

# Sumter City-County Planning Commission

October 22, 2025

## MSP-25-51/HCPD-25-32 – 2831 Broad St. (City)

### I. THE REQUEST

<b>Applicant:</b>	Anderson Brothers Bank
<b>Status of the Applicant:</b>	Owner and Developer
<b>Request:</b>	Request for Major Site Plan and Highway Corridor Protection District Design Review approval for a +/- 5,164 sq. ft. bank facility and associated site infrastructure.
<b>Ward</b>	Ward 1
<b>Location:</b>	2831 Broad St.
<b>Size of Development:</b>	+/- 1.53-acres
<b>Present Use/Zoning:</b>	Undeveloped/ Planned Development (PD)
<b>Proposed Use of Property:</b>	Bank
<b>Tax Map Reference:</b>	202-00-01-049

### II. BACKGROUND

The applicant is proposing to develop a +/- 5,164 sq. ft. bank branch facility to be served with 2 drive-through stations.

The subject property consists of a single 1.53-acre parcel located at the northeast corner of Broad St. and Mason St. The site location is shown in red on the location map to the right.

The subject property is within a Planned Development (PD) district. Specifically, it is part of the commercial area of the Hunter's Crossing PD (PD-04-15 Rev9). The designated commercial area of this PD primarily reverts to GC zoning district standards. However, all commercial site plans



in this PD must receive major site plan approval from the Planning Commission. Banks are a permitted use within the commercial areas of the Hunter's Crossing PD.

