER AREAS) WHICH ARE ADJACENT TO PAVED SURFACES, BRING FINISHED GRADE TO 3" BELOW THE ELEVATION OF THE PAVED SURFACE (AFTER THE ADDITION OF SOIL AMENDMENTS) AND TAPER TO THE GRADE ELEVATION SHOWN ON GRADING PLAN OVER A DISTANCE OF 24". REFER TO SPECIFICATIONS FOR SOIL AMENDMENT REQUIREMENTS. FINISHED ELEVATION OF MULCH SHALL BE FLUSH WITH ADJACENT SIDEWALK OR CURB.
- ADD SCREENED TOPSOIL WHERE REQUIRED TO BRING FINISHED GRADE TO FINAL LEVELS FOR PLANTING. REFER TO PLANTING SPECIFICATIONS FOR TOPSOIL REQUIREMENTS. REMOVE SOIL AS REQUIRED AND DISPOSE OF OFF SITE AFTER AMENDMENT TO MAINTAIN NECESSARY GRADES.

GENERAL NOTES

- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS.
- THE CONTRACTOR IS HEREBY INFORMED OF THE EXISTENCE OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXACT LOCATION OF ALL UTILITIES, AND ANY AND ALL DAMAGE RESULTING FROM THE FAILURE TO DO SO. CONTACT PALMETTO UTILITY PROTECTION SERVICE AT 1-888/721-7871 AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. UTILITY LOCATION INFORMATION MAY ALSO BE OBTAINED FROM LOCAL MUNICIPALITIES. THE CONTRACTOR SHALL EMPLOY A PRIVATE UTILITY LOCATION SERVICE AS REQUIRED TO LOCATE UTILITIES WITHIN THE PROJECT SITE AND NOT IN THE PUBLIC RIGHT OF WAY.
- CONTRACTOR SHALL INFORM LANDSCAPE ARCHITECT IF PROPOSED DESIGN IS IN CONFLICT WITH EXISTING OR PROPOSED UTILITIES. CONTRACTOR SHALL COORDINATE WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION TO ADJUST PROPOSED DESIGN OR UTILITIES AS NECESSARY TO RESOLVE CONFLICTS.
- ACTUAL EXISTING CONDITIONS MAY REQUIRE ADJUSTMENT OF THESE PLANS TO FIT THE SITE. STAKE-OUT/LAYOUT OF DESIGN BY THE CONTRACTOR AND ADJUSTMENT/APPROVAL BY THE LANDSCAPE ARCHITECT IS REQUIRED PRIOR TO CONSTRUCTION.
- REFER TO OTHER SITE DRAWINGS PREPARED BY GMC AND THEIR CONSULTANTS. COORDINATE PLANTING WITH ELEMENTS PROPOSED WITHIN THOSE DOCUMENTS.
- ALL ELEMENTS SHALL BE CONSTRUCTED ACCORDING TO APPLICABLE BUILDING CODES AND ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

SCALE
0' 10' 20'
1" = 20'-0"

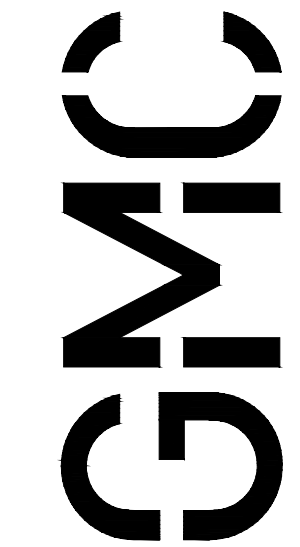


USC SUMTER - HEALTH AND ATHLETICS CENTER

200 MILLER ROAD
SUMTER SC
29150

PLANTING PLAN

L1.00



Goodwyn Mills Cawood, LLC
915 Lady Street, Suite C
Columbia, SC 29201
T 803.766.1235
GMCNETWORK.COM

