

Sumter City-County Planning Commission

September 24, 2025

MSP-24-57/HCPD-24-38 (Rev 1) – 380 General Dr. – Patriot Park Miracle Field, Pickleball Courts, and Playground Expansion (City)

I. THE REQUEST

Applicant:	Bobby Galloway (Sumter County)
Status of the Applicant:	Authorized Agent for Property Owner
Request:	Request for revised Major Site Plan and Highway Corridor Protection District approval for construction of new public recreation facilities at Sumter County's Patriot Park, to include a Phase 2 comprised of a 15-court pickleball facility, 3 pavilions, an additional parking lot, and additional landscaping and stormwater management area to support the overall project.
Ward	Ward 5
Location:	250 General Dr.
Size of Development:	9.94 acres
Present Use/Zoning:	County Park / Planned Development (PD) with Highway Corridor Protection District (HCPD) Overlay.
Proposed Use of Property:	County Park
Tax Map Reference:	185-00-01-101

II. BACKGROUND

The applicant has submitted a revised major site plan application to add a Phase 2 scope to the new public recreation facilities at Sumter County's Patriot Park. Facilities approved in Phase 1 include a Miracle Field, splash pad, expansion of playground facilities, shelters, restroom facilities, and associated parking and stormwater management areas. The proposed Phase 2 scope subject to this request includes a 15-court pickleball facility, 3 pavilions, an additional parking lot, and additional landscaping and stormwater management area.



III. SITE PLAN REVIEW

Site Layout:

The applicant has submitted a set of civil construction plans titled, “*Sumter Miracle League Park – Phase 2 Permit Drawings*” prepared by The LandPlan Group South, dated September 2, 2025.

Copies of the Site Plan (Pg. 14-18), Landscape Plan (Pg 41-45) have been included in this packet for review as Exhibits 2-3.

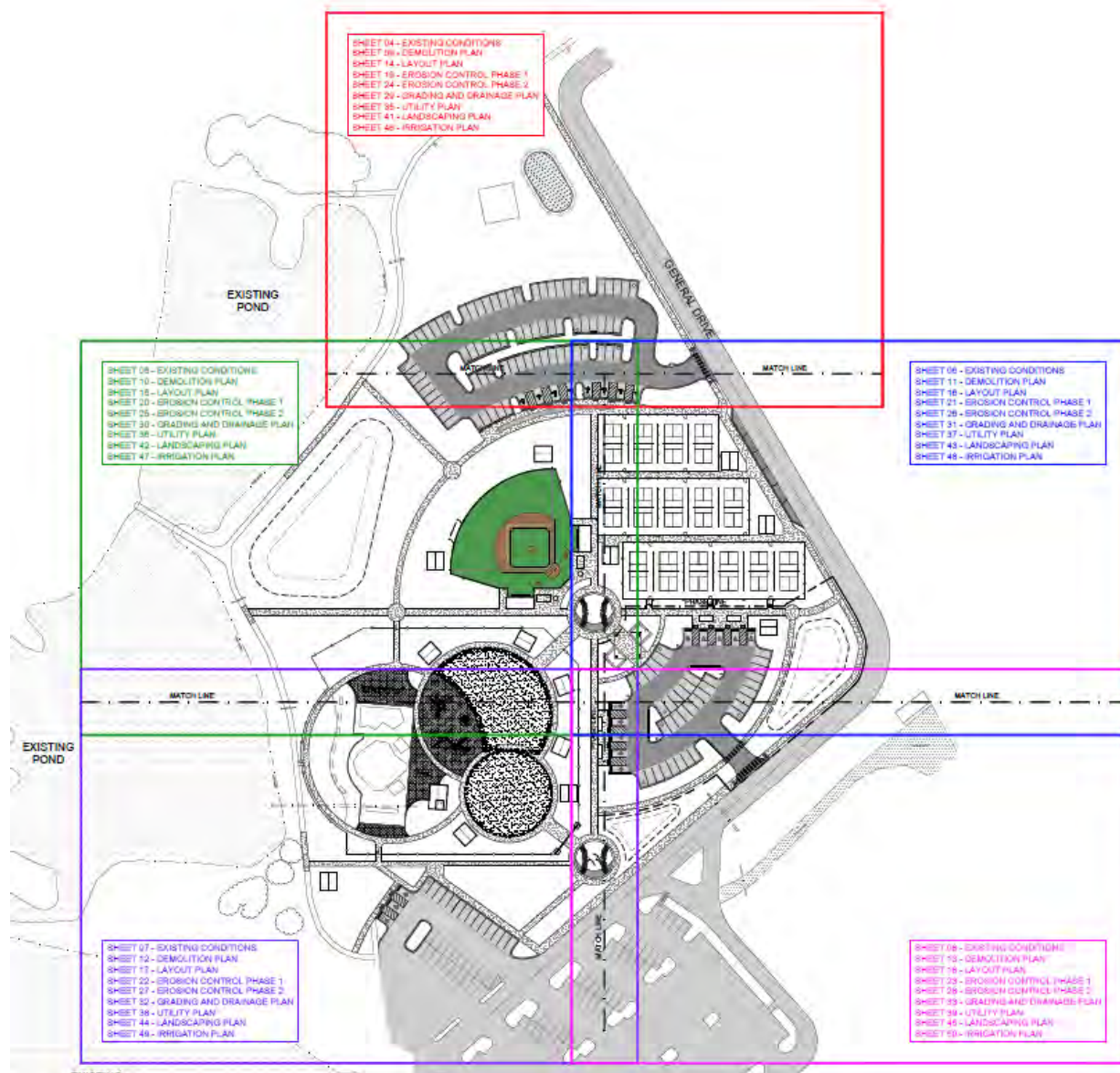


Figure 1 - Proposed Site Layout Plan, inclusive of Phase 1 and Phase 2

Site development must adhere to the specific standards outlined in the Planned Development (PD) Ordinance for the Sumter West Planned Development (*PD-00-08*). The proposed development meets the following minimum standards and development criteria:

Development Standard	Minimum Ordinance Requirement	Proposed
Minimum Site Area	<i>None required</i>	13.11 acres (Phase 1)/9.9 acres (Phase 2)
Minimum Lot Width	<i>None required</i>	N/A
Front Setback	<i>45 ft.</i>	+/- 1,700 ft or greater
Side Setback	<i>50 ft.</i>	+/- 100 ft or greater
Rear Setback	<i>50 ft.</i>	+/-1,400 ft. or greater

Parking Plan:

Based upon the standard outlined in *Article 8.j.* of the Ordinance, parking for parks and playground uses require individual review to ensure that adequate parking facilities are included in the site plan.

Submitted parking plans show the following:

Phase 1 (previously approved)	Phase 2
<ul style="list-style-type: none"> • 65 standard 9 ft. x 19 ft. parking spaces; • 6 ADA accessible parking spaces 	<ul style="list-style-type: none"> • 72 standard 9 ft. x 19 ft. parking spaces; • 8 ADA accessible parking spaces

The proposed parking capacity and standard dimensions meet or exceeds the ordinance requirements.

Environmental:

The property is located in Zone X, which is not a special flood hazard area (SFHA), as shown on FEMA FIRM Panel: 45085C0291E, with an effective date of October 27, 2022.

Landscape & Tree Protection Plan:

The submitted landscape plan is based upon the requirements of *Article 9.* Landscape buffers along the perimeter of the property, and landscaping within the site meet or exceed the minimum standards as shown on the submitted plans.

The approved site plan for Phase 1 of the project (*MSP-24-57/HCPD-24-38*) included removal of +/- 39 pine trees larger than 18 inches DbH, and 2 gum trees larger than 18 inches DbH, as well as other smaller trees not classified as ‘significant’ or ‘historic’ based on size. No additional tree removal is included in the scope of this proposed revision to incorporate the Phase 2 developments. The planting plan for the facility, by phase, includes the following:

Phase 1 (previously approved)	Phase 2
<ul style="list-style-type: none"> • 50 <i>Laurel Oak</i> (Canopy) • 12 <i>Chinese Elm</i> (Canopy) • 10 <i>Willow Oak</i> (Canopy) • 9 <i>Longleaf Pine</i> (Canopy) • 8 <i>Natchez Crepe Myrtle</i> (Understory) • 30 <i>Sabal Palm</i> (Ornamental) 	<ul style="list-style-type: none"> • 26 <i>Laurel Oak</i> (Canopy) • 18 <i>Chinese Elm</i> (Canopy) • 8 <i>Natchez Crepe Myrtle</i> (Understory) • 5 <i>Sabal Palm</i> (Ornamental)

Staff’s evaluation is that the landscaping requirements outlined in *Article 9* have been met and/or exceeded by the proposed landscape plan.