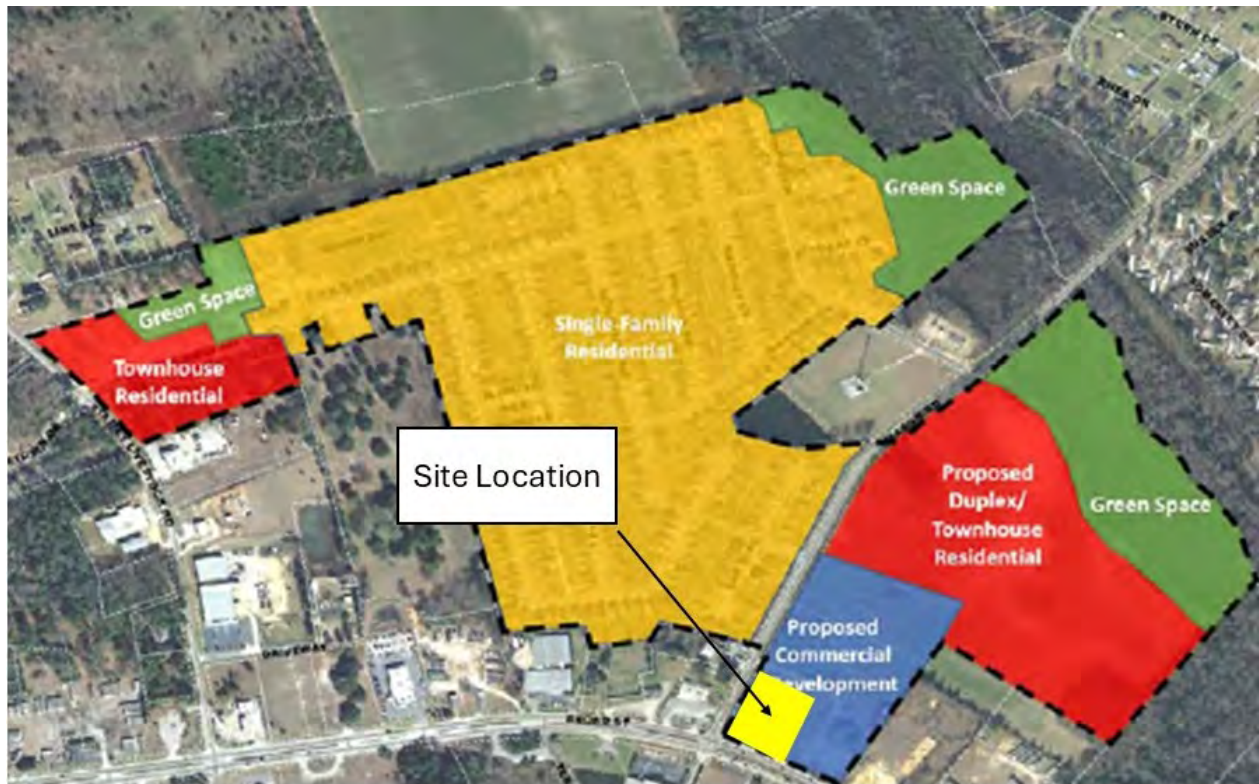


Figure 1 – Hunters Crossing PD Conceptual Plan

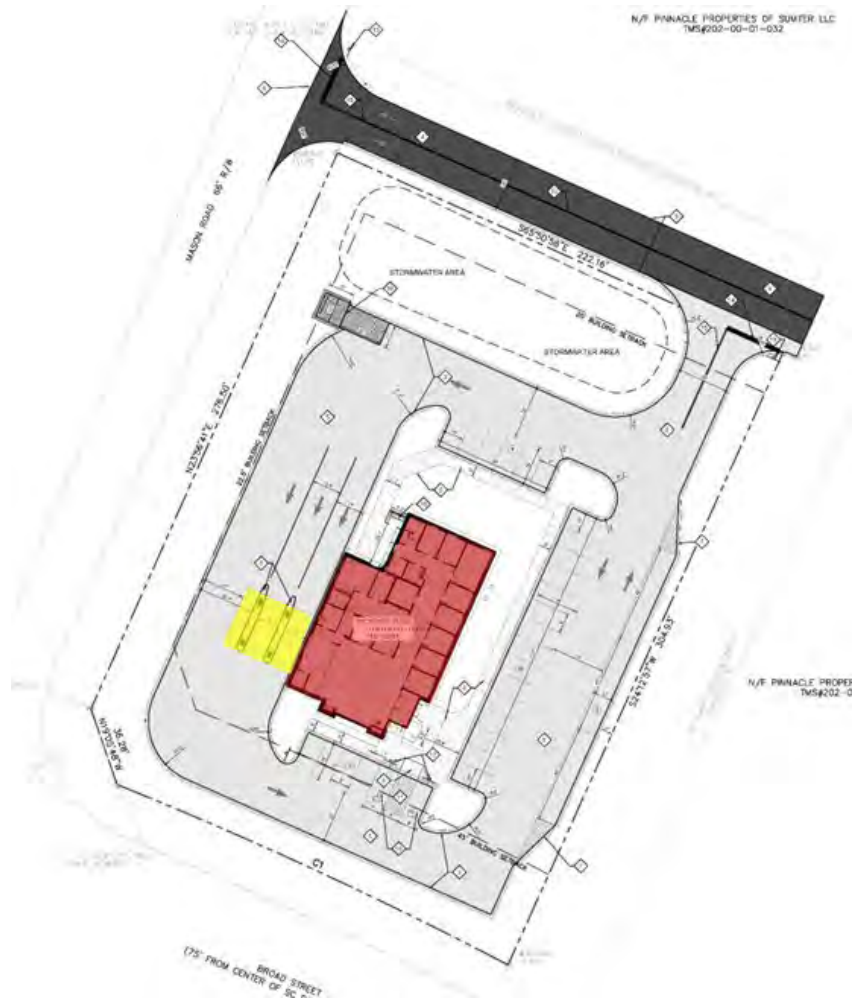
### III. SITE PLAN REVIEW

#### *Site Layout:*

The applicant has submitted site plan and landscaping plans titled, “Anderson Brothers Bank Sumter Branch – 2831 Broad Street, Sumter, SC 29150” prepared by ADC Engineering, dated October 22, 2025.

The applicant has also submitted colored building elevation renderings titled, “Anderson Brothers Bank Sumter Branch – 2831 Broad Street, Sumter, SC 29150” prepared by Garvin Design Group, dated October 22, 2025.

Copies of the Site Plan, Landscape Plan, and Building Exterior Elevations have been included in this packet for review as Exhibits 2, 3, and 4 respectively.



