

Sumter City-County Planning Commission

August 26, 2026

MSP-26-41: 187 S. Lafayette Dr. (City)

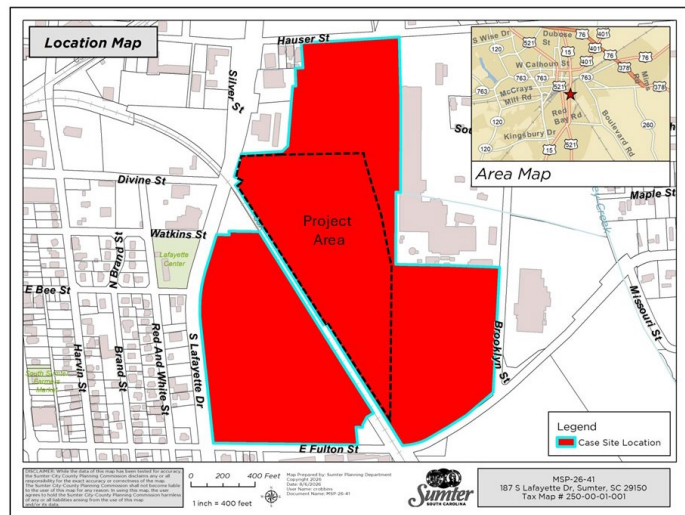
I. THE REQUEST

Applicant:	Charles Hodge
Status of the Applicant:	Property Owner
Request:	Request for Major Site Plan Review for the establishment of a +/- 21-acre automotive salvage yard on a larger +/- 70-acre parcel.
City Council Ward:	3
Location:	187 S. Lafayette Dr.
Size of Development:	+/- 21-acres (salvage yard area)
Present Use/Zoning:	Heavy Industrial & Storage / Heavy Industrial (HI)
Proposed Use of Property:	Use of a 21-acre portion of the property for an automotive salvage yard.
Tax Map Reference:	250-00-01-001

II. BACKGROUND

The applicant is requesting major site plan approval to establish a +/- 21-acre automotive salvage yard on a portion of the property located at 187 S. Lafayette Dr.

The property is bounded by Hauser St. to the north, S. Lafayette Dr. to the west, Brooklyn St. to the east, and E. Fulton St. to the south. The property is bisected by a railroad right-of-way. The property is shown in red on the location map to the right, with the proposed automotive salvage yard indicated by the dashed line.



The property is located within three separate zoning districts, General Commercial (GC), Heavy Industrial (HI), and Light Industrial-Warehouse (LI-W). The proposed automotive salvage yard area is located completely within the HI-zoned portion of the property.

Automotive salvage yards require special exception approval by the Board of Zoning Appeals (BZA) within the HI zoning district. The applicant submitted a request for special exception approval under Case# BOA-25-45 to establish this use of the property. **The BZA approved the special exception request on February 11, 2026 with the following approval conditions:**

1. The project shall be developed in substantial conformance with the conceptual plan submitted by the applicant for special exception approval.
2. A major site plan must be submitted and approved by the Sumter City-County Planning Commission prior to receipt of business license approval for an automotive salvage yard on the property.
3. Customer parking must meet parking lot design requirements found in Article 8 of the Zoning Ordinance.
4. Any fence line that has fallen down or is in disrepair must be repaired/corrected prior to receiving business license approval for the establishment of an automotive salvage yard on the property.
5. If an existing building being used to provide screening for the automotive salvage yard is demolished, then a Type D buffer providing the same level of screening as the building shall be installed.
6. All wooded areas used to provide screening for the automotive salvage yard shall not be removed.
7. No material that is discarded and incapable of being reused in some form shall be placed in open storage.
8. No material shall be placed in open storage in such a manner that it is capable of being transported by wind, water, or other causes.
9. Any and all paper, rags, cloth and other fibers, and activities involving the same materials, other than loading and unloading, shall be within fully enclosed buildings.
10. Automobile crushing and/or shredding activities shall occur between the hours of 8:00 am to 6:00 pm, Monday through Friday only.
11. The stacking of automobiles on top of one another for any purpose is not permitted on this property.

III. SITE PLAN REVIEW

Site Layout:

The applicant has submitted a civil engineered site plan titled, “*C&C Salvage Yard, Landscape Construction Documents*” prepared by CESCO, Inc., last revised on August 14, 2026.

The application was submitted and determined to be complete prior to the effect of “Pending Ordinance Doctrine” for the proposed *City of Sumter Unified Development Ordinance* (UDO). As such, the project is subject to and was reviewed against the requirements of the City of Sumter Zoning & Development Standards Ordinance (the “Zoning Ordinance”) and the specific BZA approval conditions for the use on the property.

A copy of the site plan is included in this packet for review as Exhibit 2.

Staff Review: The proposed automotive salvage yard is not within 500 ft. of a residential use, church, historic place, or public park.

2. All materials and activities not within fully enclosed buildings shall be enclosed by a structure approved by the Board of Zoning Appeals upon the recommendation of the Zoning Administrator.

Staff Review: The entirety of the property east of the railroad right-of-way is enclosed with a chain-link fence. A fenced gate to the property exists off the primary entrance to the automotive salvage yard on Brooklyn St. The BZA approved this enclosure with the condition that any sections of fence that have fallen down or are in disrepair be fixed prior to business license approval for the use to be established on the property.

Parking Plan:

Based upon the criteria found in *Article 8, Exhibit 8-12: Off-Street Parking Requirements for Non-Residential Land Uses* of the Zoning Ordinance, requires 5 off-street parking spaces for automotive salvage yard uses. The submitted plan set indicates the requisite amount of off-street parking is being provided. The applicant is requesting an alternative surface material for the parking stalls and for the drives leading to them, as is allowed under Article 8.i.3.b. The primary entrance into the salvage yard area is off Brooklyn St. This main drive has a concrete surface from Brooklyn St. to the interior building where vehicle fuel draining will occur. The required handicapped accessible space will have a concrete surface material.

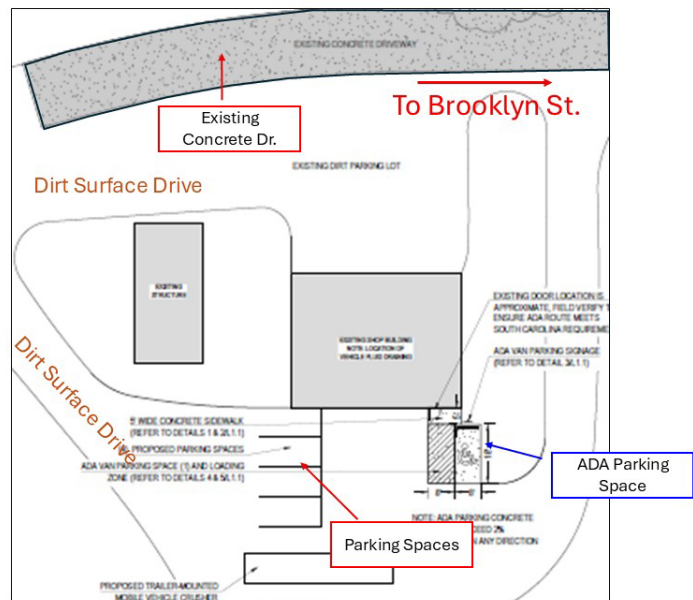


Figure 2 - Parking Plan

Staff is supportive of this request for parking area alternative surface materials. Per the applicant, the automotive salvage yard will not be open to the general public to pick and pull parts. Thus, external trips to the property from general customers are anticipated to be minimal. Further, the site is served by a concrete drive that extends approximately 800 linear feet from general parking area to its connection to Brooklyn St.

Environmental:

The property is located in Zone X, which is not a special flood hazard area (SFHA), as shown on FEMA FIRM Panel: 45085C0312E, with an effective date of October 27, 2022. National Wetland Inventory (NWI) data indicates that there are no wetlands on the property.

Stormwater Management:

The proposed project is not subject to City of Sumter MS4 stormwater review. Rather, the proposed use on the property triggers the requirement to obtain a separate industrial stormwater permit from the South Carolina Department of Environmental Services (SCDES). The applicant has offered the following responses as to how the use will comply with SCDES industrial stormwater discharge requirements:

- Spill and leak prevention, employee training, and stormwater runoff management practices will be implemented in accordance with state requirements.
- Vehicle fluids will be collected within a shop containment area and disposed of in accordance with applicable state/federal requirements.
- An oil-water separator is/will be installed to manage runoff from the exterior area surrounding the shop where vehicle fluids will be drained.
- Routine quarterly inspections will be conducted to identify signs of leakage, equipment containing oily parts, hydraulic fluids, other fluids, mercury switches, and unauthorized outdoor storage of hazardous materials or automotive fluids.
- Comprehensive site inspections will be conducted annually by a third-party contactor. Inspections shall cover all areas of the salvage yard site covered under the state permit, including areas identified in the Stormwater Pollution Prevention Plan (SWPPP) as potential pollutant sources where industrial materials or activities are exposed to stormwater systems.
- Corrective action will be taken as necessary to address any issues, if they arise.
- Benchmark monitoring of stormwater discharges from the site will include analysis for Total Suspended Solids (TSS) and total lead.
- Water quality monitoring will include analysis from ammonia nitrogen and E. coli bacteria.

Landscape & Tree Protection Plan:

The proposed 21-acre automotive salvage yard area is not primarily wooded. No trees are proposed to be removed as a result of this project.

The applicant is proposing a mixture of Type D Landscaping, existing wood lines, and existing buildings under the same ownership to screen the proposed automotive salvage yard use, as shown on the landscape plan graphic below. In total, the applicant is proposing to install 1,845 linear feet of Type D buffering, consisting of 75 canopy trees, 185 evergreen trees, and 370 tall shrubs as part of this project. The Type D landscape buffers are located where the site is visible from street rights-of-way.

The applicant has submitted a waiver request to allow for the use of existing buildings to count as part of the required buffering/screening plan in lieu of plantings. Waiver requests are reviewed by the Zoning Administrator pursuant to *Article 9.d.6.* of the Zoning Ordinance. Such requests are evaluated on their ability to provide an alternative design which meets the public purposes to at least an equivalent degree. The use of existing buildings in lieu of buffer plantings has been determined to meet this objective, as the proposed site is the interior part of a larger industrial property, has a lesser degree of visibility from surrounding streets, and abuts a railroad right-of-way that bisects the site. The BZA approved the special exception request under this general plan, and attached a condition to the approval concerning the requirement to plant a Type D buffer in the event any of the existing buildings used as screening are removed.

The landscape plan has been attached to this report for reference.