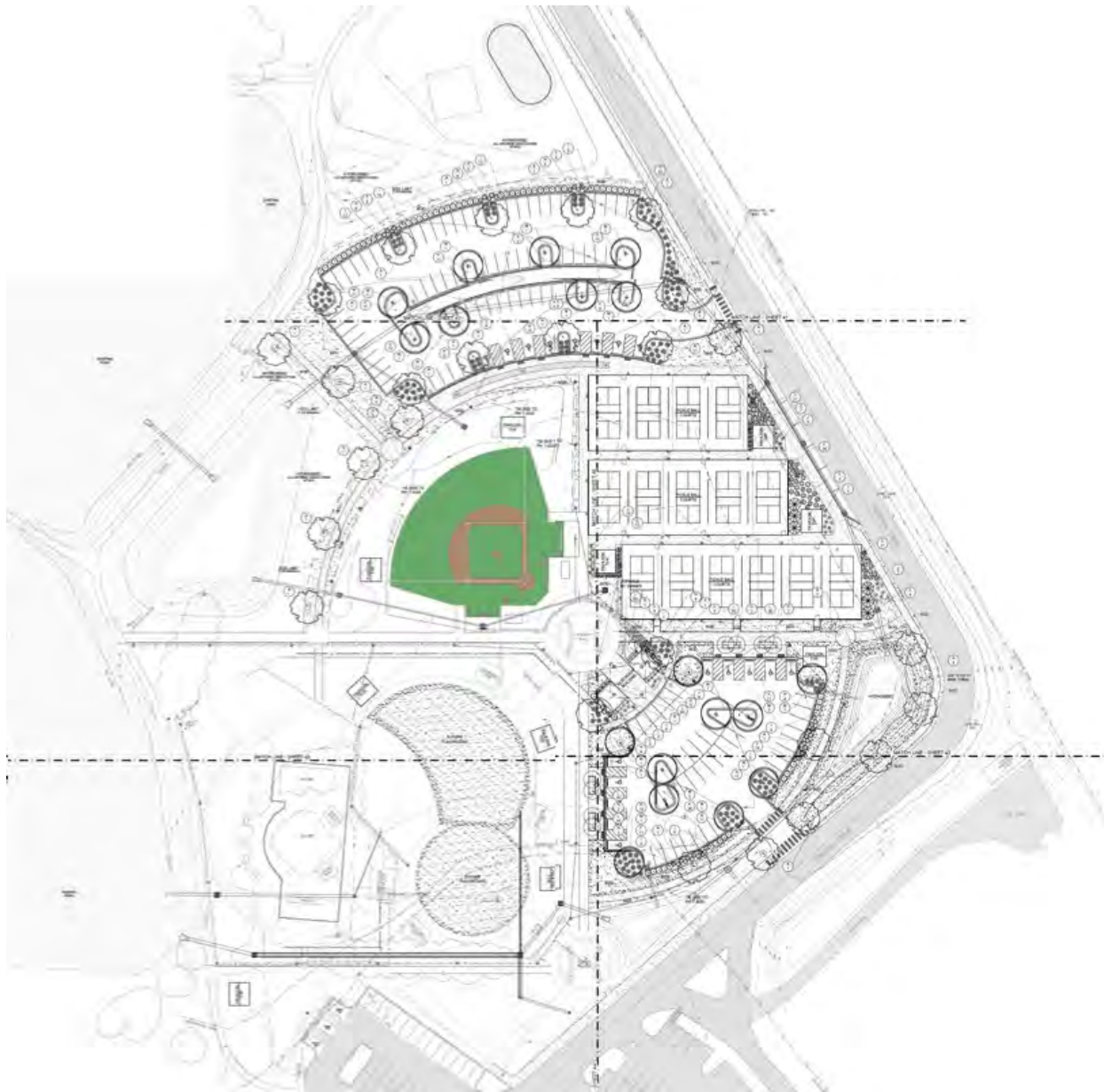


Figure 2 - Proposed Phase 2 Landscaping Plan

Transportation Review:

The subject site is located on the interior of the existing Patriot Park Sportsplex, a county-owned and maintained regional park. General Drive runs the length of the park, including in front of the subject site, and intersects the street network at Patriot Parkway. In the area of the site, General Dr. is a 2-lane local access street. There are no changes proposed to the park's access ot to the public street network.

Based on the ITE Trip Generation Manual, no Traffic Impact Study is required for this project.

Multimodal Transportation Factors

- *Bicycle and Pedestrian:* The proposed project would not result in any changes to the bicycle and pedestrian network.

- *Transit:* The proposed project would not result in any changes to the transit network.
- *Rail:* The proposed project would not result in any utilization of or impact to rail lines.

Analysis of Applicable Zoning & Development Standards Ordinance Transportation Provisions

- *Visual Clearance at Intersections:* The proposed visual clearance at intersections conforms to Ordinance Requirements.
- *Traffic Impact Study Requirements:* Not applicable.
- *Consideration of Existing Local and Regional Plans:* The Sumter 2050 Long Range Transportation Plan contains one corridor project (O-19) and one pedestrian-focused intersection improvement project (P-17) in the vicinity of the site.
- *Circulation System Design:* The circulation system conforms to Ordinance requirements.

Staff concludes that the proposed transportation plan is reasonable for this site.

Stormwater Management:

Stormwater generated from the site will be collected via sheet flow and via inlet for and detained in 3 on-site stormwater ponds located in the extreme northwest and southeast of the site. As of publication of this report, City stormwater permits and NPDES coverage by the South Carolina Department of Environmental Service (SCDES) for projects with more than 1 acre of land disturbance have not yet been obtained by the applicant.

Utilities:

Fire: There are no outstanding issues.

Sewer & Water: The City of Sumter will provide sewer and water service. There are no significant issues that would prevent the City from providing water and sewer services to this site.

Solid Waste: Solid waste service will be handled via the County's existing maintenance forces.

Highway Corridor Protection District Design Review:

The proposed Phase 2 includes 3 additional pavilion structures, bringing the total for both phases to 16 structures, 13 of which are small (+/- 380 sq. ft.) picnic shelters containing no electrical, plumbing, or HVAC systems. The remaining 3 structures, which do contain electrical, plumbing, and/or HVAC systems are in Phase 1 and part of the previous major site plan approval process.

Proposed structure designs must conform to *Article 3.t.* of the *City of Sumter Zoning & Development Standards Ordinance*.

3.t.4. Architectural Standards: All commercial projects in the Highway Corridor Protection District shall submit architectural plans to the Sumter City-County Planning Commission which shows elevations of all portions of buildings with important relationships to public views and vistas, indications as the construction materials, photographs or perspective drawings indicating visual relationships to adjoining properties and spaces, paint and color schemes, and other exhibits and reports the Sumter City-County

Planning Commission may require. Applicant shall also submit a landscaping plan and signage plan for the project site. In addition, all commercial projects shall meet the following standards:

- a. If a new commercial building is proposed, not more than 60% of the facade facing a street may be glass or reflective materials;

Staff Review: Based on supplied renderings, the 3 additional pavilion structures do not exceed the 60% threshold.

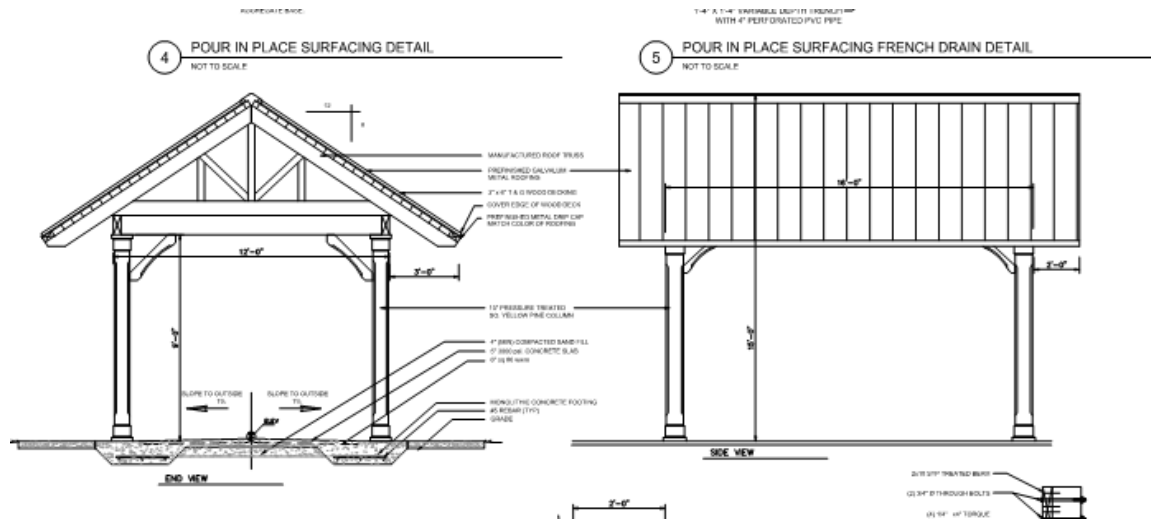


Figure 3 - Elevation Details for Proposed Pavilions (3)

- c. A minimum of 80% of the surface materials, excluding doors and windows, shall be brick, stucco, or stone masonry or materials approved by the Sumter City-County Planning Commission. Roof pitch should be compatible with the building structures in the surrounding neighborhood.