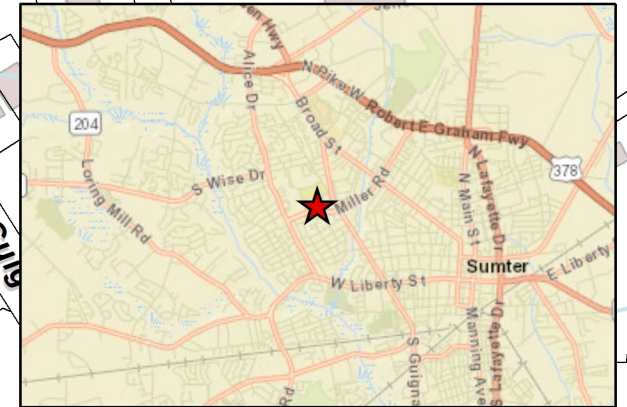
ISSUE DATE

CONSTRUCTION DRAWINGS 4/17/2026

ZONING REVIEW REVISIONS 8/14/2026

DRAWN BY: BWM
CHECKED BY: BWM

Location Map

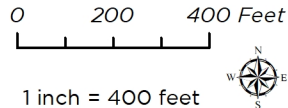


Area Map

Legend

 Case Site Location

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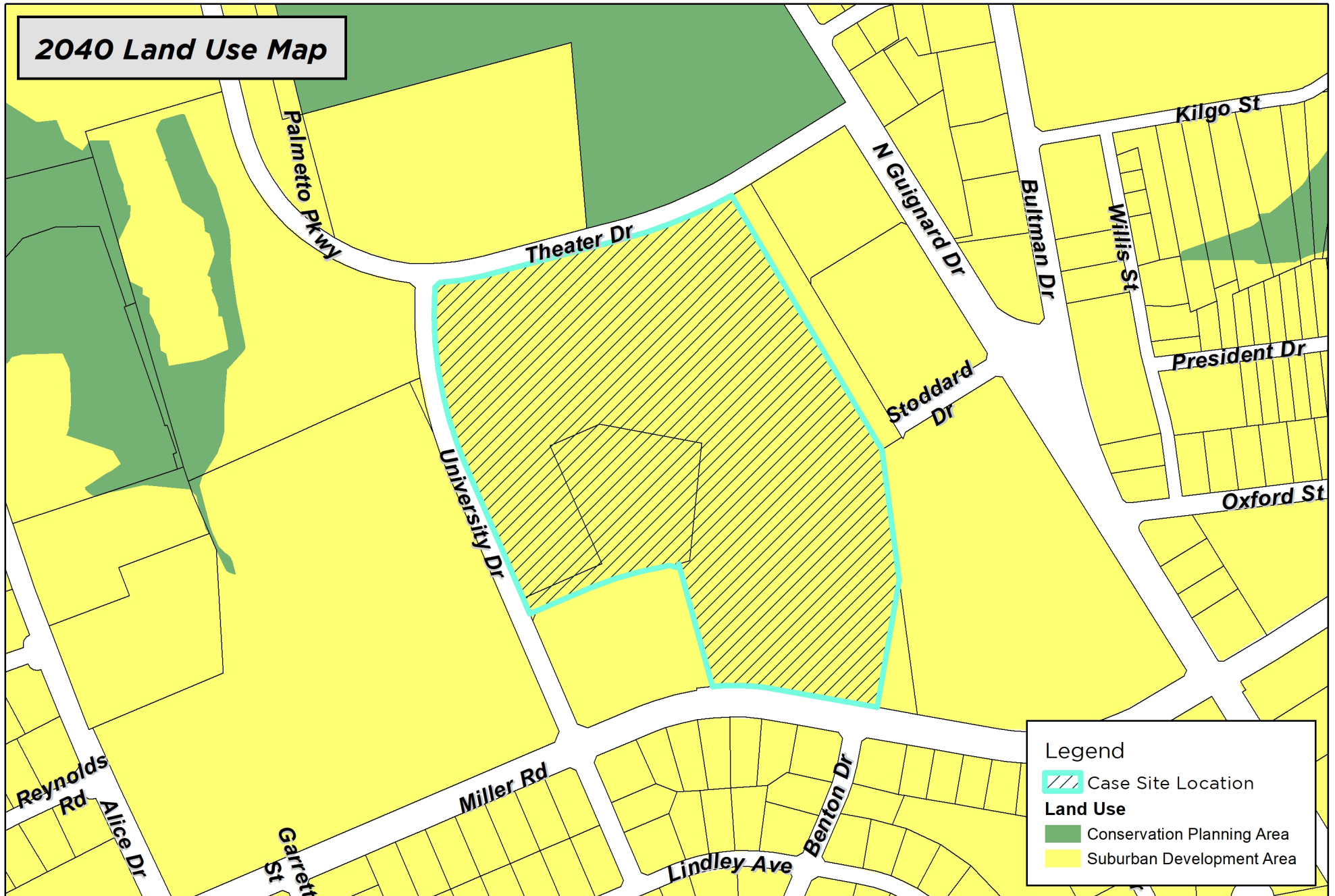