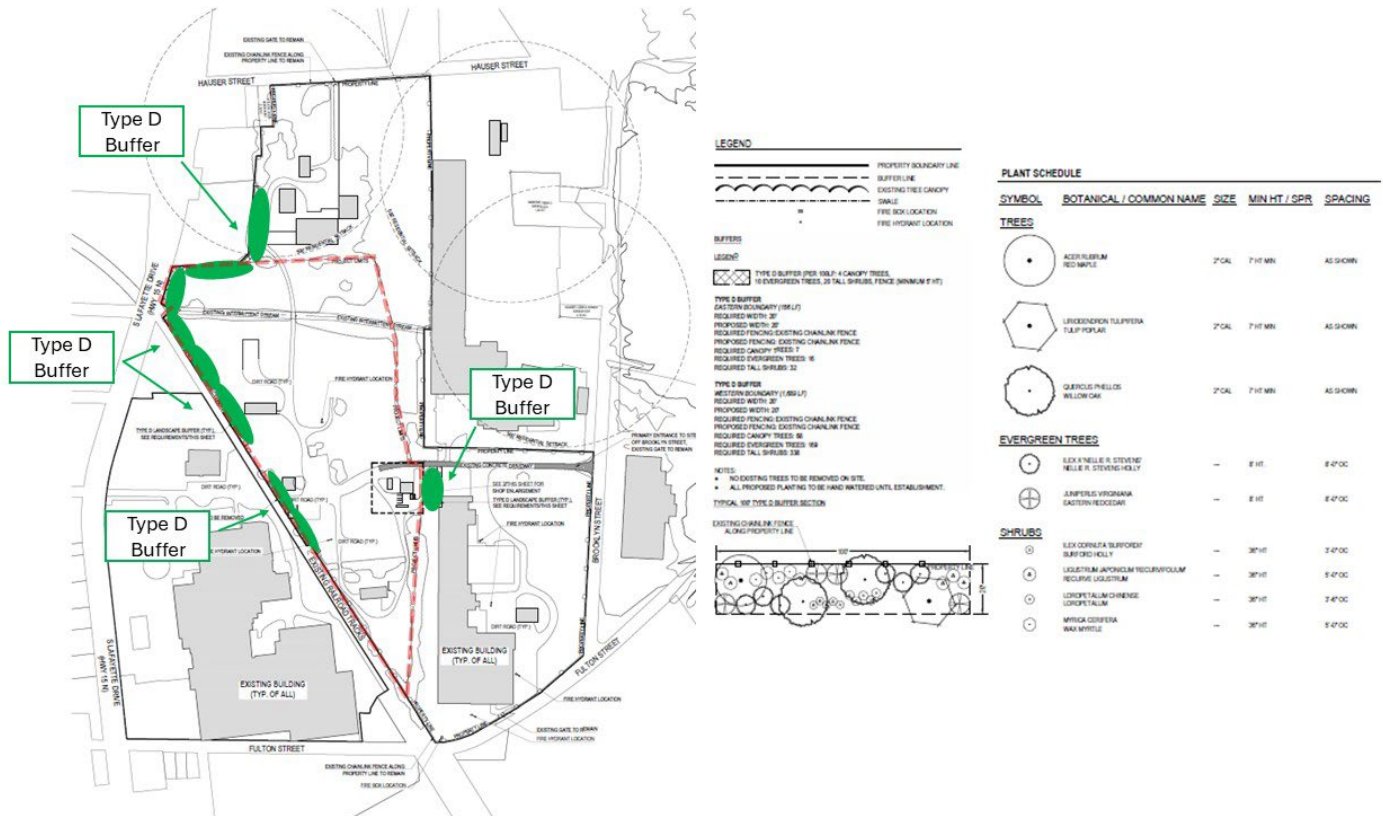


Figure 3 - Proposed Landscaping Plan

Transportation Review:

The proposed development will have direct access to Brooklyn St., which is owned and maintained by SCDOT. Brooklyn St. is functionally classified as a local road. There are no AADT traffic counts available for this street.

The proposed development will use an existing paved entrance onto Brooklyn St. No work within SCDOT right-of-way is proposed under this project.

Multimodal Transportation Factors

- *Bicycle and Pedestrian:* The proposed project will not impact bicycle and pedestrian transportation infrastructure.
- *Rail:* The proposed project would not result in any utilization of, or impact to, rail lines.
- *Transit:* The proposed project will not impact transit infrastructure.

Analysis of Applicable Zoning & Development Standards Ordinance Transportation Provisions

- *Visual Clearance at Intersections:* The proposed visual clearance at intersections conforms to Ordinance requirements.
- *Traffic Impact Study (TIS) Requirements:* Based on the proposed development scope and scale, a TIS is not required.
- *Consideration of Existing Local and Regional Plans:* The proposed project is not impacted by future planned transportation projects or policies.
- *Circulation System Design:* The circulation system conforms to Ordinance requirements.

Utilities:

Sewer & Water: Water and sewer service exist at the site and are not integral component of this project.

Solid Waste: The site is within the City of Sumter solid waste service area. No new commercial dumpsters are proposed or anticipated for this project.

Fire: The site is served by 5 existing hydrants and a fire connection box. The Fire Department has indicated that fire flow testing for these existing hydrants is needed to ensure that sufficient fire flow is available in the event of a larger fire occurring on the property.

IV. TECHNICAL REVIEW

The technical review committee (TRC) was given the opportunity to review and comment on the project. The Fire Department has indicated flow testing is needed on the existing hydrants to ensure that sufficient fire flow is available in the event of a larger fire occurring on the property.

V. STAFF RECOMMENDATION

Staff has reviewed the major site plan application, shared the proposed plans with the technical review committee, and recommends **approval** of this request subject to the standard Conditions of Approval in Exhibit 1, and the specific condition noted below:

1. Approval of alternate parking area surface material for limited customer parking area, as proposed.

VI. DRAFT MOTION

1. I move the Planning Commission **approve** MSP-26-41 based on the site plans titled “*C&C Salvage Yard, Landscape Construction Documents*” prepared by CESCO, Inc., last revised on August 14, 2026, and subject to the conditions of approval outlined in Exhibit 1.
2. I move the Planning Commission **deny** MSP-26-41.
3. I move an alternate motion.

VII. PLANNING COMMISSION – August 26, 2026

Exhibit 1:

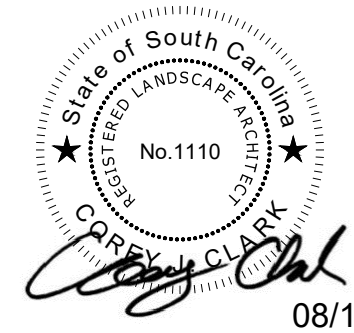
**MSP-26-41: 187 S. Lafayette Dr. (City)
Automotive Salvage Yard
Proposed Conditions of Approval**

1. The project shall be developed in substantial conformance with the site plans titled, “*C&C Salvage Yard, Landscape Construction Documents*” prepared by CESCO, Inc., last revised August 14, 2026.
2. The following items are required prior to business license approval and prior to authorization for associated business activities of an automotive salvage yard to occur on the property.
 - a. Submission of full final civil engineered plans. Said plans shall show the latest revision date.
 - b. Industrial Stormwater Permit issued by the South Carolina Department of Environmental Services (SCDES).
 - c. Documentation that the entirety of the chain link fence enclosure is in fully upright condition and in a general state of good repair.
 - d. Zoning final inspection approval for all site improvements proposed under this plan.
 - e. Fire Department approval of fire flow capacity available to serve the site.
 - f. Documentation that all applicable BOA-25-45 approval conditions have been complied with.
3. Compliance with special exception approval conditions under Case #BOA-25-45 must be maintained as long as the use is operational on the property.
4. Separate sign permits are required for all exterior signage. All signage must be in full compliance with *Article 8.h.* of the *City of Sumter Zoning & Development Standards Ordinance* prior to permit approval, issuance, and installation.



CESO
WWW.CESOINC.COM

4601 Park Road Suite 650
Charlotte, NC 28209
Phone: 704.521.7979 Fax: 888.208.4826



C&C SALVAGE YARD
187 S LAFAYETTE DRIVE
SUMTER, SOUTH CAROLINA

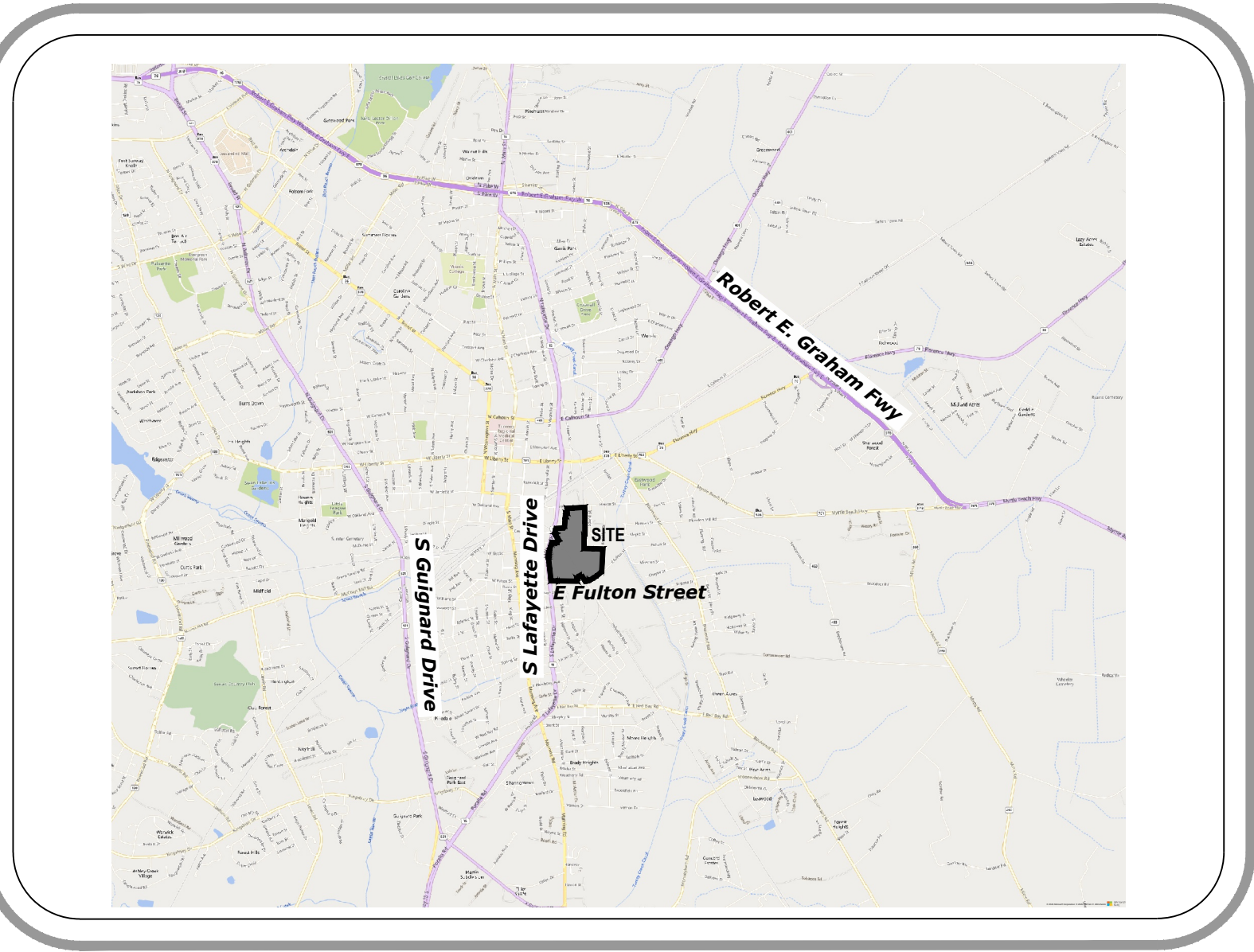
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Project Number: 768719-01
Scale: AS SHOWN
Drawn By: GMG
Checked By: JAL/CJC
Date: 08/14/2026
Issue: PERMIT SET

Drawing Title:

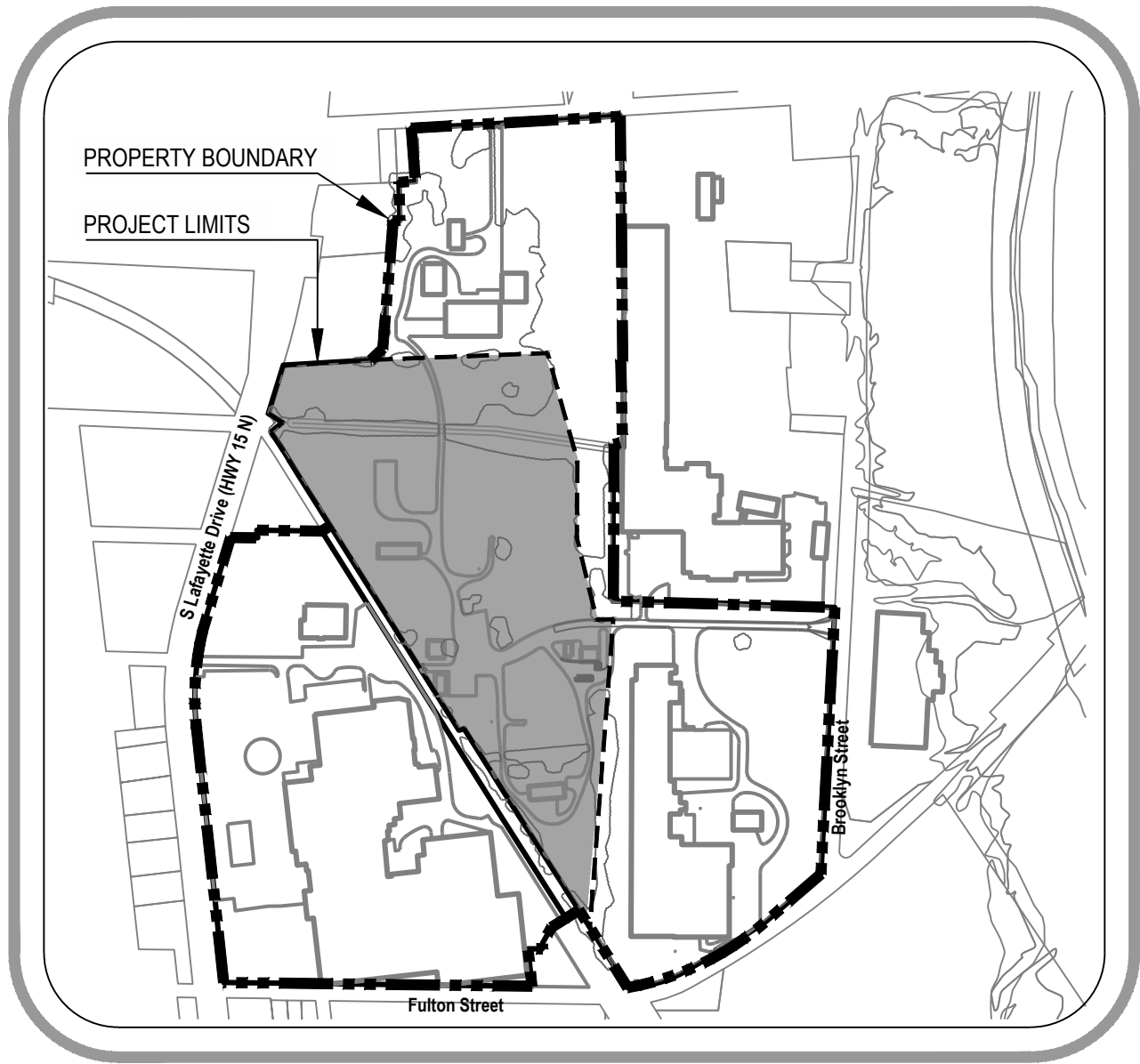
COVER SHEET

L0.0



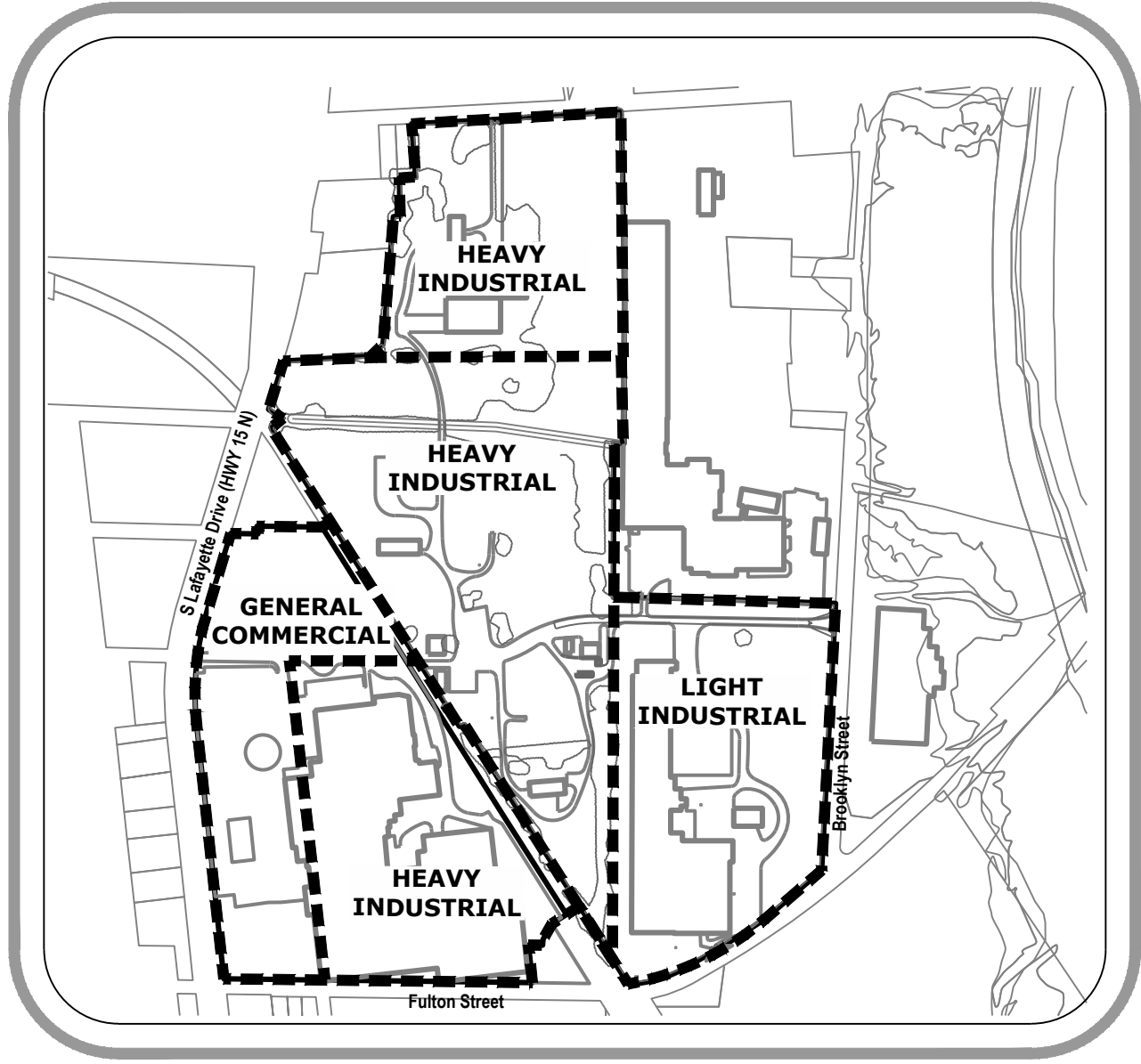
PROJECT LOCATION MAP

NOT TO SCALE



VICINITY MAP

1"=500'



ZONING MAP

1"=500'

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE DRAWINGS AND SITE SPECIFICATIONS UNLESS CITY OR COUNTY STANDARDS ARE MORE STRINGENT WHICH MUST BE ADHERED TO, AS WELL AS APPLICABLE FEDERAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS, INCLUDING NECESSARY PERMITS AND INSPECTIONS REQUIRED BY GOVERNING AUTHORITIES.
- PRIOR TO ANY CONSTRUCTION, LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR. WHEN ACTUAL CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
- ORGANIC AND UNDESIRABLE MATERIAL SHALL BE REMOVED FROM THE CONSTRUCTION AREA AS DIRECTED BY THE OWNER AT NO ADDITIONAL COST TO OWNER UNLESS APPROVED IN ADVANCE BY THE OWNER.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER IN WRITING OF OBVIOUS ERRORS OR OMISSIONS IN THE PLANS IDENTIFIED DURING CONSTRUCTION PLAN REVIEW AND STAKEOUT. THE CONTRACTOR SHALL NOT CONSTRUCT ANY FACILITIES IDENTIFIED DURING PLAN REVIEW AND STAKEOUT THAT ARE IN OBVIOUS ERROR, WITHOUT WRITTEN INSTRUCTION FROM THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING PAVED SURFACES INCLUDING: SIDEWALKS, METER BOXES, SEWER SERVICES, SEWER CLEANOUTS OR CURBS WITHIN THE PUBLIC RIGHT-OF-WAY WHICH ARE DAMAGED, DETERIORATED OR REMOVED BY CONSTRUCTION ACTIVITIES. ANY DAMAGED PAVING RESULTING FROM CONSTRUCTION ACTIVITIES, ACCESS AND/OR STAGING SHALL BE REPLACED TO OWNERS AND COUNTY SPECIFICATIONS AND STANDARDS AT NO ADDITIONAL COST TO OWNER UNLESS APPROVED IN ADVANCE BY THE OWNER.
- CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING SURVEY MONUMENTS DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR THE COST AND COORDINATION OF REPLACEMENT, BY LICENSED SURVEYORS, OF DAMAGED OR REMOVED MONUMENTS AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE TEMPORARY SEEDING TO STABILIZE SOIL IF THE TIME OF YEAR IS NOT IDEAL FOR PLANTING.

BOA-25-45 APPROVAL CONDITIONS

- PROJECT SHALL BE DEVELOPED IN SUBSTANTIAL CONFORMANCE WITH THE PLAN APPROVED UNDER CASE #BOA-25-45 AND PLANS APPROVED UNDER MSP-26-41.
- CUSTOMER PARKING MUST MEET PARKING LOT DESIGN REQUIREMENTS FOUND IN ARTICLE 8 OF THE ORDINANCE.
- ANY FENCE THAT HAS FALLEN DOWN OR IS IN DISREPAIR MUST BE REPAIRED/CORRECTED PRIOR TO RECEIVING APPROVAL TO ESTABLISH THE USED AUTOMOBILE SALVAGE YARD.
- ALL REQUIRED IMPROVEMENTS UNDER APPROVED PLANS MUST BE COMPLETED PRIOR TO RECEIVING BUSINESS LICENSE APPROVAL FOR THE ESTABLISHMENT OF AN AUTOMOBILE SALVAGE YARD ON THE PROPERTY.
- IF AN EXISTING BUILDING BEING USED TO PROVIDE SCREENING FOR THE AUTOMOBILE SALVAGE YARD IS DEMOLISHED, THEN A TYPE D BUFFER PROVIDING THE SAME LEVEL OF SCREENING AS THE BUILDING SHALL BE INSTALLED.
- ALL WOODED AREAS USED TO PROVIDE SCREENING FOR THE AUTOMOBILE SALVAGE YARD SHALL NOT BE REMOVED.
- NO MATERIAL BECAUSE IT IS DISCARDED AND INCAPABLE OF BEING REUSED IN SOME FORM SHALL BE PLACED IN OPEN STORAGE.
- NO MATERIAL SHALL BE PLACED IN OPEN STORAGE IN SUCH A MANNER THAT IT IS CAPABLE OF BEING TRANSPORTED BY WIND, WATER, OR OTHER CAUSES.
- AND AND ALL PAPER, RAGS, CLOTH AND OTHER FIBERS, AND ACTIVITIES INVOLVING THE SAME MATERIALS, OTHER THAN LOADING AND UNLOADING, SHALL BE WITHIN FULLY ENCLOSED BUILDINGS.
- AUTOMOBILE CRUSHING AND/OR SHREDDING ACTIVITIES SHALL OCCUR BETWEEN THE HOURS OF 8:00 A.M. TO 6:00 P.M., MONDAY THROUGH FRIDAY ONLY.
- THE STACKING OF AUTOMOBILES ON TOP OF ONE ANOTHER FOR ANY PURPOSE IS NOT PERMITTED ON THIS PROPERTY.