**Figure 2 - Site Plan**

Site development must adhere to the General Commercial (GC) zoning district standards of the City of Sumter Zoning and Development Standards Ordinance (the “Ordinance”) pursuant to PD-04-15 (Rev 9). The proposed development meets the following minimum standards and development criteria:

<b>Development Standard</b>	<b>Minimum Ordinance Requirement</b>	<b>Proposed</b>
Front Setback (Broad St.)	45 ft	<b>+/- 66 ft.</b>
Side Exterior Setback (Mason Rd.)	22.5 ft	<b>+/- 45 ft.</b>
Side Interior Setback	0 ft.	<b>+/- 82 ft.</b>
Rear Setback (Adjacent to residential zoning district)	20 ft	<b>+/- 136 ft.</b>
Maximum Impervious Surface	92%	<b>less than 92%</b>
Maximum Building Height	60 ft	<b>+/- 31 ft</b>

***Parking Plan:***

Based upon the criteria found in *Article 8, Exhibit 8-12: Off-street Parking Requirements for Non-Residential Land Uses* of the Ordinance, minimum off-street parking requirements for banks and financial institutions are 1 space per 350 sq. ft. of gross floor area (GFA). The proposal includes a bank with 5,164 sq. ft. of floor area. 15 off-street parking spaces with at least 1 space being ADA accessible are required.

Submitted parking plans show the following:

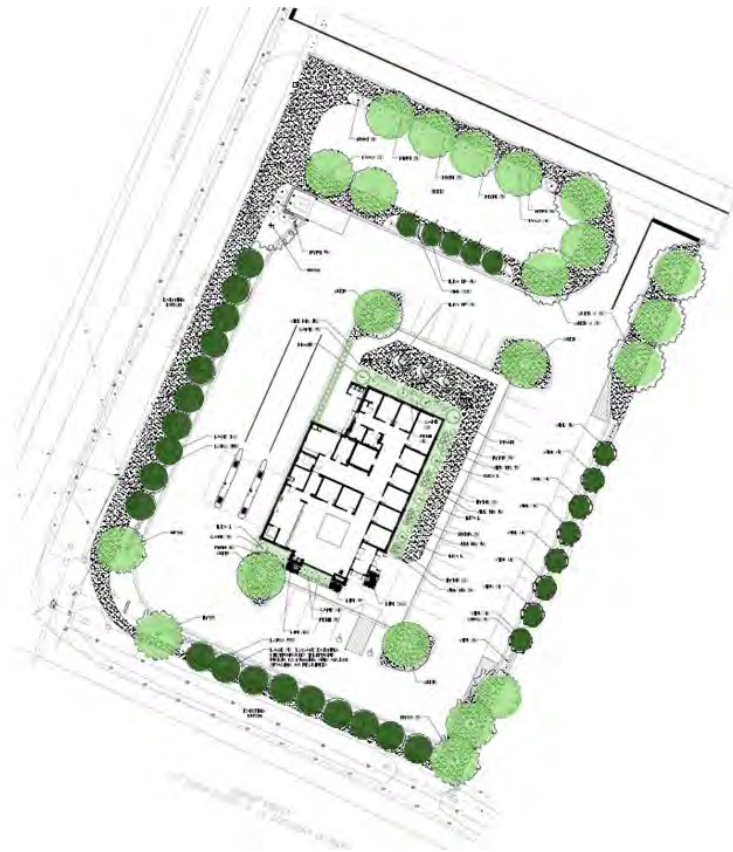
- 28 standard 9x19 ft. parking stalls
- 2 designed ADA parking stalls
- 3 large parallel parking spaces (proposed to serve anticipated agricultural client base that may visit site with larger trucks or pull behind trailers)
- 25 ft. aisle widths to support proposed 90-degree angled parking stalls;
- Landscaped parking lot islands, as required.

***Environmental:***

The property is located in Zone X, which is not a special flood hazard area (SFHA), as shown on FEMA FIRM Panel: 45085C0284F, with an effective date of October 27, 2022. National Wetland Inventory (NWI) data indicates that there are no wetlands on the property.

***Landscape & Tree Protection Plan:***

The submitted landscape plan is based upon the requirements of *Article 9* and makes accommodation for irrigated landscaping.