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Date: 8/6/2026
User Name: crobbins
Document Name: MSP-26-49



MSP-26-49
200 Miller Rd, Sumter, SC 29150
Tax Map # 204-13-01-009 & 204-13-01-006

2040 Land Use Map



Legend

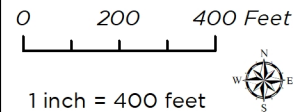
Case Site Location

Land Use

Conservation Planning Area

Suburban Development Area

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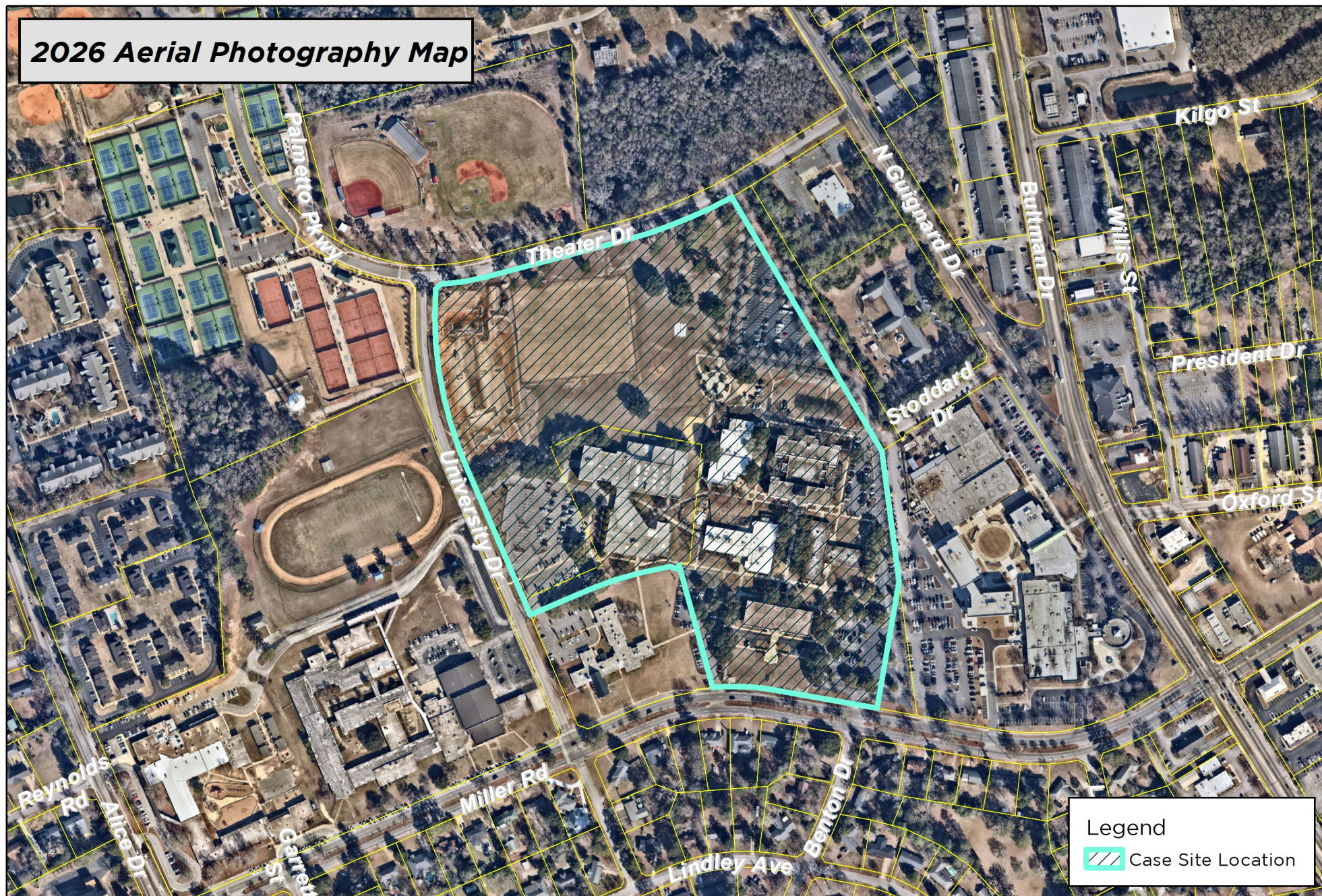


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MSP-26-49
 200 Miller Rd, Sumter, SC 29150
 Tax Map # 204-13-01-009 & 204-13-01-006