CONTACT INFORMATION

OWNER:

C&C RECYCLING
187 S LAFAYETTE DRIVE
SUMTER, SC 29151
CONTACT: CHARLES HODGE

LANDSCAPE ARCHITECT:

CESO, INC.
4601 PARK ROAD, SUITE 650
CHARLOTTE, NORTH CAROLINA, 28209
PHONE: 803-730-4057
CONTACT: COREY CLARK, PLA

PHONE: 612-638-1262
CONTACT: JEFF LAPE, PLA

SHEET INDEX

	SHEET #	ORIG. DATE	REV. DATE
COVER SHEET	L0.0	08/14/2026	-
SITE & LANDSCAPE BUFFER PLAN	L1.0	08/14/2026	-
HARDSCAPE DETAILS	L1.1	08/14/2026	-
PLANTING DEATILS & NOTES	L2.0	08/14/2026	-

SITE DATA TABLE

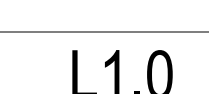
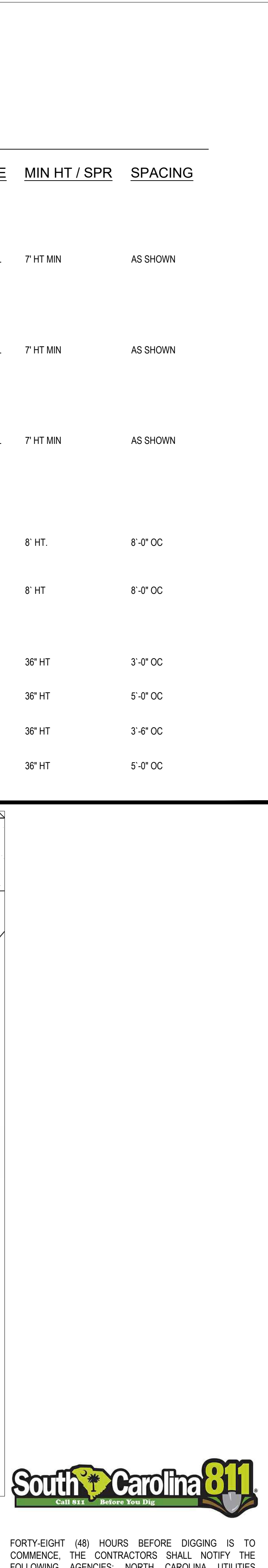
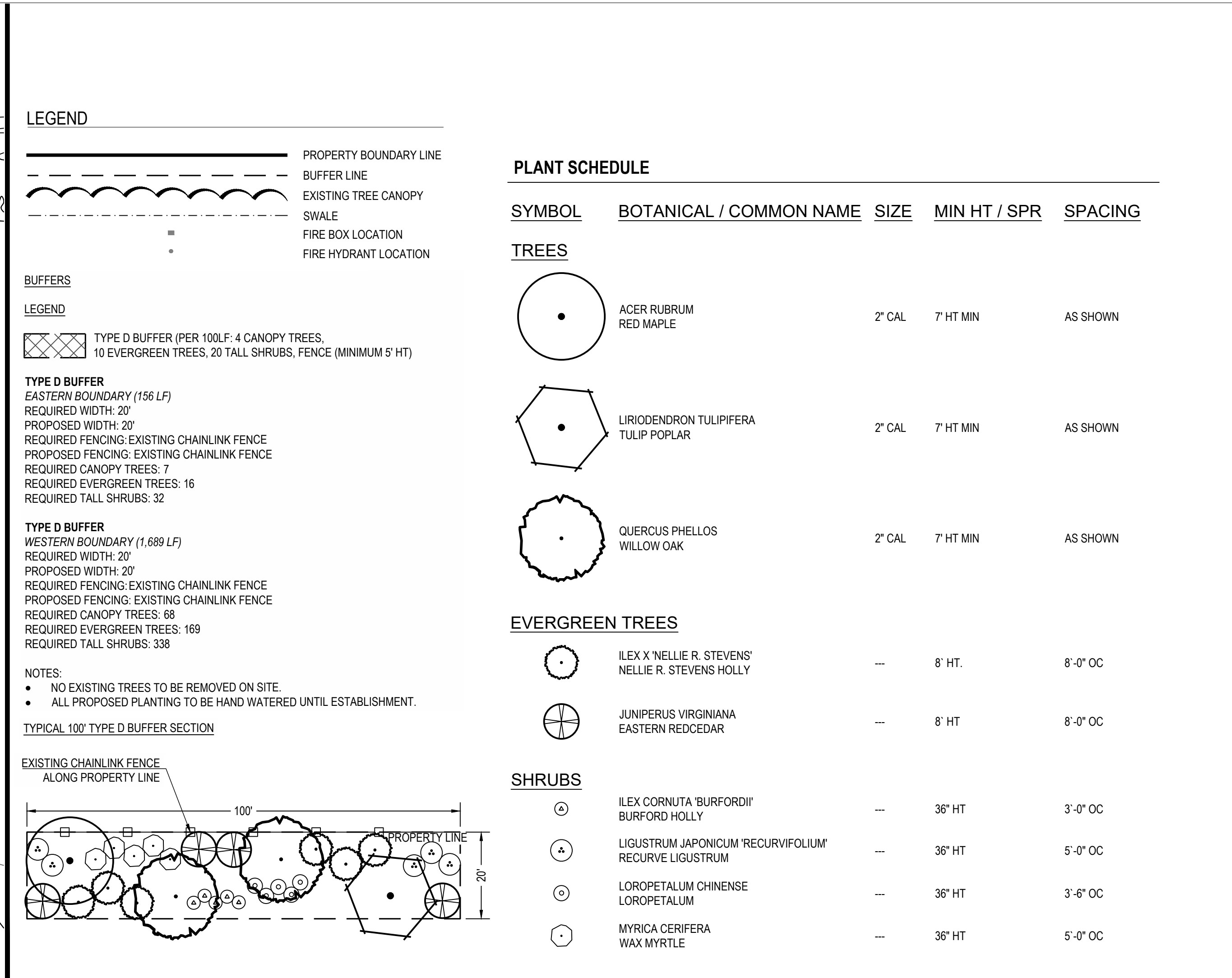
PROJECT ADDRESS	187 S LAFAYETTE DRIVE, SUMTER SC 29151
	(SUMTER CITY LIMITS)
	C&C RECYCLING/CHARLES HODGE PO BOX 220, SUMTER, SC 29151 PHONE: 803-934-1900 EMAIL: EWINN@HODGEDL.COM
PROPERTY OWNER	
TAX MAP ID NUMBER	2500001001
PROPOSED USE	USED MOTOR VEHICLE PARTS MERCHANT WHOLESALER
ZONING DISTRICT	HI, LI-W
SITE ACREAGE	69.94 AC
PROJECT AREA	22.82 AC

- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES, USING FLAG MEN, ETC. AS NECESSARY TO ENSURE THE SAFETY OF THE PUBLIC.
- ALL PAVEMENT CUTS, ASPHALT OR CONCRETE, ARE TO BE PLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.



FORTY- EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR (800) 362-2764 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NORTH CAROLINA UTILITIES PROTECTION SERVICE

THIS SET IS CURRENT THROUGH SHEET DATE 08/14/2026



C:\DC\ACCDocs\CESO\C&C Recycling\Project Files\CESO\06-LA_PL\ANI_CD\768719-01-Hardscape Details.dwg - 8/14/2026 - Grace Gilbert



WWW.CESOINC.COM

4601 Park Road Suite 650
Charlotte, NC 28209
Phone: 704.521.7979 Fax: 888.208.4826



08/14/2026

C&C SALVAGE YARD

187 S LAFAYETTE DRIVE
SUMTER, SOUTH CAROLINA

Revisions / Submissions

ID	Description	Date
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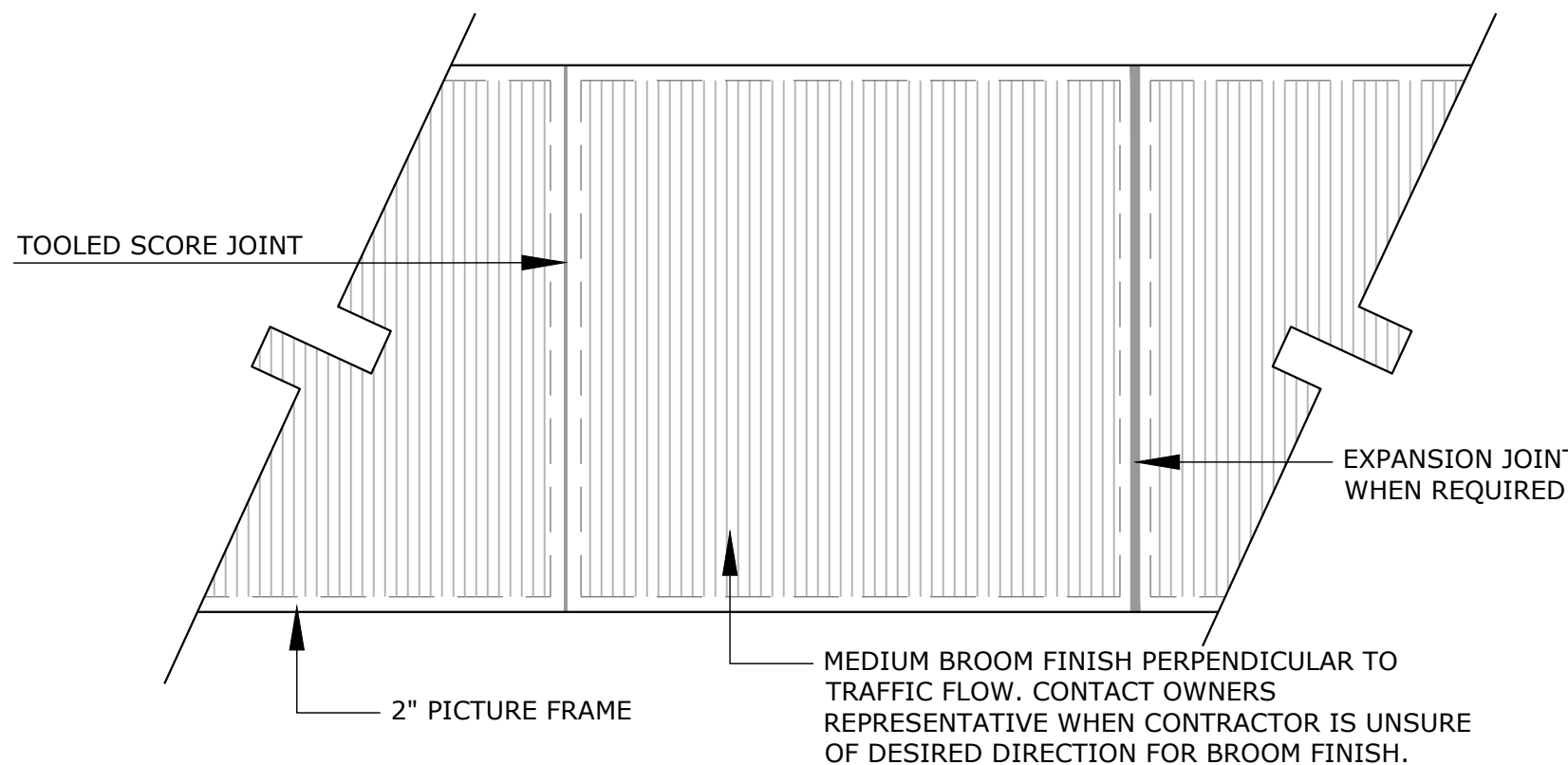
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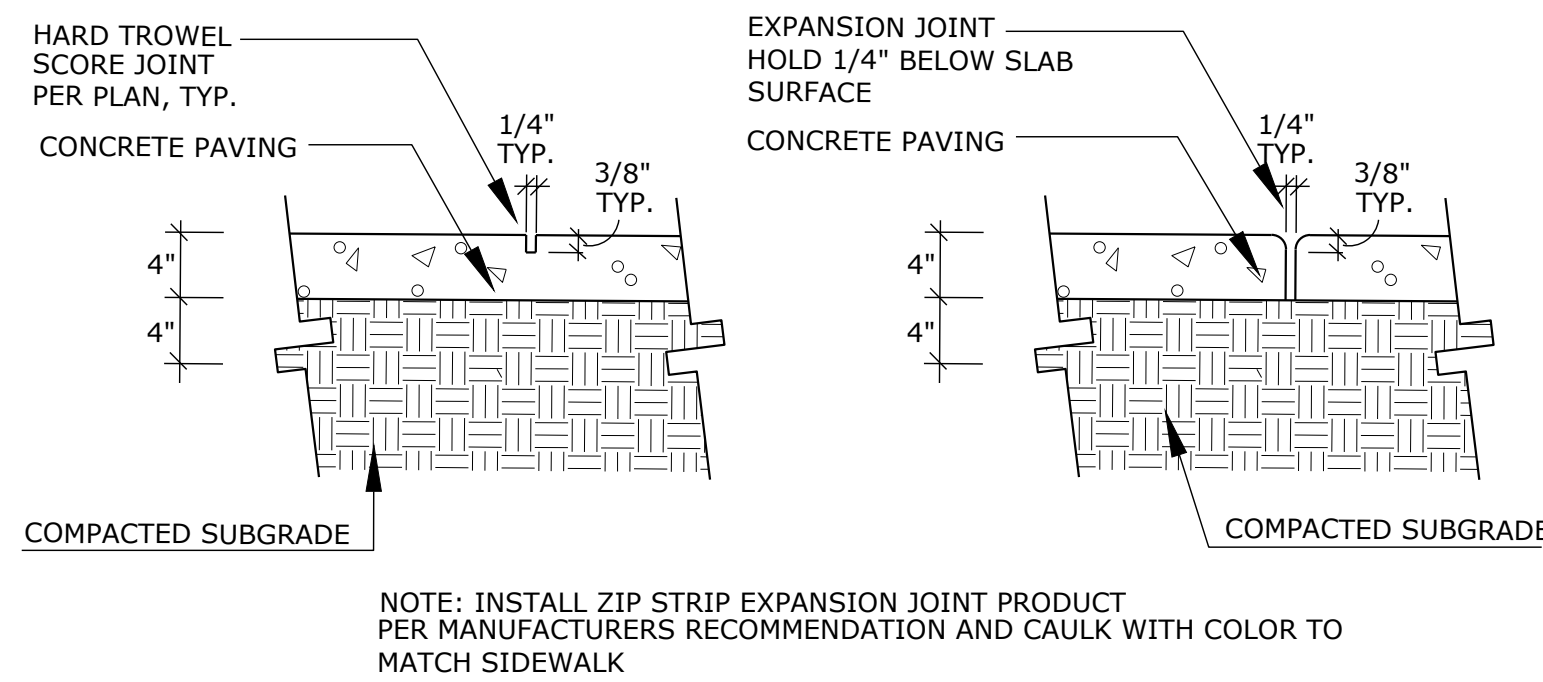
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HARDSCAPE
DETAILS