Staff Review: The pavilions are proposed to be open sided, with wooden posts and roof trusses.

The roof is proposed to be pitched standing seam metal. The proposed roof pitch is considered to be complementary and compatible with construction of similar type.

- d. Signs including billboards shall be fully illustrated through photographs or graphic designs showing the relationship of off-premise and on-premise signs to the specific site and the surrounding locations within 1,000 feet. The signage plan shall consist of all freestanding and building signage. (Shall meet development standards for the underlying zoning district.).

Staff Review: Exterior signage must comply with Article 8.h. of the Ordinance. The submitted plans for Phase 2 include no new signage.

IV. TECHNICAL REVIEW

The technical review committee was given the opportunity to review and comment on the project. There are no outstanding technical review items.

V. STAFF RECOMMENDATION

Staff has reviewed the major site plan application, shared the proposed plans with the technical review committee, and recommends **approval** of this request subject to the staff recommended Conditions of Approval as outlined in Exhibit 1.

VI. DRAFT MOTION

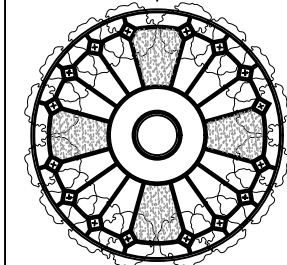
1. I move the Planning Commission **approve** MSP-24-56/HCPD-24-38 (Rev 1) subject to conditions of approval outlined in Exhibit 1, the site plan titled, “*Sumter County, South Carolina, Sumter Miracle League Park*” prepared by The LandPlan Group South, dated September 30, 2024.
2. I move the Planning Commission **deny** MSP-24-57/HCPD-24-38 (Rev 1).
3. I move an alternate motion.

VII. PLANNING COMMISSION – September 24, 2025

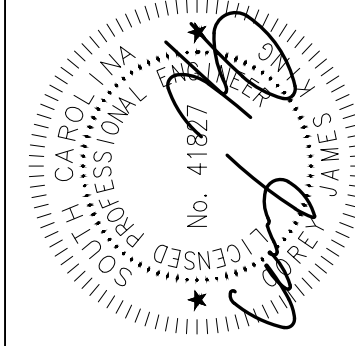
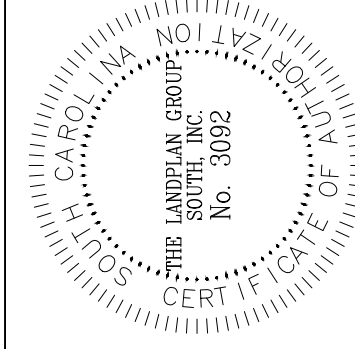
Exhibit 1:
MSP-24-57/HCPD-24-38 (Rev 1), 250 General Dr. (City)
Miracle Field at Patriot Park, Phase 2
Conditions of Approval

1. The project shall be developed in substantial conformance with the civil construction plans titled, “*Sumter Miracle League Park – Phase 2 Permit Drawings*” prepared by The LandPlan Group South, dated September 2, 2025.
2. The project shall be in substantial compliance with the building exterior material information submitted by the applicant and/or in substantial compliance with exterior materials ultimately approved by the Sumter City-County Planning Commission.
3. Prior to issuance of Land Disturbance permit and Building Permits, the following shall be received by the Sumter City-County Planning Department:
 - a. Submission of full final civil engineered plans. Said plans shall show the latest revision date reflecting revisions noted in the Technical Review Committee (TRC) Comments Memorandum and/or outstanding technical review items outlined in the project staff report.
 - b. Stormwater permit approval and DHEC NPDES concurrence letter from the City Stormwater Utility must be submitted to the Sumter City-County Planning Department.
4. Prior to zoning final inspection approval:
 - a. Completion of all site developments as depicted on final civil engineered plans.
5. Separate sign permits are required for all exterior signage. All signage must be in full compliance with *Article 8.i: Sign Regulations* of the *City of Sumter Zoning & Development Standards Ordinance* prior to permit approval, issuance, and installation.

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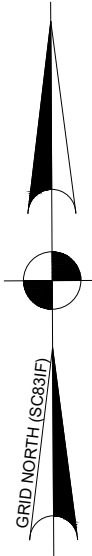


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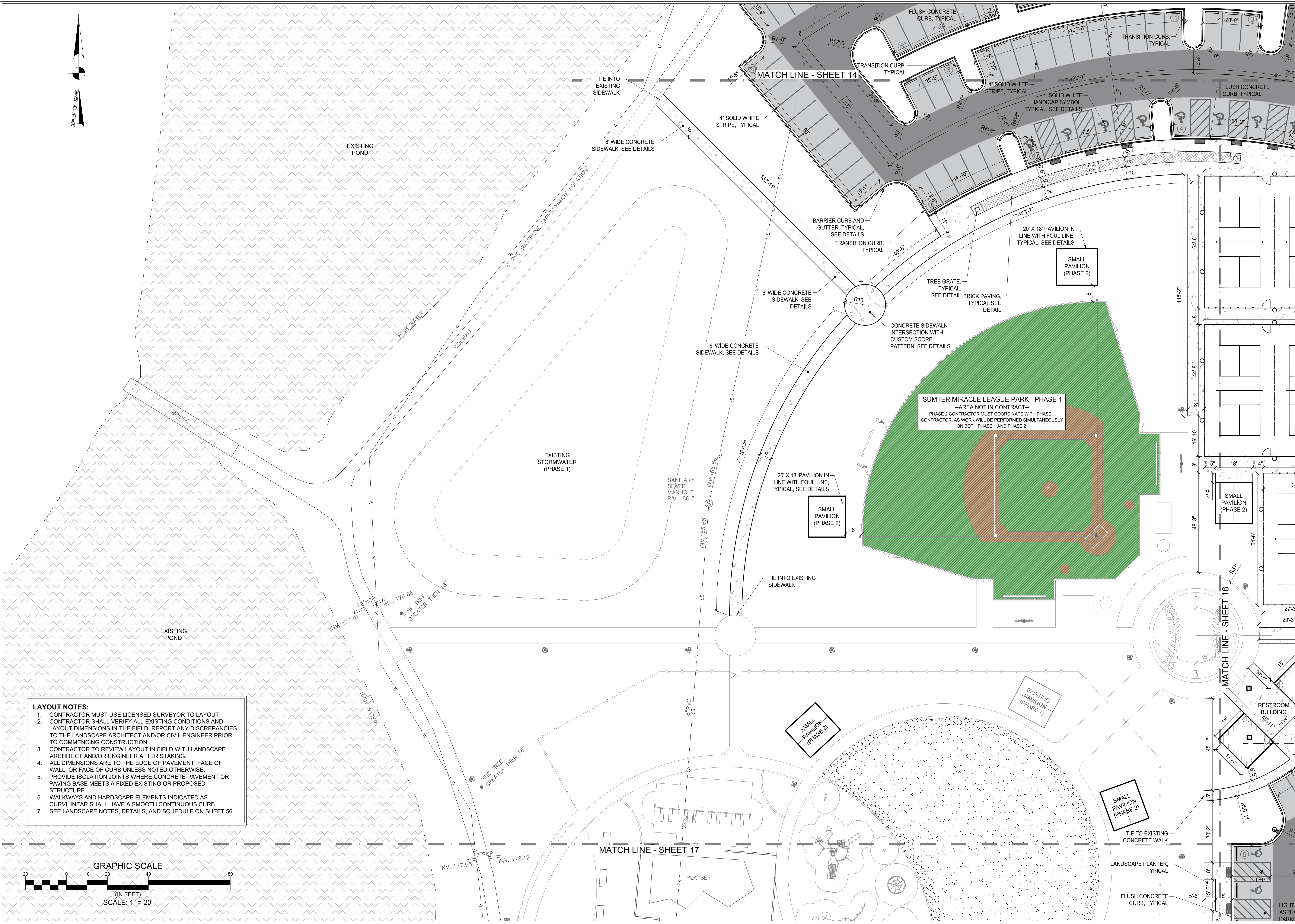
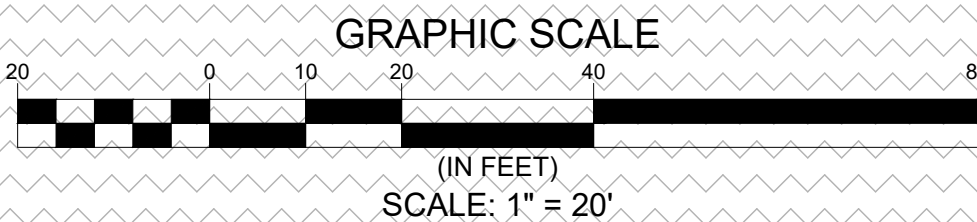