**Figure 3 – Landscaping Plan**

## PLANT LIST

Plan Label	Common Name	Botanical Name	Cultivar	Caliper	Cont/ Ball Size	Min. Ht	Min. Sprd.	Num Canes/ Trunks	Spacing on center (if applicable)	Comments
CAME	SHISHI GASHIRA SASANQUA	CAMELLIA SASANQUA	SHISHI GASHIRA		3 GALLON	18"	18"	5-7	4'	FULL
CERC	OKLAHOMA REDBUD	CERCIS TEXENSIS	OKLAHOMA	2"	24" BALL	10'-12'	6'	1		MATCHING SPECIMENS, STRAIGHT TRUNK STANDARDS WITH CENTRAL LEADER, FULL CROWN
HYDR	LITTLE LIMELITE HYDRANGEA	HYDRANGEA PANICULATA	LITTLE LIME		3 GAL	18"	18"	5-7	3'	FULL
ILEX EP	EAST PALATKA HOLLY	ILEX X ATTENUATA	EAST PALATKA	2"	24" BALL	10'-12'	6'-7'	1		MATCHING SPECIMENS, STRAIGHT TRUNK STANDARDS WITH CENTRAL LEADER, FULL CROWN
ILEX L	LIBERTY HOLLY	ILEX X LIBERTY	LIBERTY		15 GAL.	6'	4'	1		SINGLE LEADER, STRAIGHT TRUNK, PYRAMIDAL FORM, FULL TO GROUND
LAGE	MUSKOGEE CRAPEMYRTLE	LAGERSTROEMIA INDICA X FAURIEI	MUSKOGEE	2"	24" BALL	12'-14'	6'-8'	1		SINGLE LEADER, STRAIGHT TRUNK, MATCHING SPECIMENS
LIRI	SUPER BLUE LIRIOPE	LIRIOPE MUSCARI	SUPER BLUE		1 GAL	12"	12"	10-12	18"	FULL, PLANT IN STAGGERED ROWS
LORO	EMERALD SNOW LOROPETALUM	LOROPETALUM CHINENSE	EMERALD SNOW		3 GAL	18"	18"	5-7	3'	FULL, PLANT IN STAGGERED ROWS
MAGN	LITTLE GEM MAGNOLIA	MAGNOLIA GRANDIFLORA	LITTLE GEM		25 GAL	10'-12'	6'-8'	1		MATCHING SPECIMENS, FULL TO GROUND, SPACE AS SHOWN
MYRI	WAX MYRTLE	MYRICA CERIFERA			3 GAL	24"	24"	5-7	6'	FULL
NYSS	BLACK GUM	NYSSA SYLVATICA		2"	24" BALL	10'-12'	6'	1		SINGLE LEADER, STRAIGHT TRUNK, MATCHING SPECIMENS
PENN	KARLEY ROSE FOUNTAIN GRASS	PENNISETUM ORIENTALE	KARLEY ROSE		1 GAL.	18"	12"	FULL	2'	PLANT IN STAGGERED ROWS
QUER N	NUTALL OAK	QUERCUS NUTALLI		2"	24" BALL	10'-12'	6'	1		SINGLE LEADER, STRAIGHT TRUNK, MATCHING SPECIMENS
QUER V	LIVE OAK	QUERCUS VIRGINIANA		2"	24" BALL	10'-12'	6'	1		MATCHING SPECIMENS, STRAIGHT TRUNK, FULL CROWN
TAXO	BALD CYPRESS	TAXODIUM DISTICHUM		2"	24" BALL	10'-12'	6'	1		SINGLE LEADER, STRAIGHT TRUNK, MATCHING SPECIMENS
VIBU MS	MRS. SCHILLERS DELIGHT VIBURNUM	VIBURNUM OBOVATUM	MRS. SCHILLERS DELIGHT		3 GAL.	12"	18"	5-7	3'	FULL, PLANT IN STAGGERED ROWS
VIBU	MOONLIT LACE VIBURNUM	VIBURNUM DAVIDII X TINUS	MOONLIT LACE		3 GAL.	18"	18"	5-7	3'	FULL, PLANT 3' ON CENTER
SEED	CENTIPEDE SEED	Eremochloa ophiuroides								Refer to specifications. Apply 1 lbs seed per 1000 square feet. Permanent seeding to be performed May-August. Refer to SCDHEC seeding schedules for temporary seeding for site stabilization.
SOD	CENTIPEDE SOD	Eremochloa ophiuroides								Well rooted. Refer to specifications

Figure 4 – Proposed Plantings

### Street Buffers

Street buffer landscaping consisting of 3 canopy trees and 20 shrubs per 100 linear ft. within a 10 ft. wide buffer area is required along Broad St. and Mason Rd. per *Article 9*.