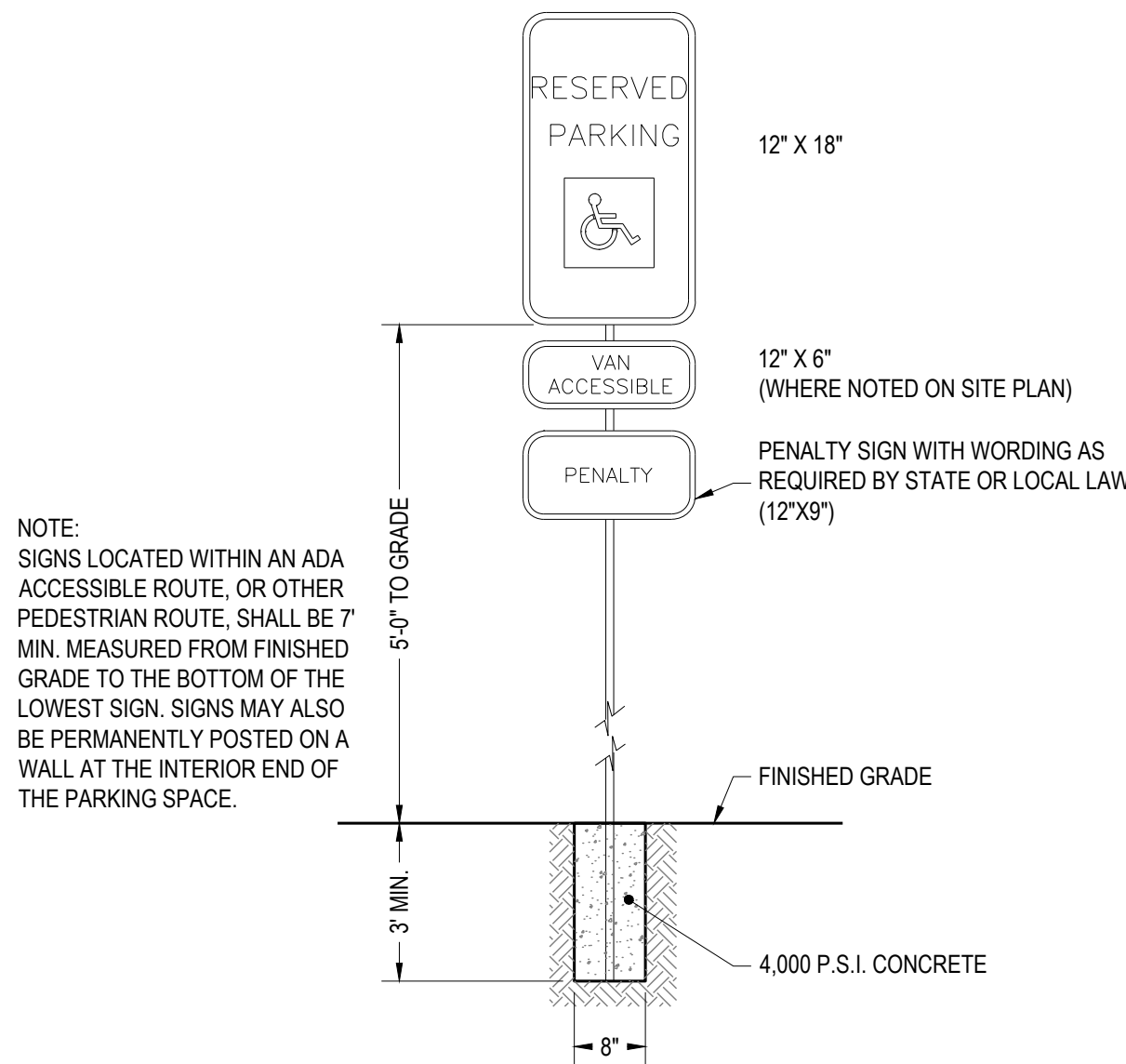
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1 CONCRETE PATHWAY - PLAN
NOT TO SCALE

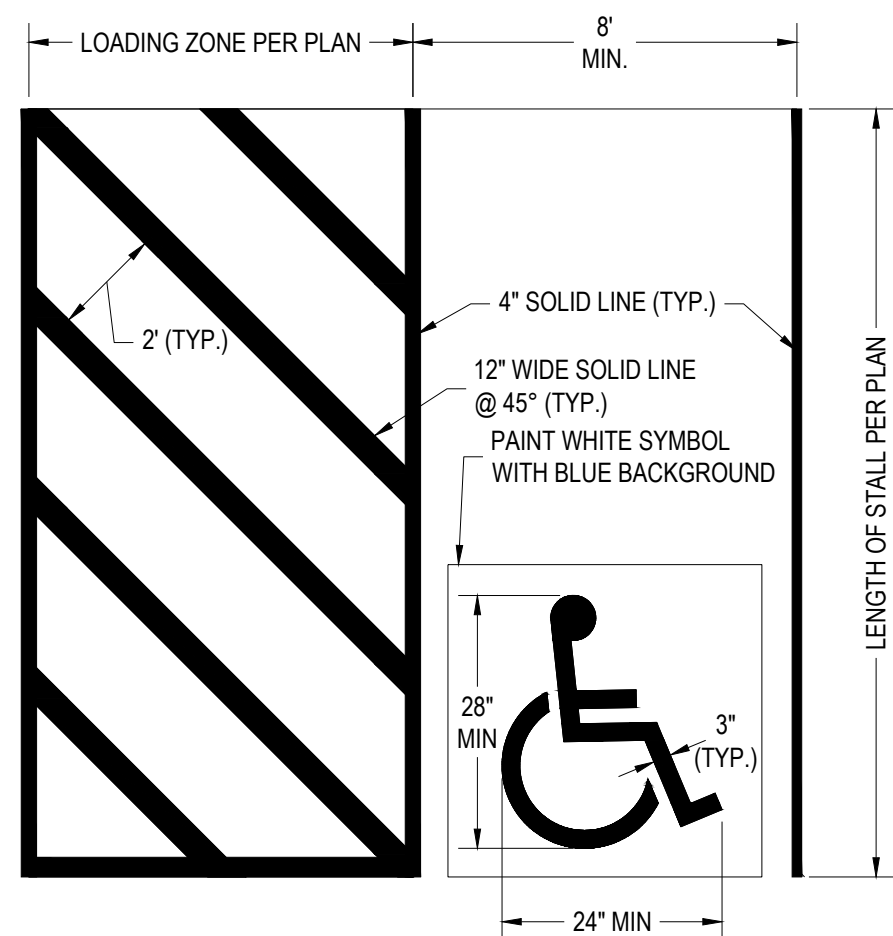


2 CONCRETE PATHWAY - SECTION
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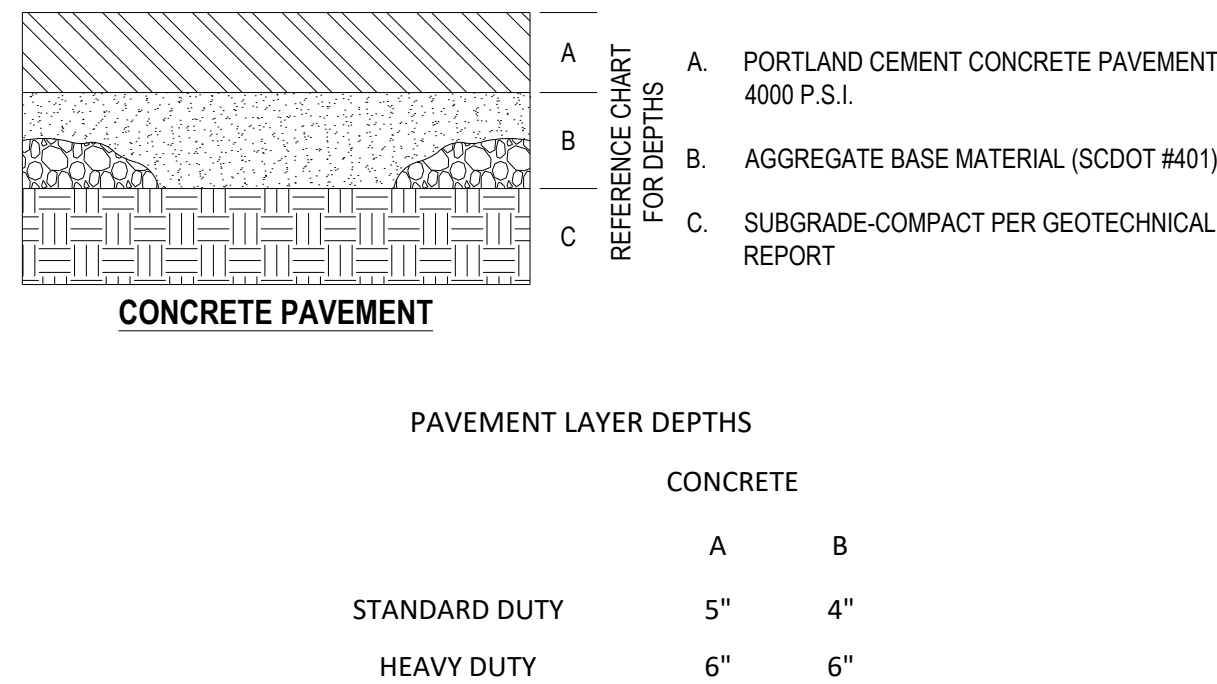