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 3. CONTRACTOR TO REVIEW LAYOUT IN FIELD WITH LANDSCAPE ARCHITECT AND/OR ENGINEER AFTER STAKING.
 4. ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT, FACE OF WALL, OR FACE OF CURB UNLESS NOTED OTHERWISE.
 5. PROVIDE ISOLATION JOINTS WHERE CONCRETE PAVEMENT OR PAVING BASE MEETS A FIXED EXISTING OR PROPOSED STRUCTURE.
 6. WALKWAYS AND HARDSCAPE ELEMENTS INDICATED AS CURVILINEAR SHALL HAVE A SMOOTH CONTINUOUS CURB.
 7. SEE LANDSCAPE NOTES, DETAILS, AND SCHEDULE ON SHEET 56.



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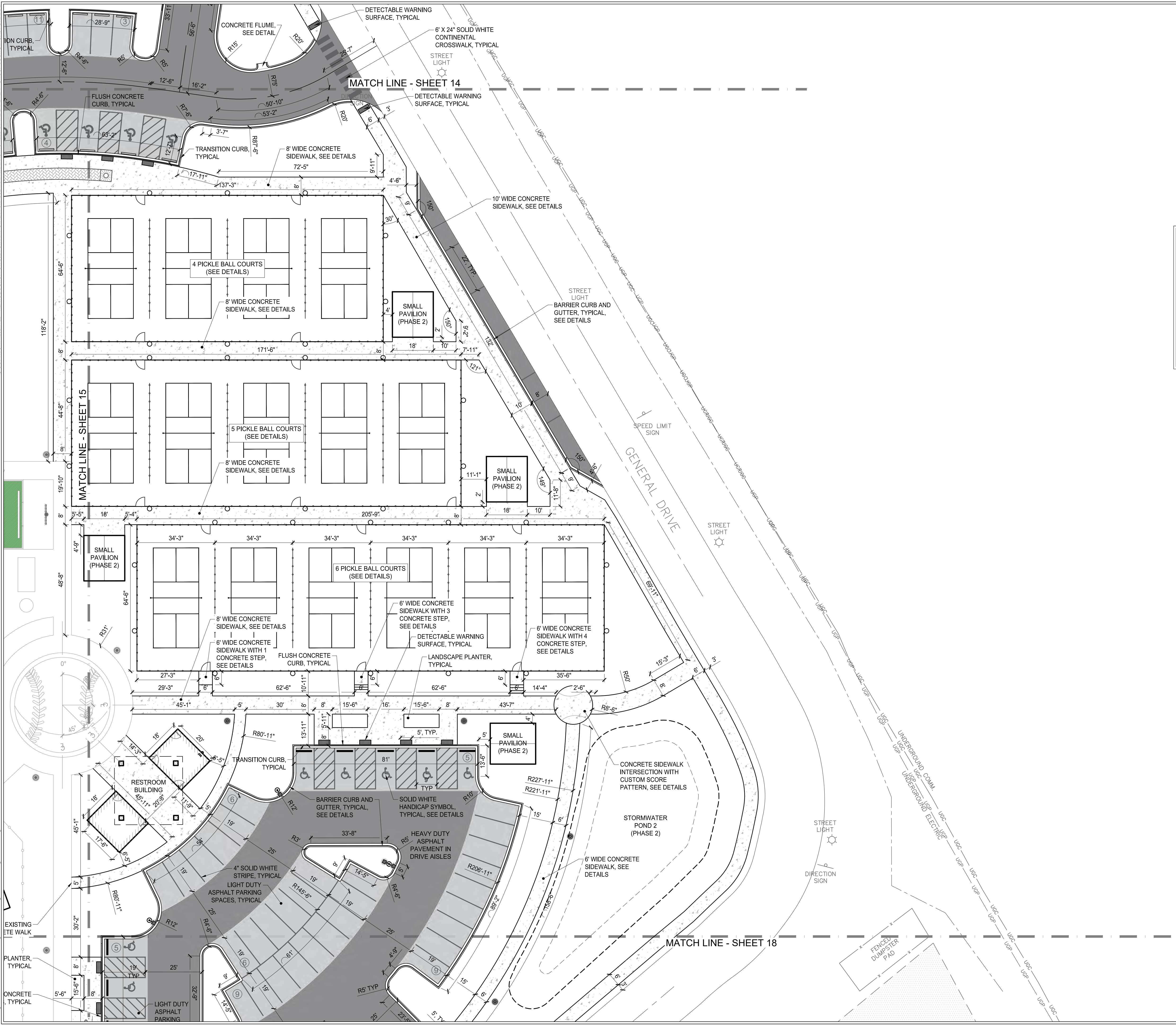
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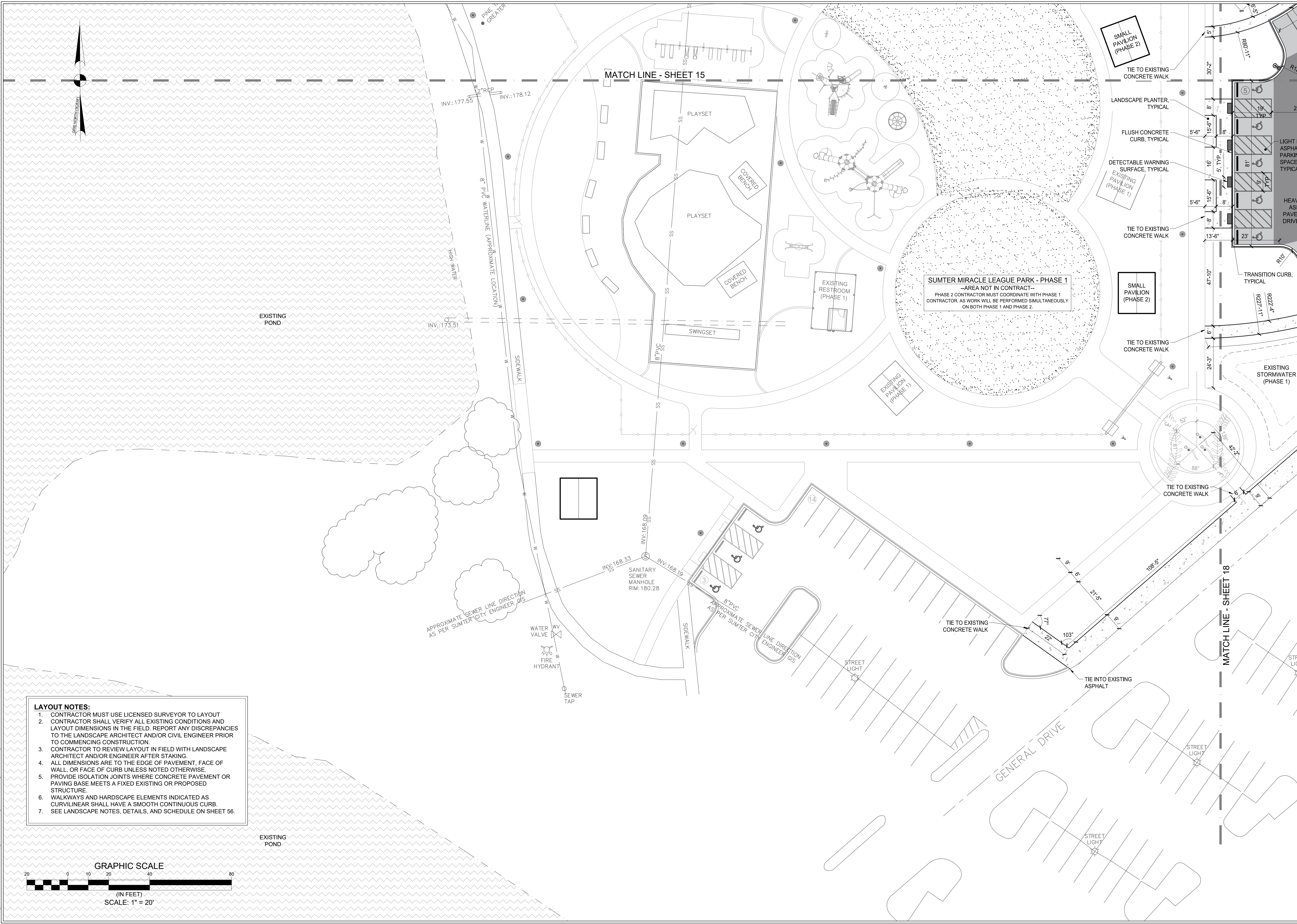
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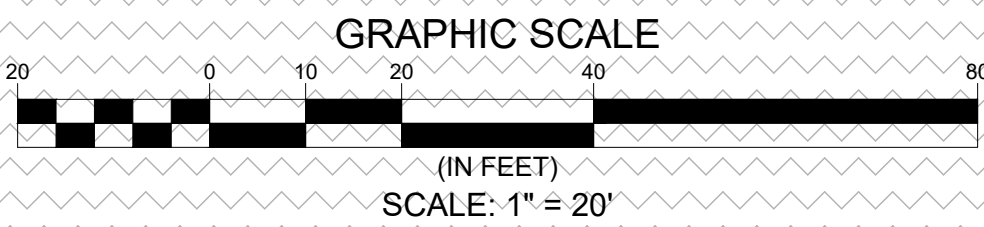
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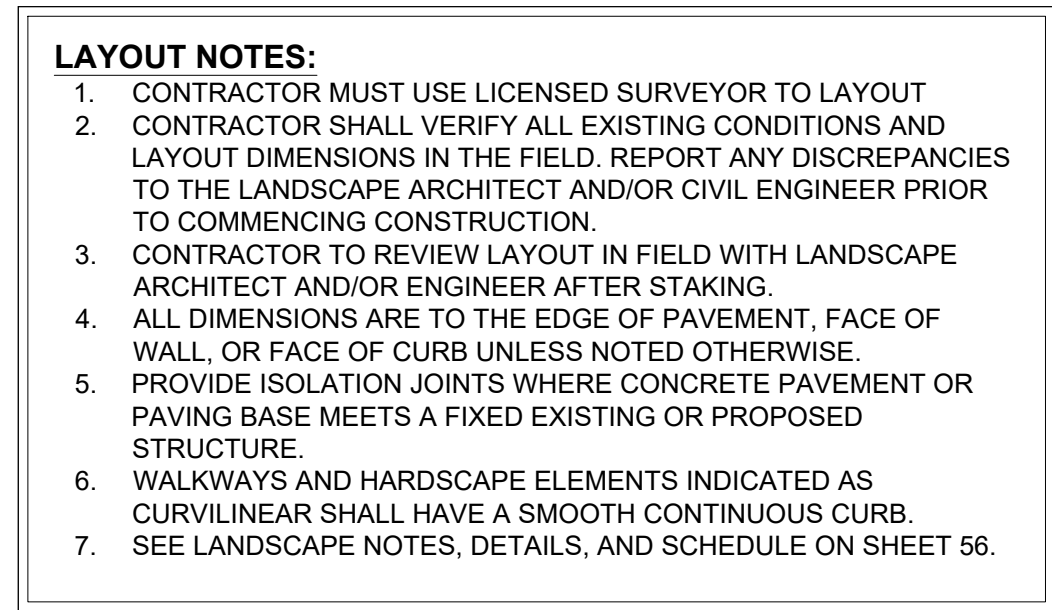
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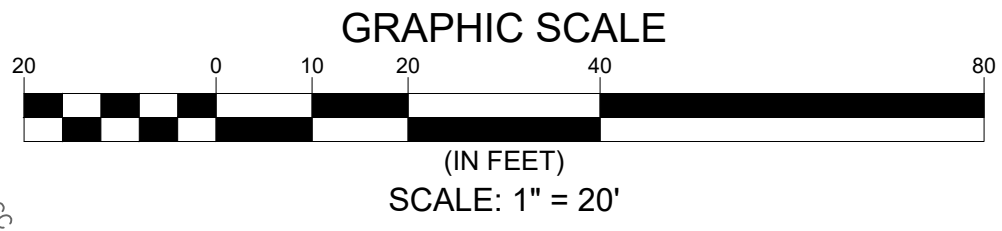
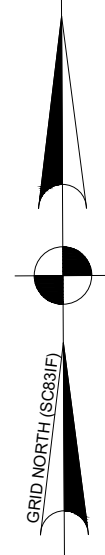
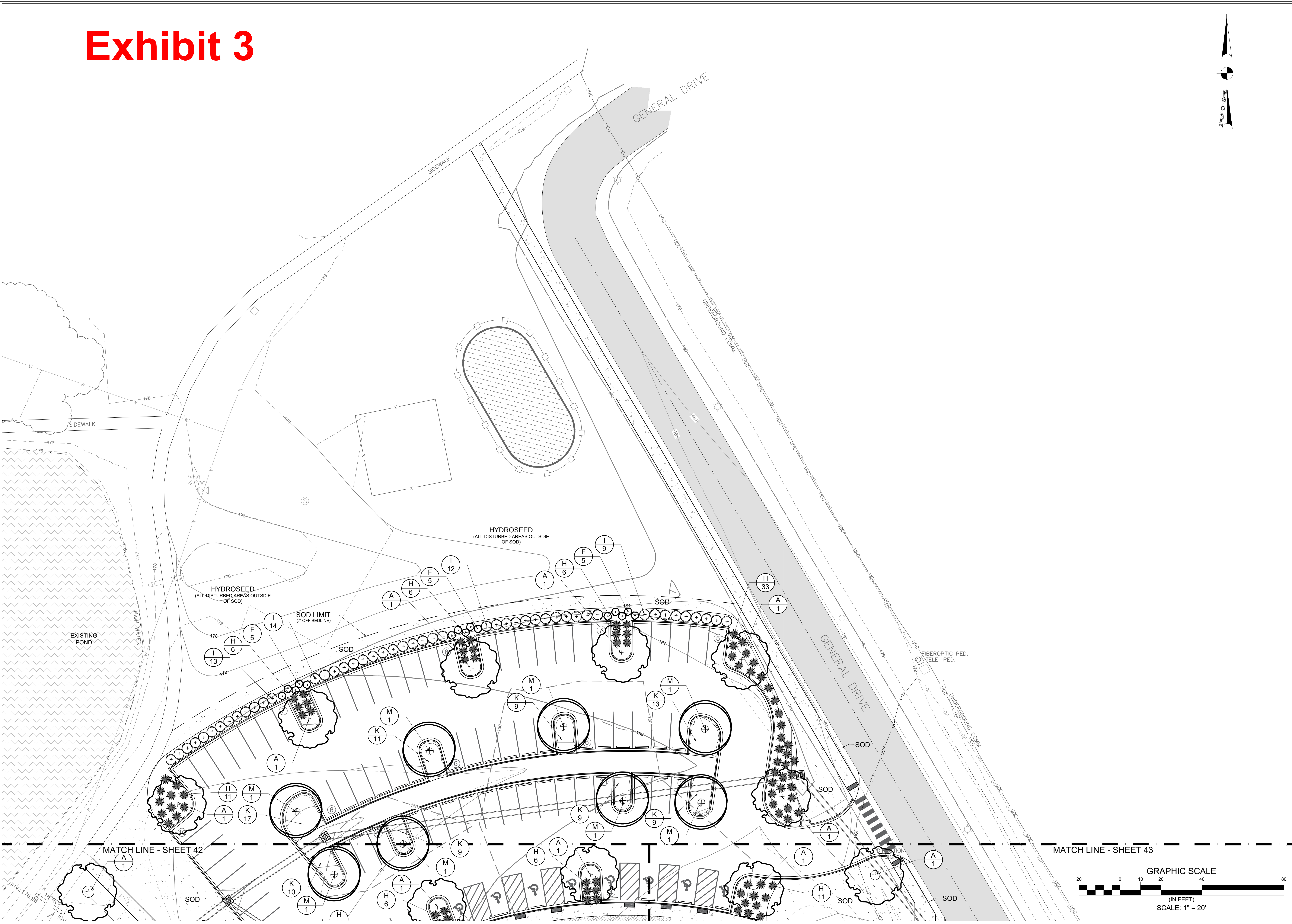
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Exhibit 3