Plans indicate the required amount of shrubs on Broad St. and Mason Rd. are being proposed. The plans also indicate that understory trees are being substituted on a 2 for 1 basis for a portion of the required canopy trees due to the presence of overhead power lines along both property frontages. Currently, an overhead power line traverses across the site. This line is anticipated to be moved to the Broad St. right-of-way necessitating the need for the under story tree substitution on this street frontage.

### Rear Buffer

A 'Type B' landscape buffer (2 canopy trees, 6 evergreen trees, and 15 tall shrubs per 100 linear ft. within a 10 ft. wide buffer area) is required for the stormwater pond, which occupies the primary extent of the rear buffer (not including the access drive). While a 'Type B' buffer is not proposed completely around the pond, the proposed plan meets the intent of *Article 9* and staff is supportive of the plan.

### Side Buffer

A 'Type A' landscape buffer (2 canopy trees, 2 understory trees, and 15 shrubs per 100 linear ft. within a 5 ft. wide buffer area) is required for the side property line. A grouping of canopy trees on the north and south ends of the interior side, with understory trees and shrubs in the middle, is proposed. The proposed plantings meet the intent of *Article 9* and staff is supportive of the plan.

### *Parking Lot Landscaping:*

Plans show a canopy tree for every parking lot island. The applicant is specifically requesting to waive the 3 shrubs per island requirement and is proposing planting beds along 3 sides of the building, as well as other landscaping above the minimum amount required. The proposed plantings meet the intent of *Article 9* and staff is supportive of the plan.

### *Tree Protection*

The site is currently a cleared open area. There are no significant or historic trees located on the subject property.

### ***Transportation Review:***

The site has +/- 200 linear feet of frontage along Broad St. (US-378) and +/- 280 linear ft. of frontage along Mason Rd. (S-673). The site will be served by a shared access driveway on Mason Rd. All referenced streets are owned and maintained by SCDOT. In the area of the site, Broad St. is a principal arterial street with an estimated current AADT of 31,200. Mason Rd. is functionally classified as a minor arterial streets, with an estimated current AADT of 6,000.

### Multimodal Transportation Factors

- *Bicycle and Pedestrian:* There are no sidewalks present in the vicinity of the site.
- *Transit:* Santee-Wateree Regional Transit Authority operates two fixed service transit routes in the vicinity of the site (Route #70 – Shaw Shuttle, Route #71 - Cherryvale), with the nearest stop located ~1,500 ft. east of the site.
- *Rail:* The proposed project would not result in any utilization of or impact to rail lines.

### Analysis of Applicable Zoning & Development Standards Ordinance Transportation Provisions

- *Visual Clearance at Intersections:* The proposed visual clearance at intersections conforms to Ordinance Requirements.
- *Traffic Impact Study Requirements:* Based on the proposed development scope and scale, a TIS is not required.
- *Consideration of Existing Local and Regional Plans:* The Broad St. at Mason Rd. Intersection Improvement Project, funded via the current SUATS Transportation Improvement Program (TIP), is expected to be bid for construction by SCDOT in late 2026. The project is in the early stages of design, and based on the most recent guidance from SCDOT's pre-construction office, there should be enough room to add the required lanes of the intersection project without impacting the curb line of the bank project.
- *Circulation System Design:* The circulation system conforms to Ordinance requirements.

### ***Stormwater Management:***

One stormwater detention pond at the rear of the site near the proposed access is planned. Stormwater will be collected via a system of grates and carried to the detention pond via underground piping. It is noted that stormwater detention improvements proposed in or near Mason Rd. right-of-way may need to be modified to account for the planned Broad St. at Mason Rd. intersection improvements currently in design by SCDOT and SUATS MPO. This will be coordinated through SCDOT and is an outstanding technical review item.

**Utilities:**

*Fire:* Proposed fire hydrant assembly must be installed prior to construction approval in order to provide emergency fire suppression during construction process.