NOTE:
SIGNS LOCATED WITHIN AN ADA
ACCESSIBLE ROUTE, OR OTHER
PEDESTRIAN ROUTE, SHALL BE 7
MIN. MEASURED FROM FINISHED
GRADE TO THE BOTTOM OF THE
LOWEST SIGN. SIGNS MAY ALSO
BE PERMANENTLY POSTED ON A
WALL AT THE INTERIOR END OF
THE PARKING SPACE.

3 ACCESSIBLE PARKING SIGN
NOT TO SCALE

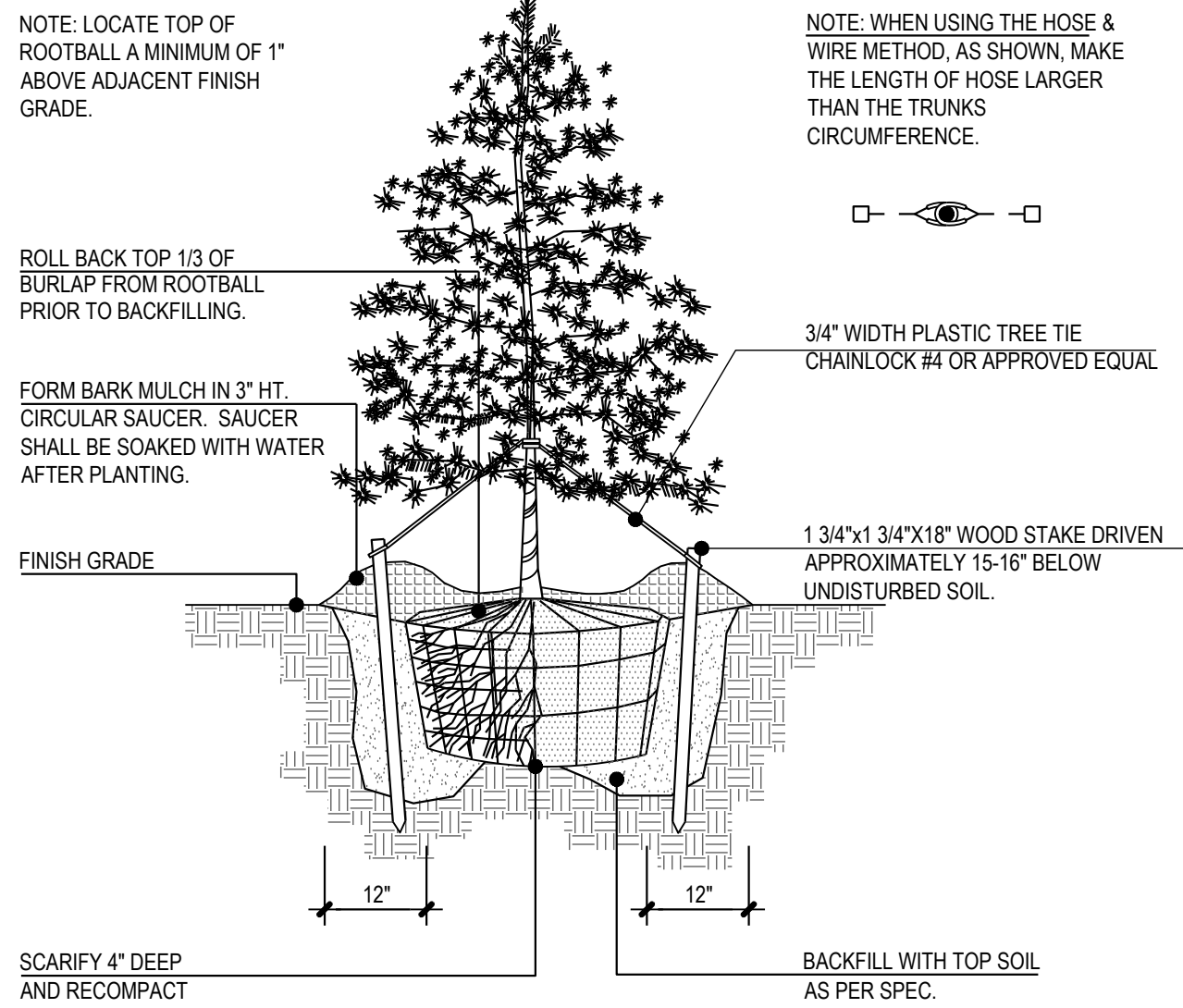


4 ACCESSIBLE PARKING SPACE STRIPING
NOT TO SCALE



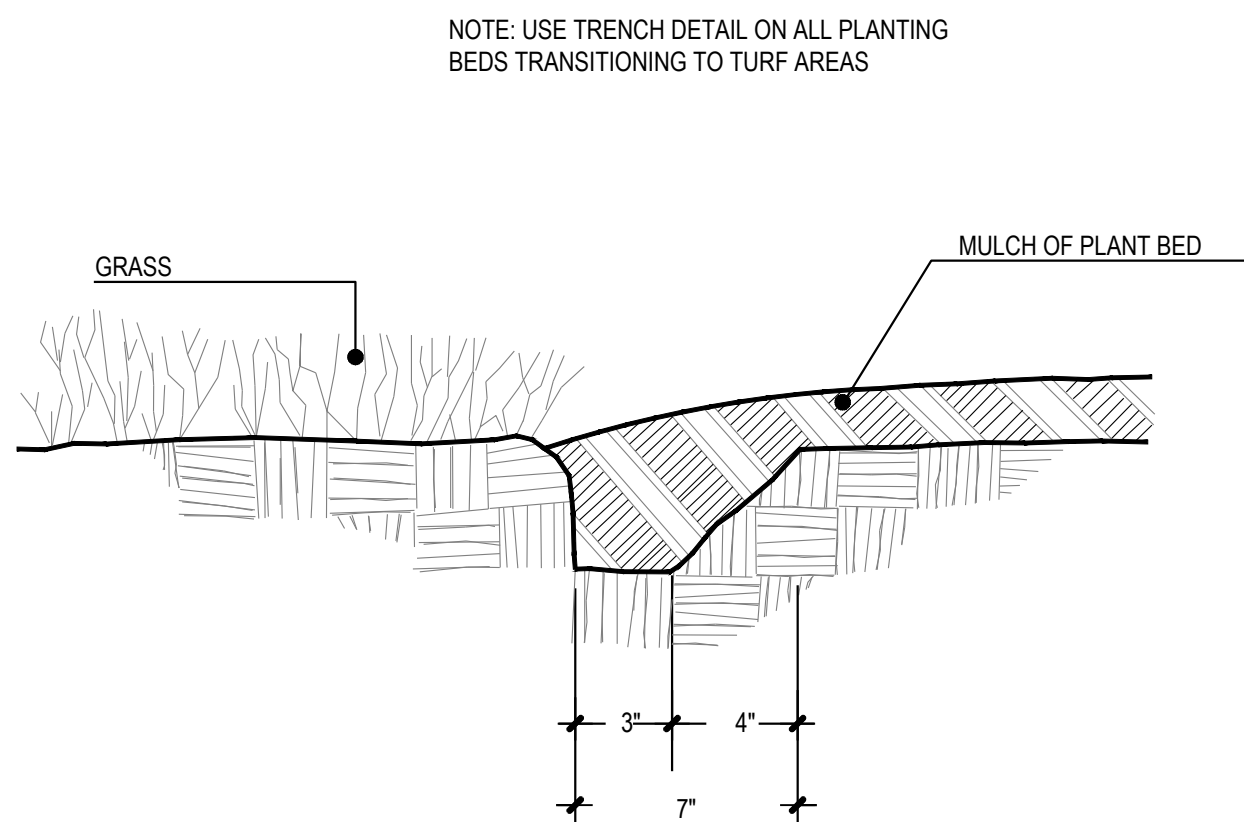
THE PROPOSED PAVEMENT SECTIONS ARE DESIGNED TO SUPPORT AT LEAST 80,000 LBS IN ALL WEATHER CONDITIONS. PLEASE REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.

5 CONCRETE PAVEMENT SECTION
NOT TO SCALE



N.T.S.

NTS



N.T.S.

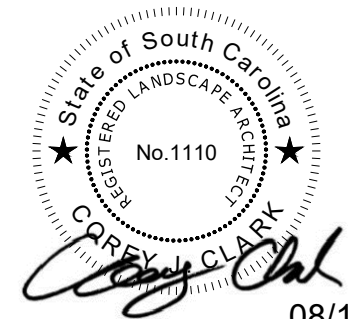
N.T.S.