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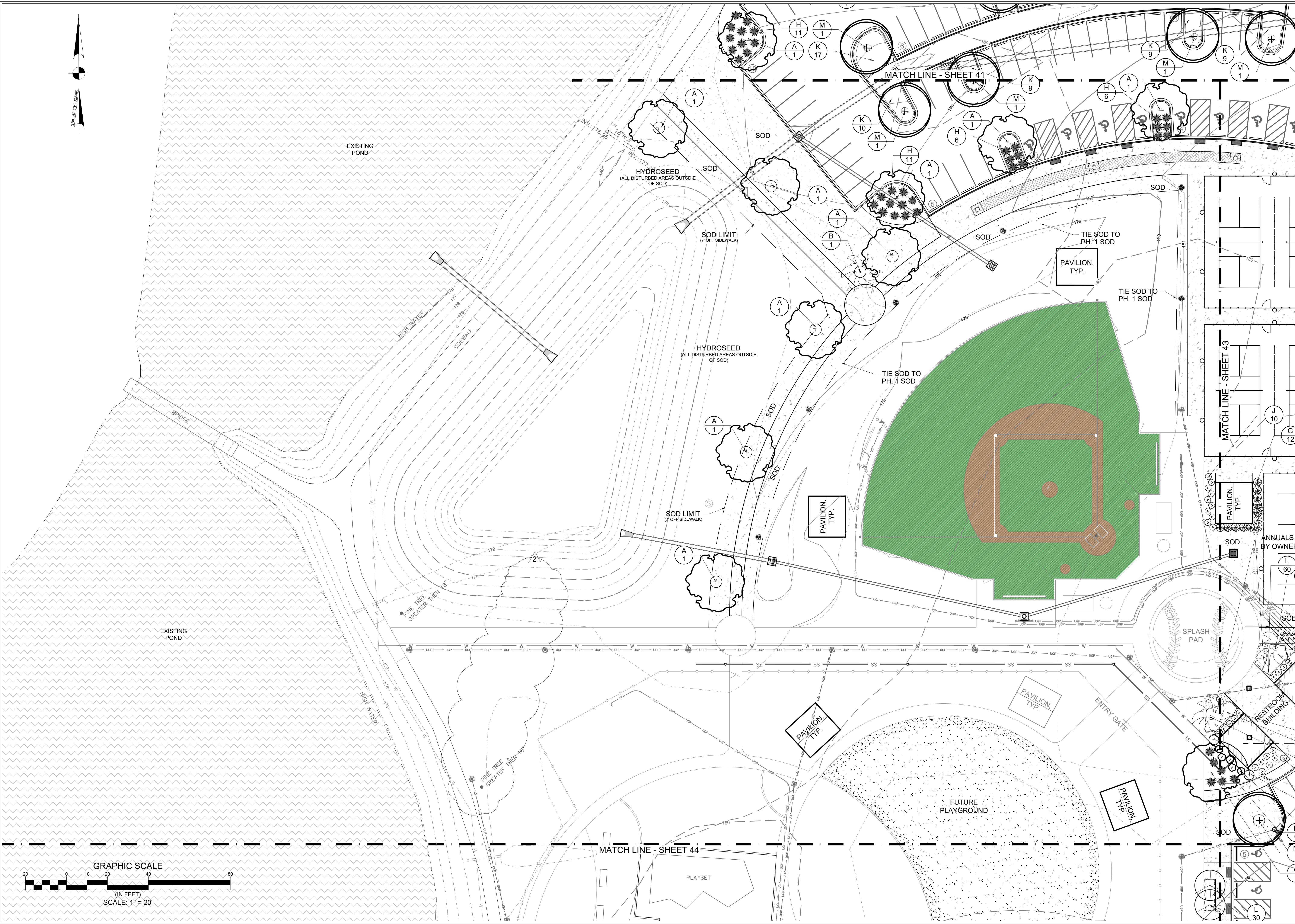
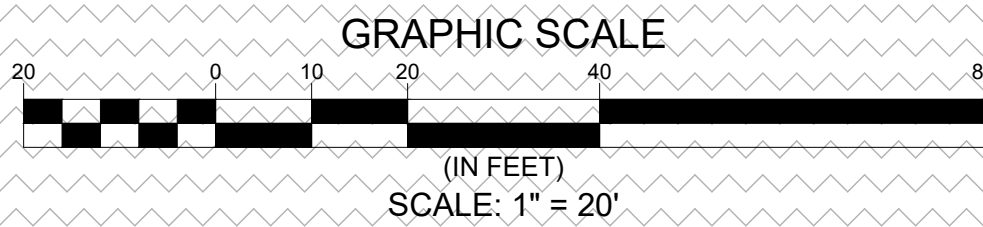
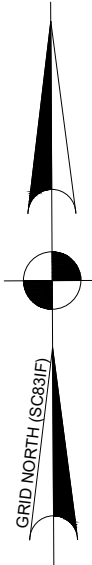
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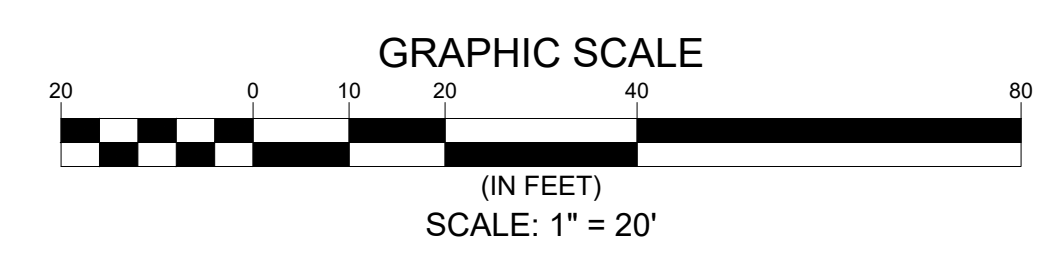
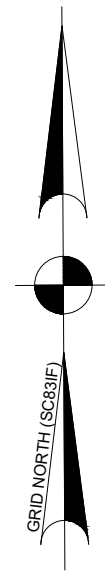
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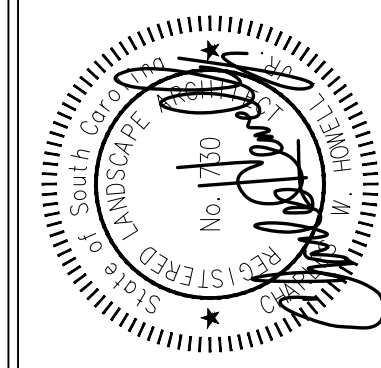
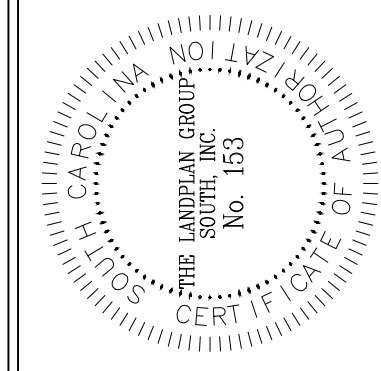
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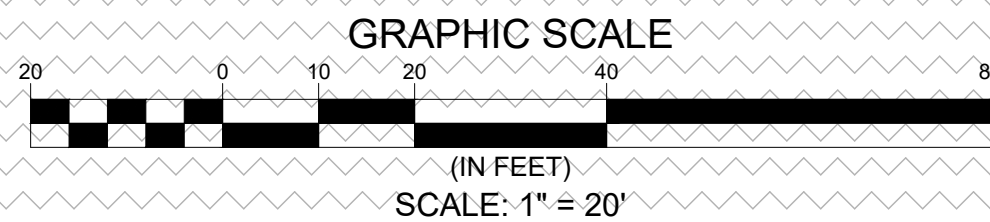
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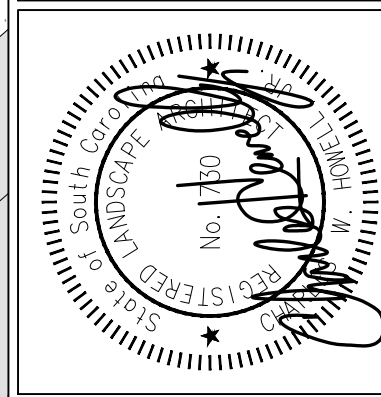
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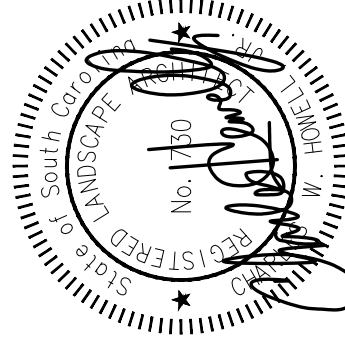
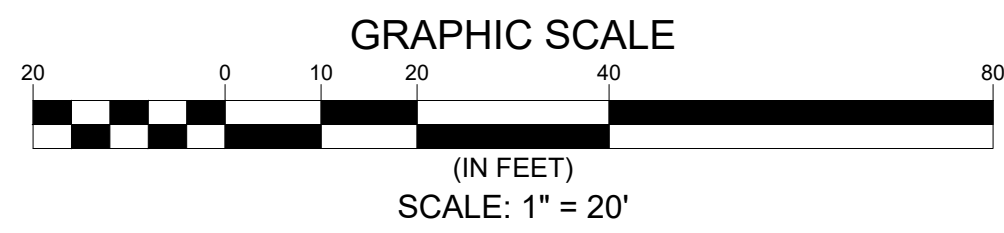
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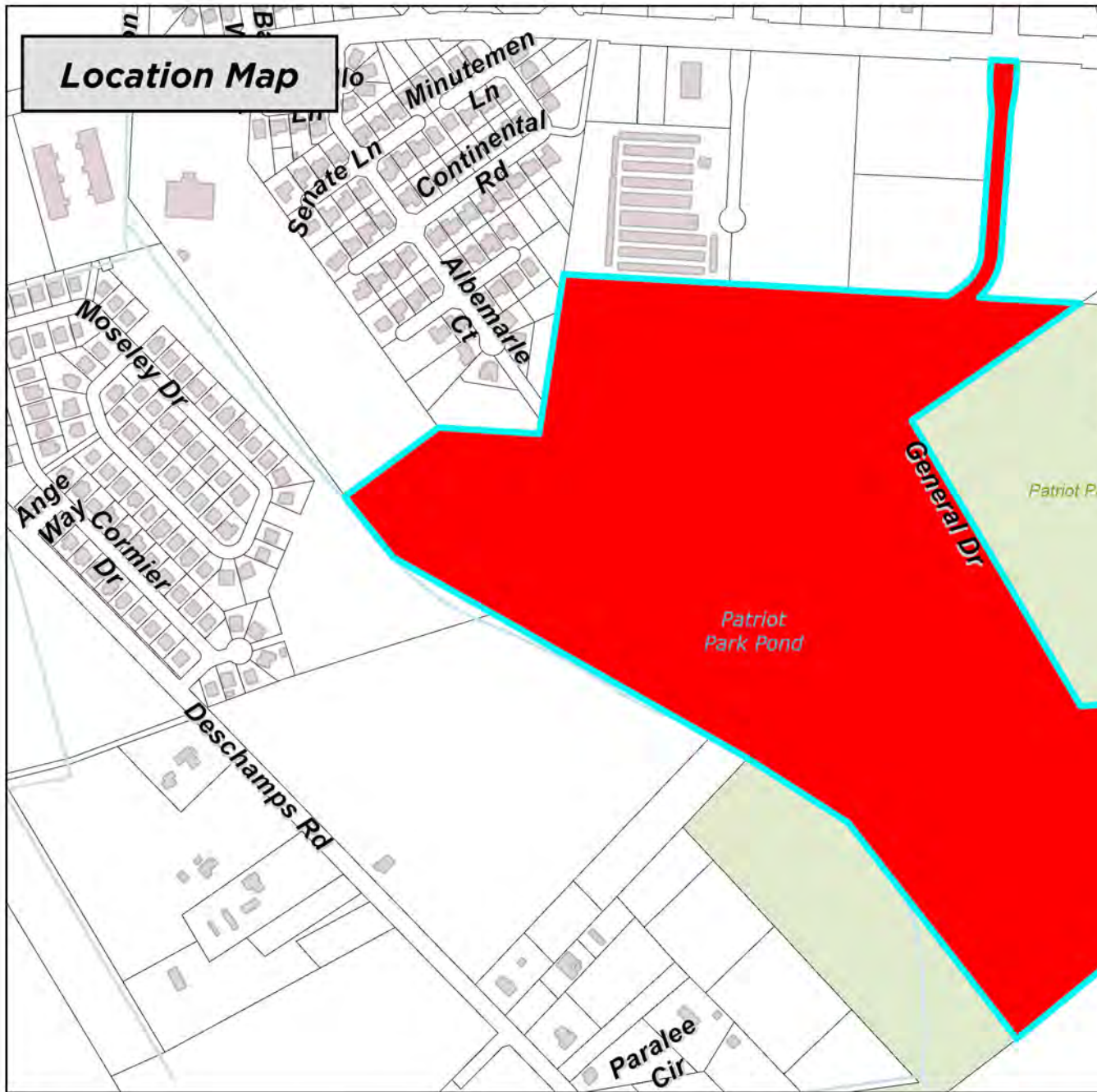
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Location Map