*Sewer & Water:* The City of Sumter will provide sewer and water service. Coordination with the applicant is on-going. However, there are no significant issues that would prevent the City from providing water and sewer services to this site.

*Solid Waste:* No commercial dumpster enclosure area is shown on site plans. The applicant initially stated that roll-cart service is desired. However, upon information provided from the Sanitation Department concerning pick-up for roll carts it is possible that commercial dumpster service will be requested instead. If so, then the site plan must be revised to show dumpster enclosure location and proposed enclosure details and exterior materials. This is an outstanding technical review item.

**Highway Corridor Protection District Design Review:**

Proposed designs must conform to *Article 3.t.* of the *City of Sumter Zoning & Development Standards Ordinance*.

*3.t.4. Architectural Standards:* All commercial projects in the Highway Corridor Protection District shall submit architectural plans to the Sumter City-County Planning Commission which shows elevations of all portions of buildings with important relationships to public views and vistas, indications as the construction materials, photographs or perspective drawings indicating visual relationships to adjoining properties and spaces, paint and color schemes, and other exhibits and reports the Sumter City-County Planning Commission may require. Applicant shall also submit a landscaping plan and signage plan for the project site. In addition, all commercial projects shall meet the following standards:

- a. If a new commercial building is proposed, not more than 60% of the facade facing a street may be glass or reflective materials;

**Staff Review:** Based on supplied renderings, more detail is required to determine if the front façade facing Broad St. meets this provision. This is an outstanding technical review item.

- c. A minimum of 80% of the surface materials, excluding doors and windows, shall be brick, stucco, or stone masonry or materials approved by the Sumter City-County Planning Commission. Roof pitch should be compatible with the building structures in the surrounding neighborhood.

**Staff Review:** The primary exterior materials are a combination of brick and fiber cement siding in gray and beige color scheme. Fiber cement siding is not expressly outlined in *Article 3.t.4.c.*, and can be considered as alternate exterior material subject to Planning Commission approval. The Planning Commission has authority to approve alternate materials, as outlined in *Article 3.t.4* of the *Ordinance*. Staff is supportive of the materials proposed.

The proposed roof pitch is complementary to and compatible with other development in this area of Broad St. Staff notes that the AllSouth Credit Union location directly across Broad St. from the subject site, as well as the ReMax/Summit office site located at the nearby intersection of Broad St. and Stamey Livestock Rd. have similar pitched roof architecture.





2. Confirm that glass area on the front façade is less than 60% of the total area of this façade.
3. Revise stormwater plans in coordination with SCDOT to accommodate Broad St. at Mason Rd. intersection improvements projects, as needed.
4. Update utility plan to indicate detailing how emergency fire suppression will be installed prior to start of construction of the proposed building.

## V. STAFF RECOMMENDATION

Staff has reviewed the major site plan application, shared the proposed plans with the technical review committee, and recommends **approval** of this request subject to the staff recommended Conditions of Approval as outlined in Exhibit 1.

## VI. DRAFT MOTION

1. I move the Planning Commission **approve** MSP-25-21/HCPD-25-15 subject to conditions of approval outlined in Exhibit 1, the site and landscaping plans titled, “Anderson Brothers Bank Sumter Branch – 2831 Broad Street, Sumter, SC 29150” prepared by ADC Engineering, dated October 22, 2025, and the building elevation renderings titled, “Anderson Brothers Bank Sumter Branch – 2831 Broad Street, Sumter, SC 29150” prepared by Garvin Design Group, dated October 22, 2025.
2. I move the Planning Commission **deny** MSP-25-21/HCPD-25-15.
3. I move an alternate motion.