GENERAL NOTES: LANDSCAPE PLAN

- CONTRACTOR TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY LOCATE SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
2. SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
3. REFER TO SITE CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS AND COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWING AS NEEDED.
4. REESTABLISH EXISTING TURF IN AREAS DISTURBED BY GRADING OR UTILITY TRENCHING, INCLUDING AREAS IN RIGHT-OF-WAY, TO MATCH EXISTING SPECIES.
5. CONTRACTOR SHALL EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
6. CONTRACTOR TO REPORT ALL DAMAGES TO EXISTING CONDITIONS AND INCONSISTENCIES WITH PLANS TO LANDSCAPE ARCHITECT.
7. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LANDSCAPE BEDS AND ALL LAWN AREAS.
8. CONTRACTOR TO FINE GRADE AND ROCK-HOUND ALL TURF AREAS PRIOR TO SEEDING, TO PROVIDE A SMOOTH AND CONTINUAL SURFACE, FREE OF IRREGULARITIES (BUMPS OR DEPRESSIONS) & EXTRANEOUS MATERIAL OR DEBRIS.
9. REMOVE EXISTING WEEDS FROM PROJECT SITE PRIOR TO THE ADDITION OF ORGANIC AMENDMENTS AND FERTILIZER. APPLY AMENDMENTS AND FERTILIZER AS NEEDED.
10. QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN EVALUATING THEIR OWN TAKE OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS BID QUANTITIES AS REQUIRED BY THE PLANS AND SPECIFICATIONS. IF THERE IS A DISCREPANCY BETWEEN THE NUMBER LABELED ON THE PLANT LEGEND AND THE QUANTITY OF GRAPHIC SYMBOLS SHOWN, THE GREATER QUANTITY SHALL GOVERN.
11. COORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER AND DRAINAGE SYSTEMS.
12. ALL SIZES AND QUALITY OF PLANT MATERIAL SHALL MEET THE MINIMUM SPECIFICATIONS OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014). THE LANDSCAPE CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN SIZE AS INDICATED IN THE PLANT SCHEDULE UNLESS OTHERWISE SPECIFIED ON THE PLAN SET. ALL PLANTS THAT DO NOT MEET THE SIZE AND SPECIFICATIONS SET FORTH BY THE AMERICAN STANDARD FOR NURSERY STOCK WILL BE REJECTED BY LANDSCAPE ARCHITECT AT NO COST TO OWNER.
13. ONCE PROJECT IS AWARDED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO SECURE ALL PLANT MATERIAL IN THE SIZE SPECIFIED ON PLAN PRIOR TO INSTALLATION. IN THE EVENT THE PLANT MATERIAL IS NOT AVAILABLE IN THE SIZE SPECIFIED, THE CONTRACTOR SHALL INSTALL LARGER AT NO COST TO OWNER.
14. THE LANDSCAPE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ALL PLANT MATERIAL SUBSTITUTIONS FROM THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANT SUBSTITUTIONS WITHOUT PRIOR WRITTEN APPROVAL THAT DO NOT COMPLY WITH THE DRAWINGS AND SPECIFICATIONS MAY BE REJECTED BY THE LANDSCAPE ARCHITECT AND REPLACED BY CONTRACTOR AT NO COST TO THE OWNER.
15. PRIOR TO MOBILIZATION THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT, IN WRITING, IF HE/SHE BELIEVES ANY OF THE PLANT MATERIAL IDENTIFIED ON THE PLAN MAY NOT BE SUITABLE FOR THE SITE OR MAY DIE. SUBSTITUTION REQUESTS WILL BE GRANTED BY THE LANDSCAPE ARCHITECT PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. IF NOTIFICATION IS NOT GIVEN TO THE LANDSCAPE ARCHITECT ALL PLANTING WHICH FAILS TO GROW (EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE AS DETERMINED BY THE OWNER, NEGLIGENCE, OR VANDALISM) SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
16. WHERE PROPOSED TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR CROWD EXISTING TREES, NOTIFY LANDSCAPE ARCHITECT TO ADJUST TREE LOCATIONS.
17. ALL PLANT MASSES TO BE TOP DRESSED WITH MULCH AS SPECIFIED IN PLANT SCHEDULE, SPREAD UNIFORMLY IN DEPTH OVER THE PLANTING BEDS AS DELINEATED ON THE PLANS UNLESS OTHERWISE NOTED.
18. BED EDGE TO BE NO LESS THAN 12" AND NO MORE THAN 18" FROM OUTER EDGE OF PLANT MATERIAL BRANCHING. WHERE GROUND-COVER OCCURS, PLANT TO LIMITS OF AREA AS SHOWN.
19. ALL PLANTS SHALL BE GUARANTEED FOR 1 YEAR AFTER SUBSTANTIAL COMPLETION OCCURS AND FINAL ACCEPTANCE BY OWNER.
20. LANDSCAPE MAINTENANCE PERIOD BEGINS IMMEDIATELY AFTER THE COMPLETION OF ALL PLANTING OPERATIONS AND WRITTEN ACCEPTANCE FROM THE OWNER AND LANDSCAPE ARCHITECT. MAINTAIN TREES, SHRUBS, LAWNS, AND OTHER PLANTS AS PER THE PROJECT MANUAL AND/OR WRITTEN SPECIFICATIONS, IF APPLICABLE. LANDSCAPE MAINTENANCE IS THE LANDSCAPING CONTRACTORS RESPONSIBILITY UNTIL FINAL ACCEPTANCE BY THE OWNER.
21. ALL LANDSCAPE MAINTENANCE SHALL BE IN ACCORDANCE WITH LOCAL GOVERNING STANDARDS.
22. REFER TO PROJECT MANUAL OR WRITTEN SPECIFICATIONS, IF AVAILABLE, FOR ADDITIONAL REQUIREMENTS.

SOIL PLANTING MIXTURE (MIX ONSITE)

1. THE LANDSCAPE CONTRACTOR SHALL FURNISH FROM THEIR SOURCE A GOOD CLEAN, NATIVE SOIL THAT SHALL MEET THE APPROVAL OF THE OWNER'S REPRESENTATIVE. THIS SOIL SHALL BE USED FOR THE PLANTING MIXTURE AS FOLLOWS:
 - A. ONE PART COMPOST/MANURE PLANTING MIX, TOPSOIL OR APPROVED EQUAL
 - B. ONE PART NATIVE SOIL
2. SOILS WITHIN PLANTING AREAS MUST BE SUITABLE FOR PROPOSED PLANTED MATERIAL & SOD WITH REGARD TO: pH, SOIL TEXTURE, SOIL STRUCTURE, AND SEASONAL HIGH WATER TABLE. THE CONTRACTOR SHALL ANALYZE EXISTING SOILS LOCATED IN PROXIMITY TO PROPOSED PLANT MATERIAL AND BE RESPONSIBLE TO AMEND THE SOIL TO OBTAIN ESSENTIAL REQUIREMENTS NECESSARY FOR THE ESTABLISHMENT AND GROWTH OF PLANT LIFE. LANDSCAPE CONTRACTOR TO PROVIDE SOILS REPORT AND APPROPRIATE RECOMMENDATIONS PRIOR TO INSTALLATION TO OWNER'S REPRESENTATIVE FOR REVIEW. FAILURE TO PROVIDE REPORT MAY RESULT IN PLANT MATERIAL BEING REJECTED BY OWNER'S REPRESENTATIVE AND REPLACED AT NO COST TO OWNER.
3. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING PRIOR TO PLANTING, WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, POOR PLANTING SOIL, ADVERSE DRAINAGE CONDITIONS, OR OBSTRUCTIONS.



08/14/2026

C&C SALVAGE YARD

187 S LAFAYETTE DRIVE
SUMTER, SOUTH CAROLINA

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Project Number: 768719-01

Scale: AS SHOWN

Drawn By: GMG

Checked By: JAL/CJC

Date: 08/14/2026

Issue: PERMIT SET

Drawing Title:

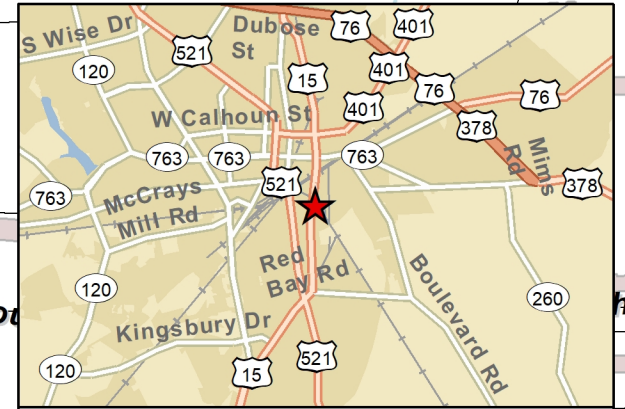
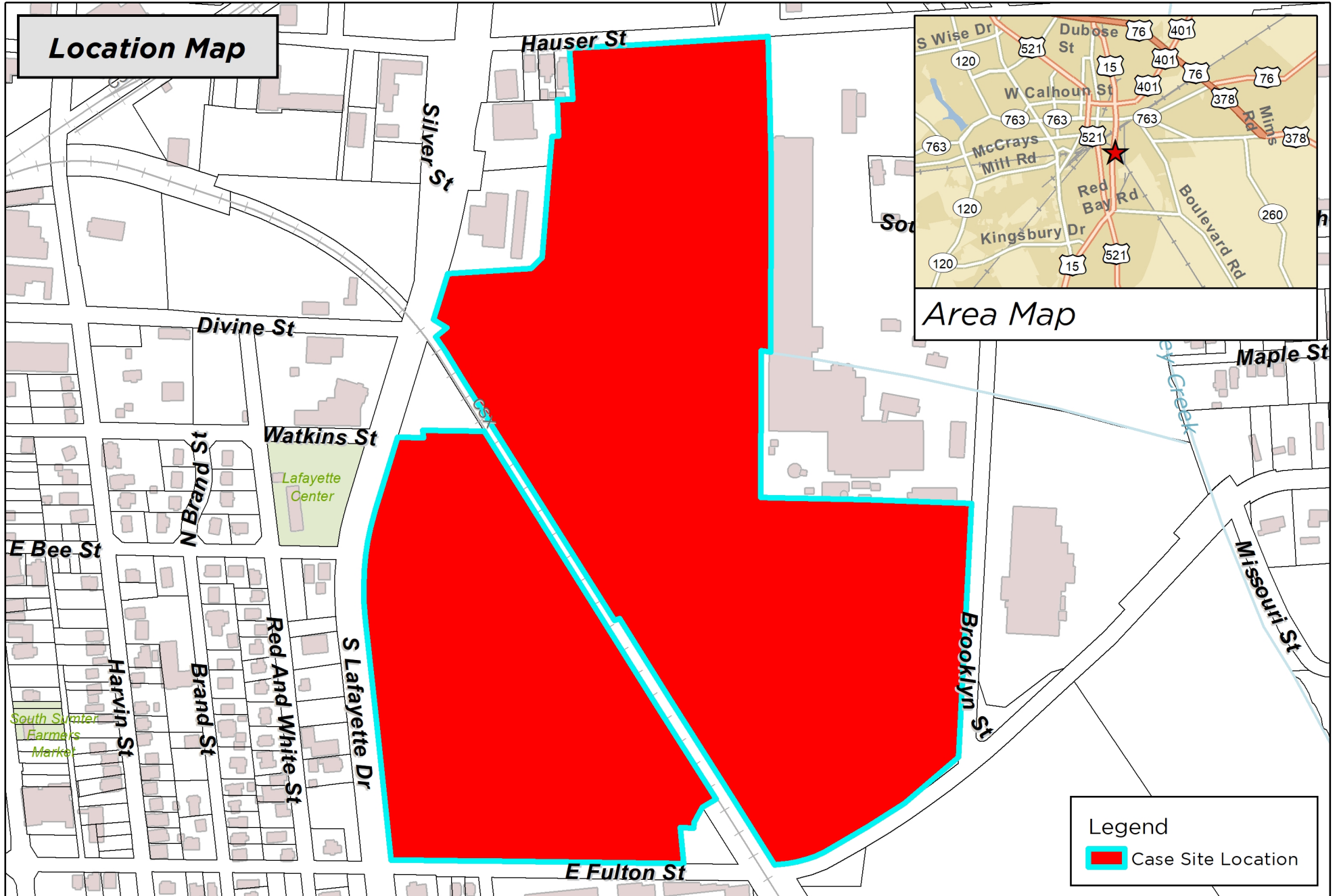


FORTY- EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR (800) 362-2764 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NORTH CAROLINA UTILITIES PROTECTION SERVICE