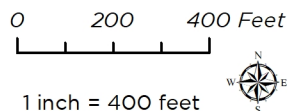
2026 Aerial Photography Map



Legend

 Case Site Location

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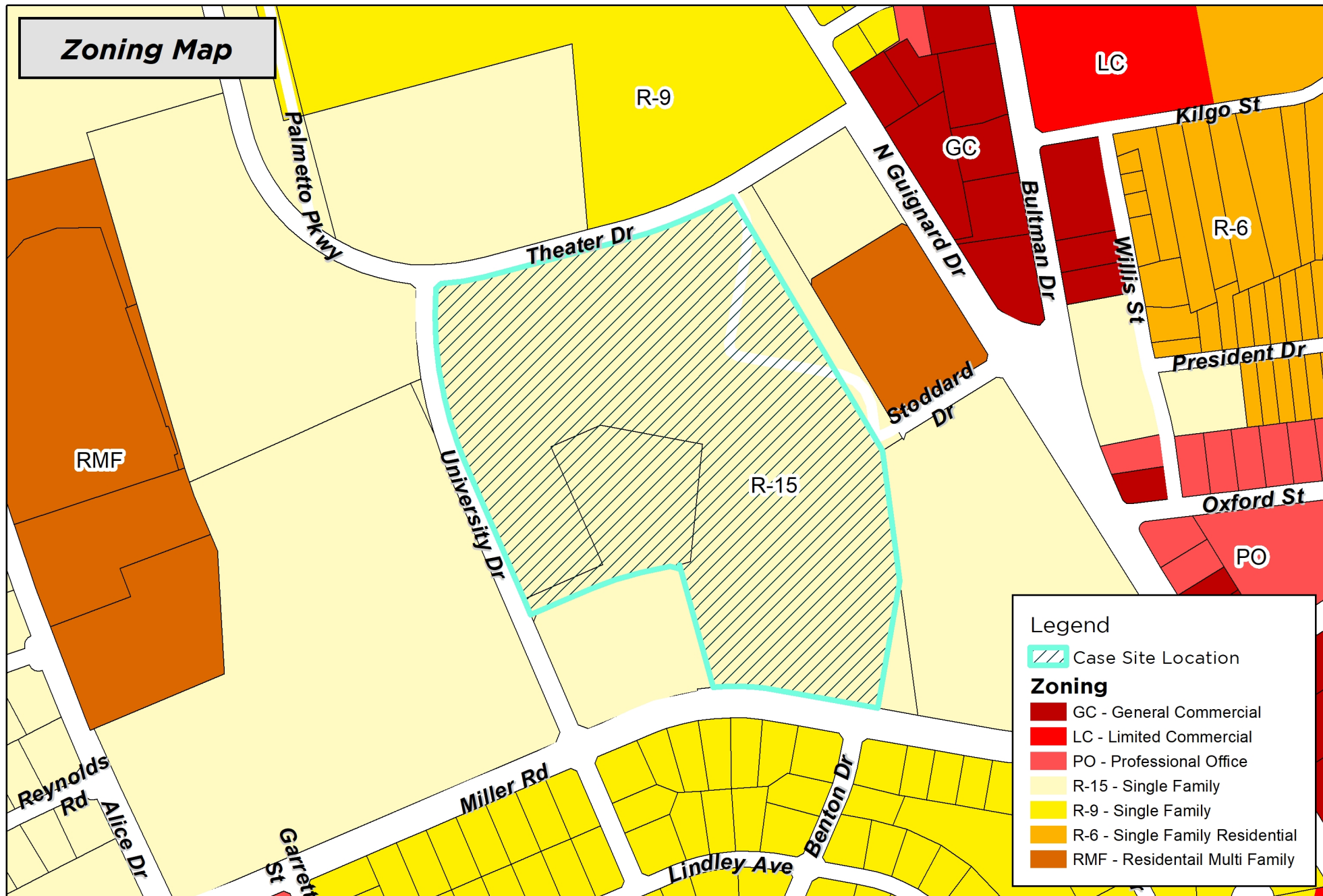


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Zoning Map



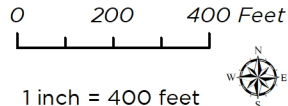
Legend

Case Site Location

Zoning

- GC - General Commercial
- LC - Limited Commercial
- PO - Professional Office
- R-15 - Single Family
- R-9 - Single Family
- R-6 - Single Family Residential
- RMF - Residential Multi Family

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