Area Map

Legend

 Case Site Location

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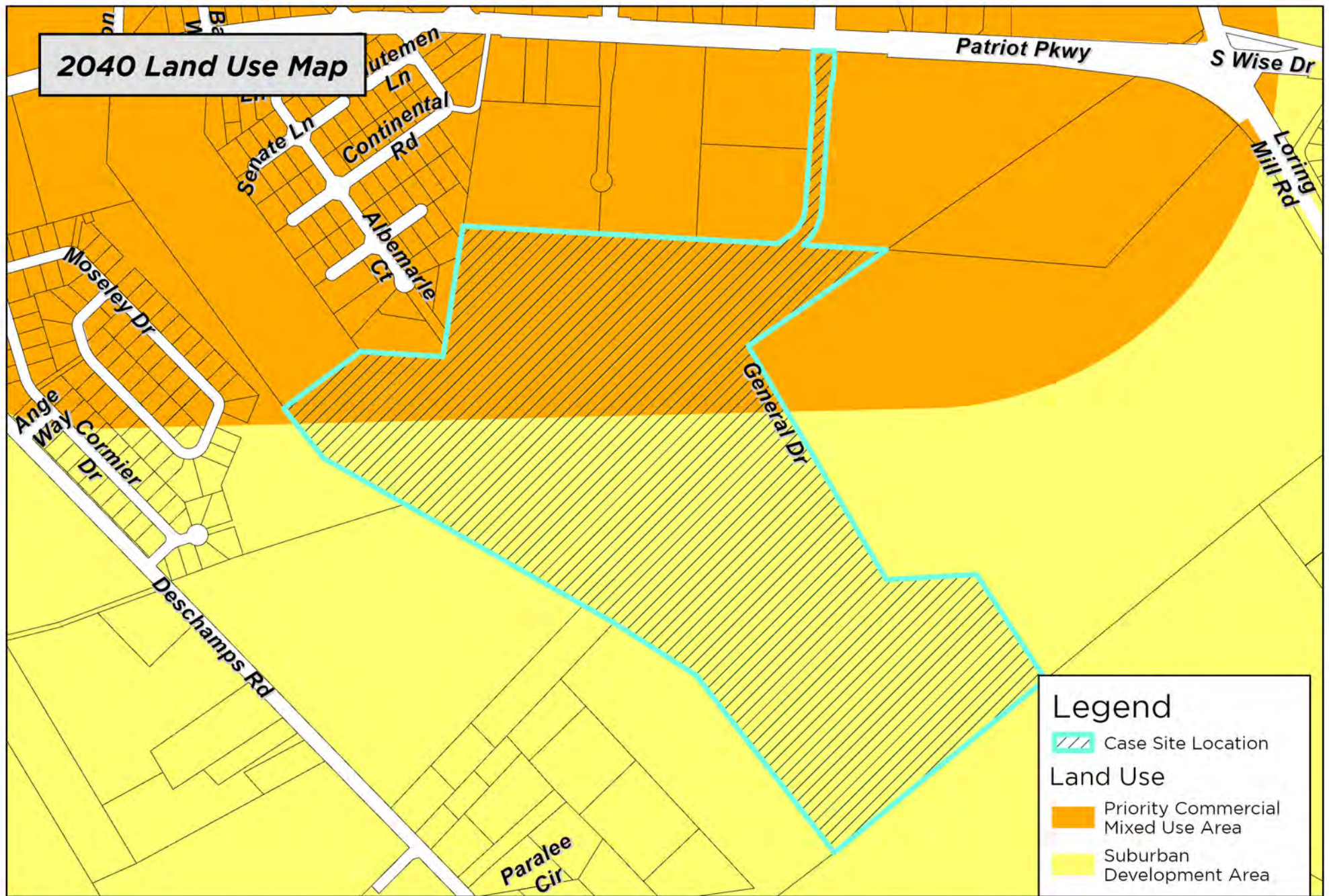