PLANTING DEATILS & NOTES

L2.0

Location Map

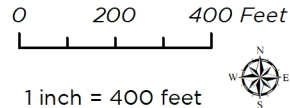


Area Map

Legend

 Case Site Location

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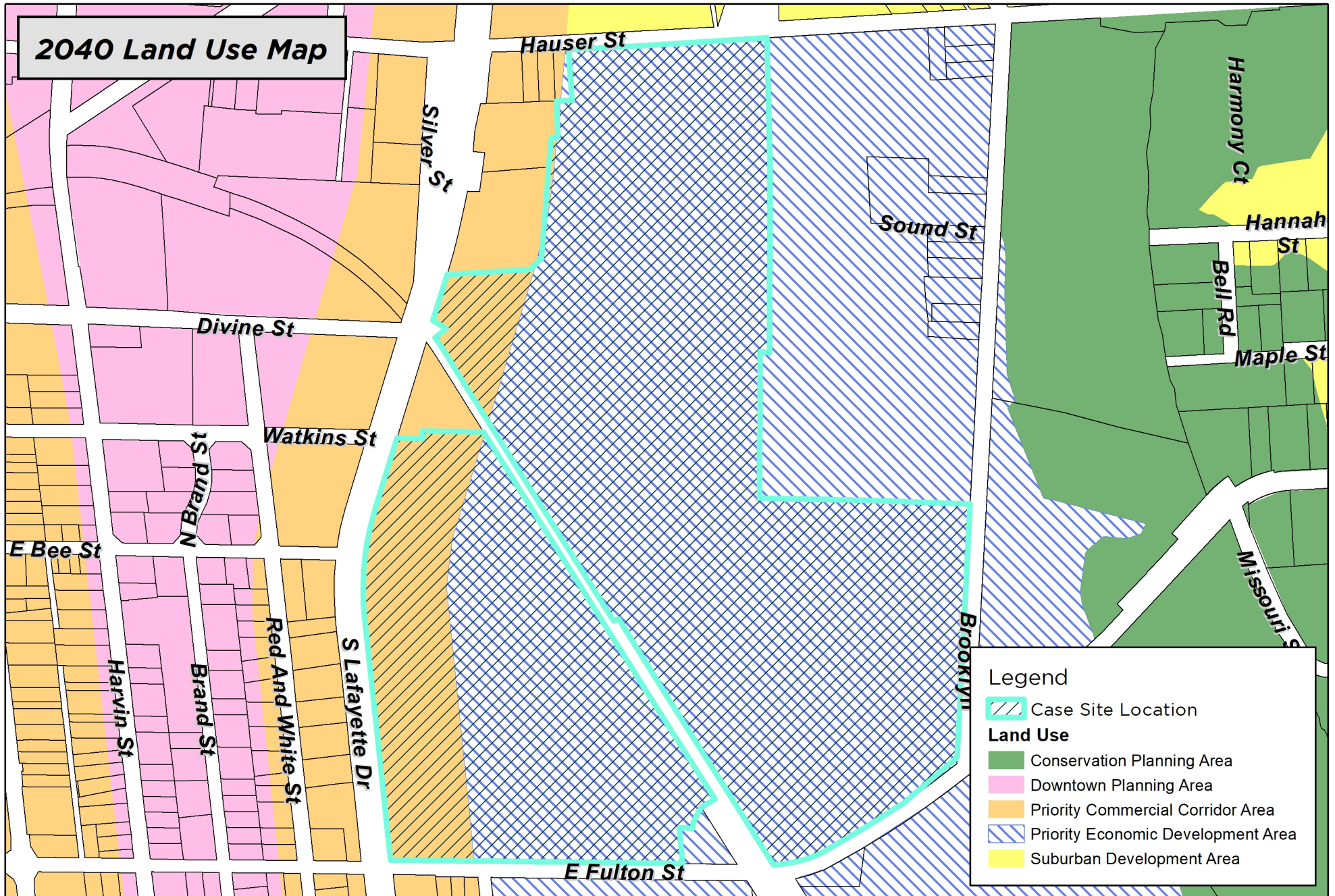


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187 S Lafayette Dr, Sumter, SC 29150
Tax Map # 250-00-01-001

2040 Land Use Map



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0 200 400 Feet
1 inch = 400 feet

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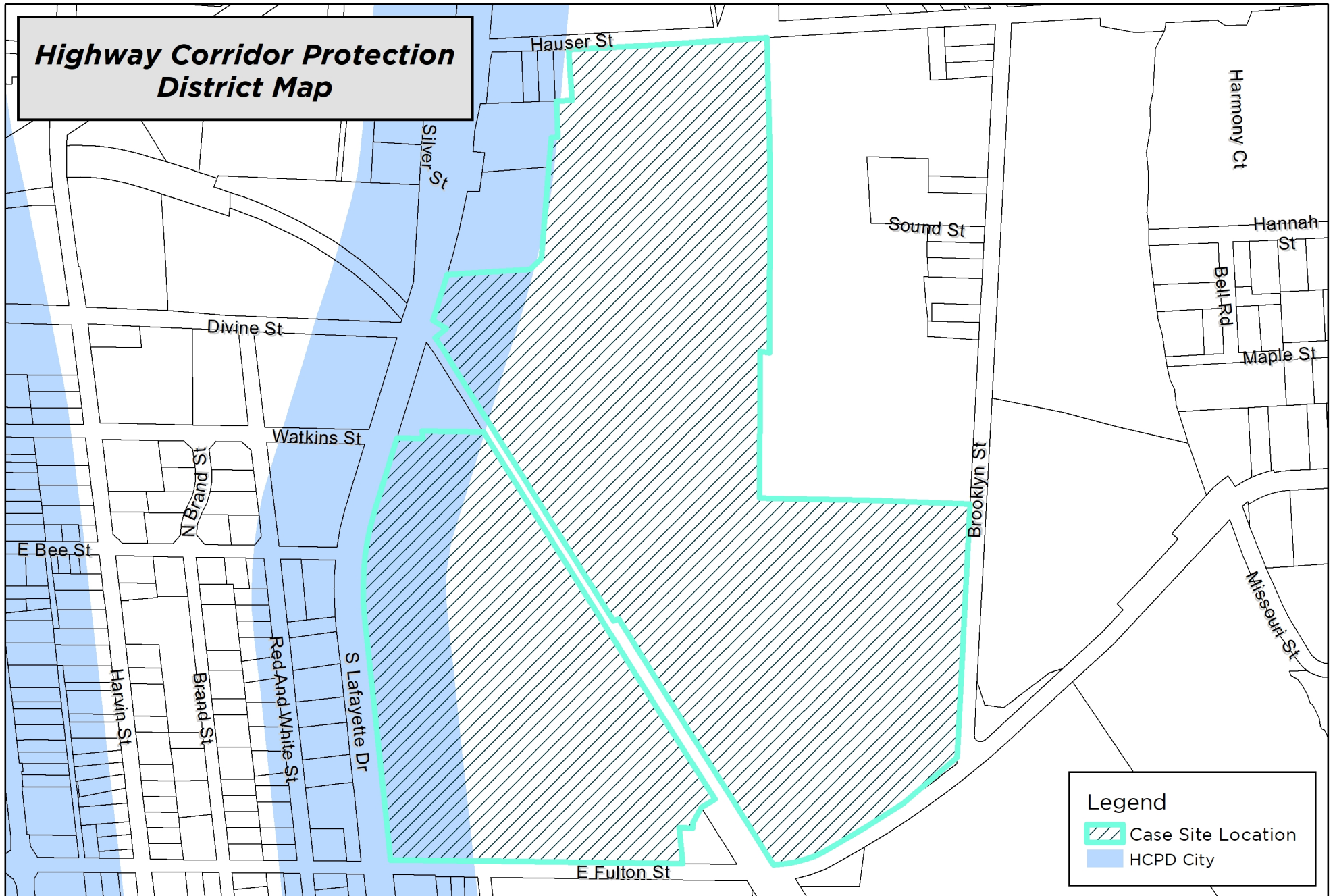


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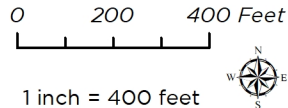
- Case Site Location
- Land Use**
 - Conservation Planning Area
 - Downtown Planning Area
 - Priority Commercial Corridor Area
 - Priority Economic Development Area
 - Suburban Development Area

BOA-26-04
440 Theater Dr, Sumter, SC, 29150
Tax Map # 204-00-03-001

Highway Corridor Protection District Map



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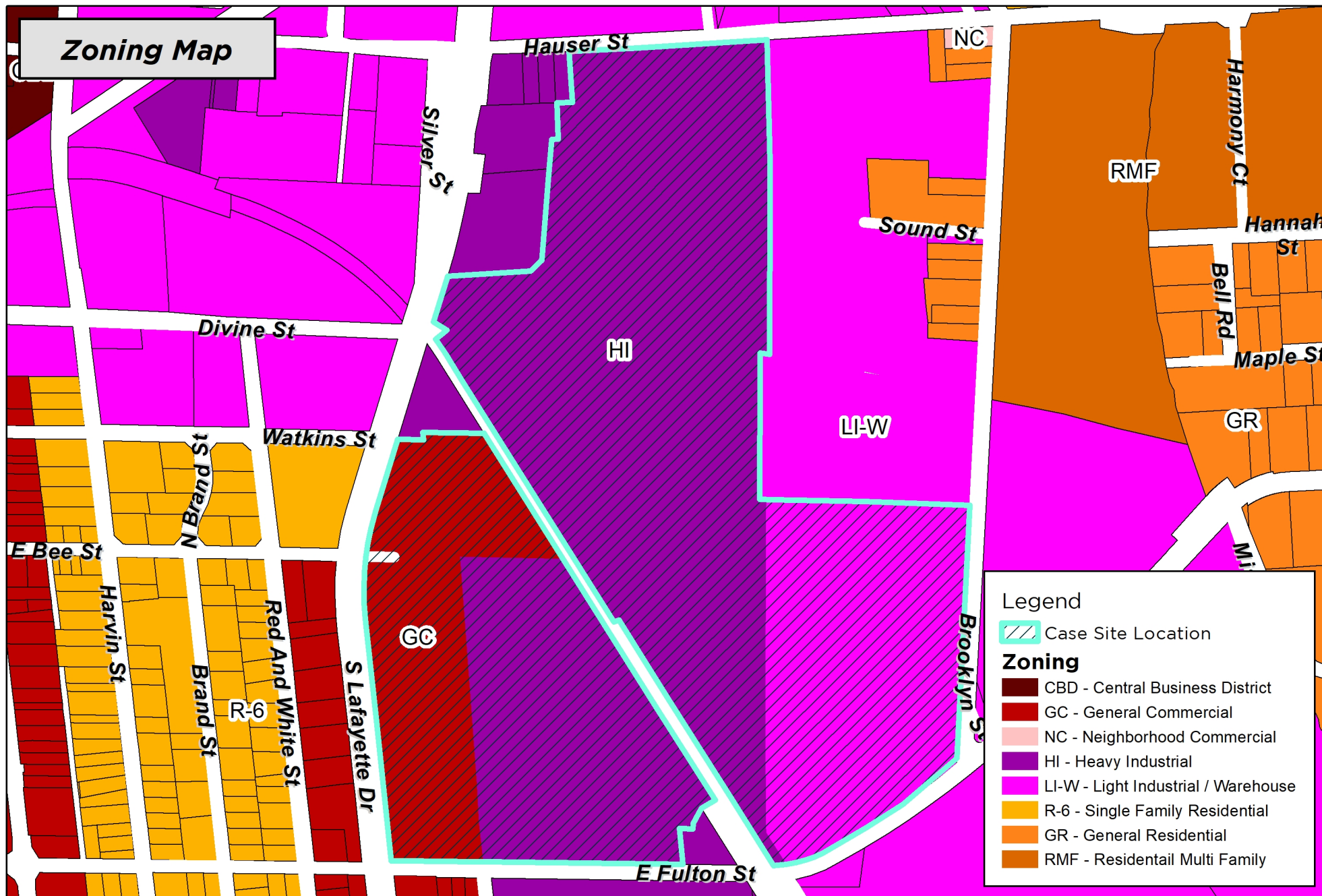


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Zoning Map



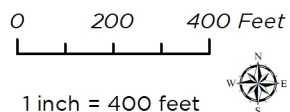
Legend

Case Site Location

Zoning

- CBD - Central Business District
- GC - General Commercial
- NC - Neighborhood Commercial
- HI - Heavy Industrial
- LI-W - Light Industrial / Warehouse
- R-6 - Single Family Residential
- GR - General Residential
- RMF - Residentail Multi Family

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