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2040 Land Use Map



Legend

- Case Site Location
- Land Use**
 - Priority Commercial Mixed Use Area
 - Suburban Development Area

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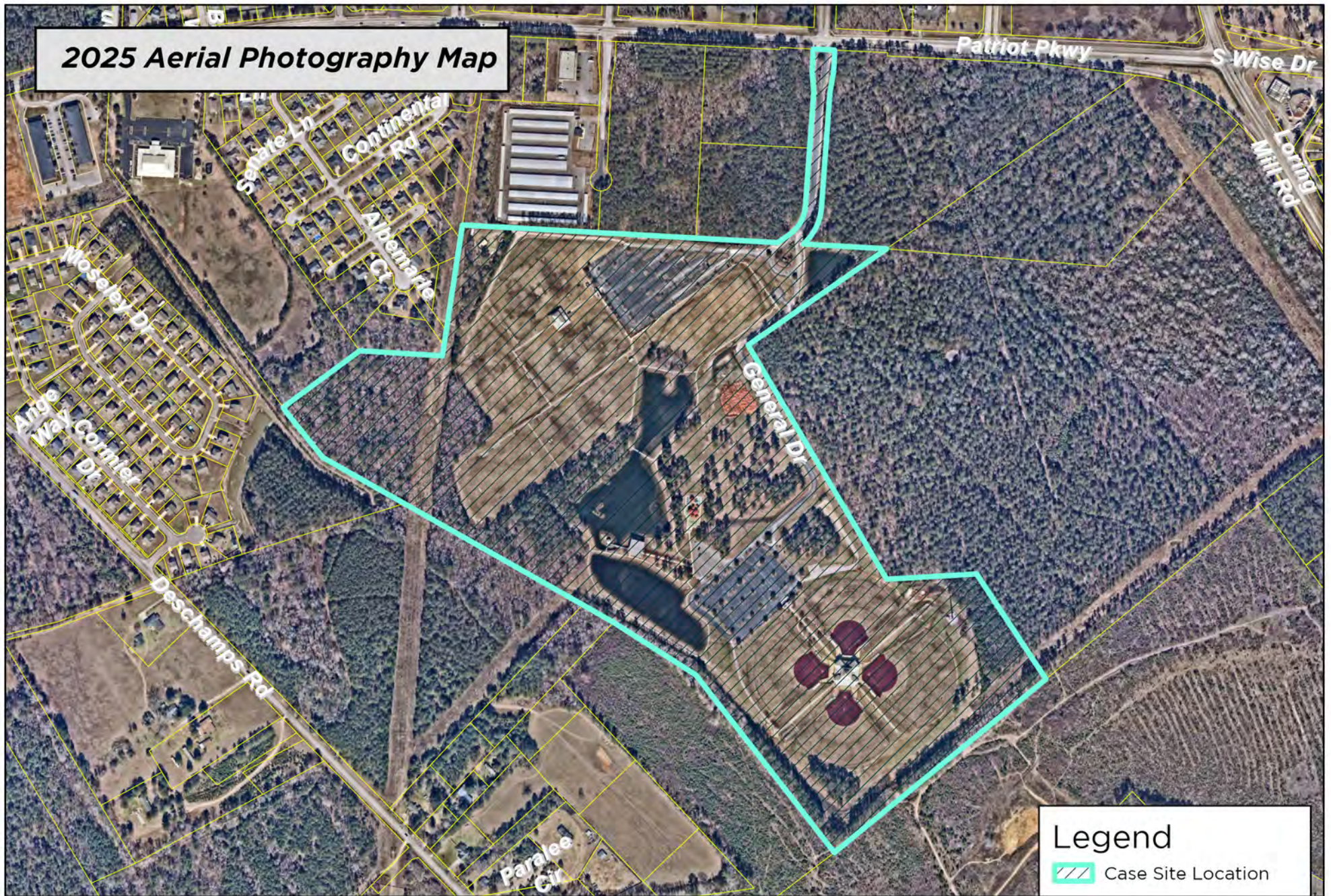


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2025 Aerial Photography Map



Legend

 Case Site Location

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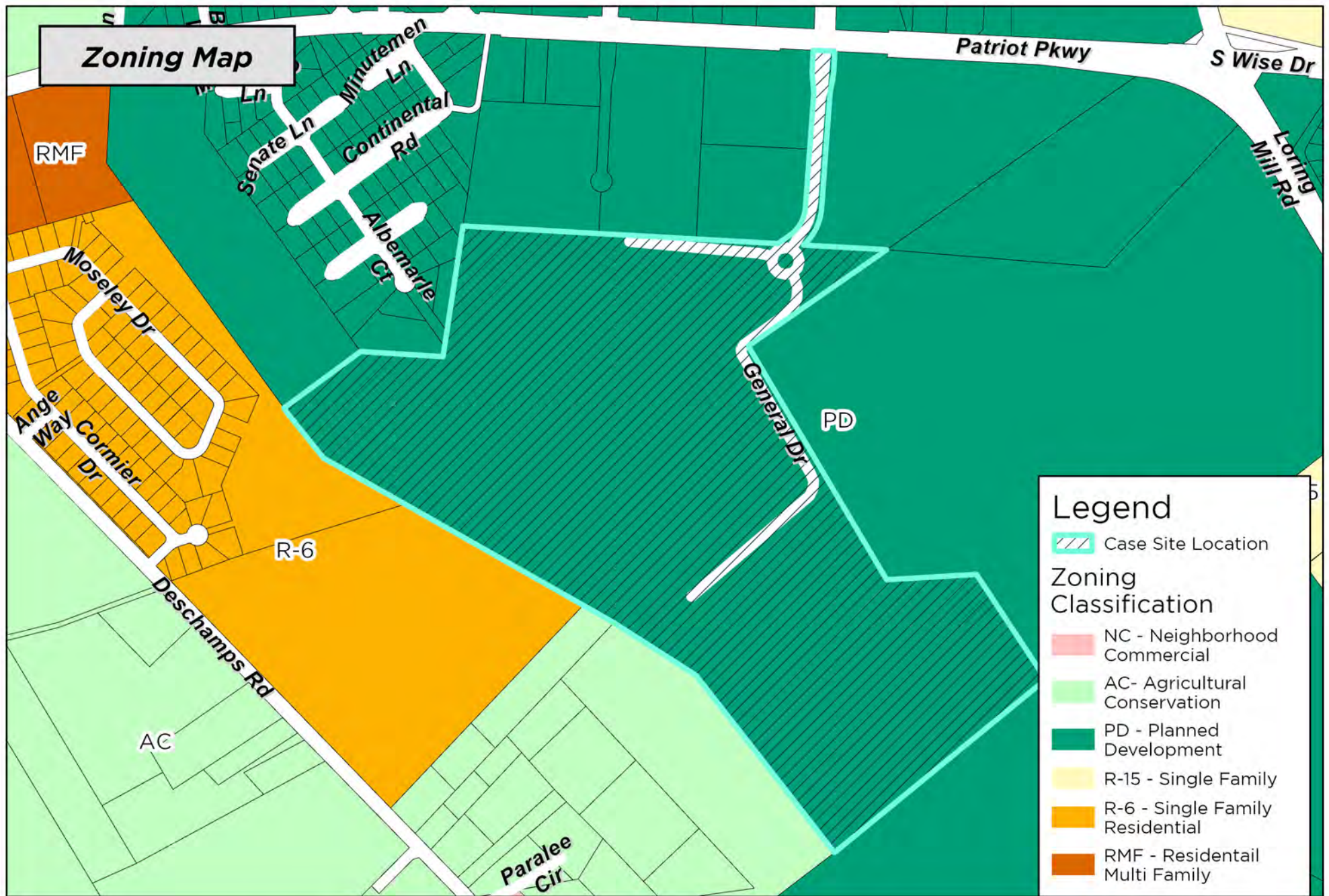


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Zoning Map



Legend

- Case Site Location
- Zoning Classification**
 - NC - Neighborhood Commercial
 - AC - Agricultural Conservation
 - PD - Planned Development
 - R-15 - Single Family
 - R-6 - Single Family Residential
 - RMF - Residential Multi Family

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