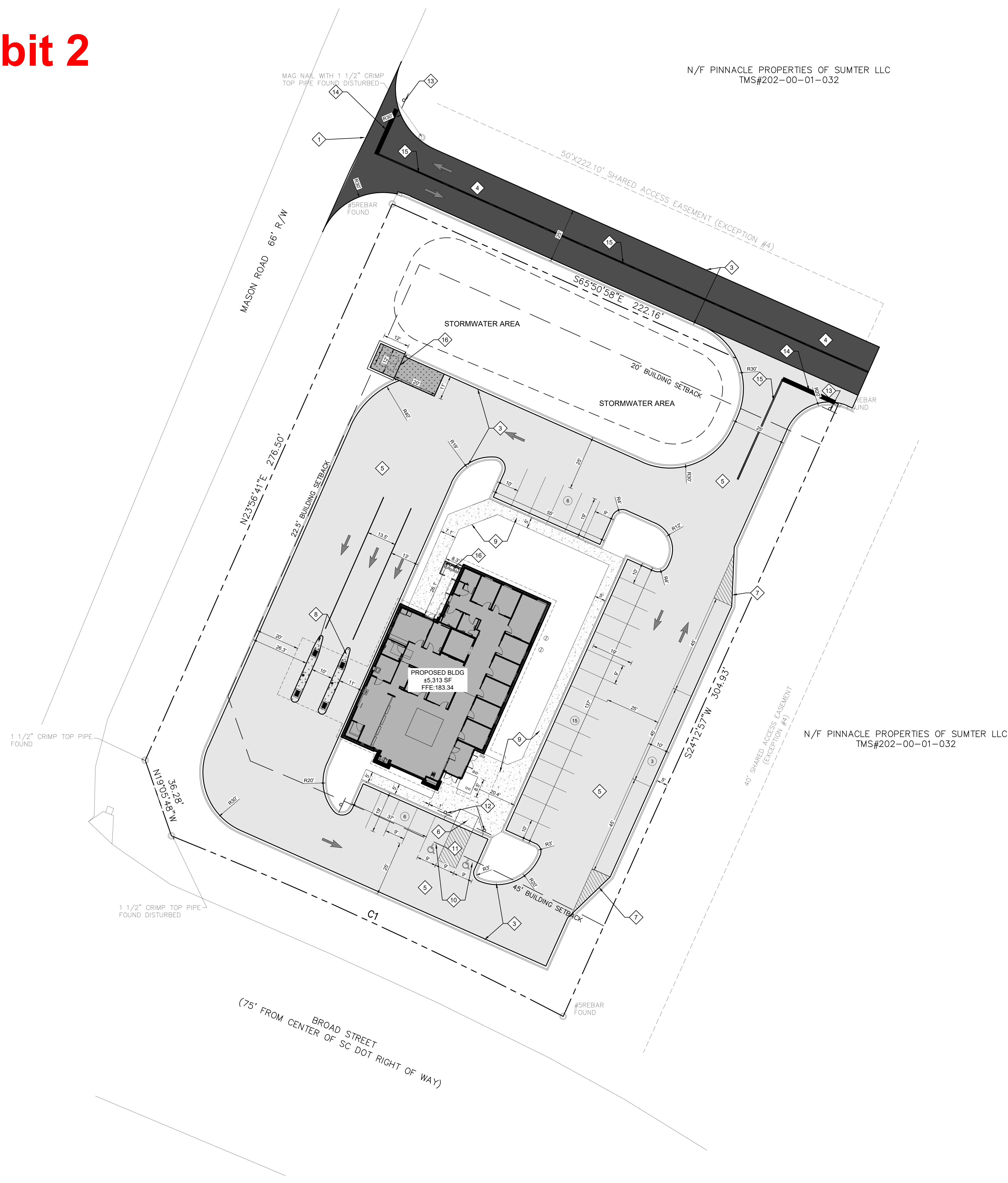
## VII. PLANNING COMMISSION – October 22, 2025

**Exhibit 1:**  
**MSP-25-51/HCPD-25-32, 2831 Broad St. (City)**  
**Proposed Conditions of Approval**

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1. The project shall be developed in substantial conformance with the site and landscaping plans titled, “*Anderson Brothers Bank Sumter Branch – 2831 Broad Street, Sumter, SC 29150*” prepared by ADC Engineering, dated October 22, 2025.
2. The project shall be developed in substantial compliance with the building exterior material information submitted by the applicant via building elevation renderings titled, “*Anderson Brothers Bank Sumter Branch – 2831 Broad Street, Sumter, SC 29150*” prepared by Garvin Design Group, dated October 22, 2025 if the Sumter City-County Planning Commission approves the requested alternate exterior material. The Sumter City-County Planning Commission may deny or request amendments to the proposed elevations.
3. Prior to issuance of Land Disturbance permit(s), the following must be received by the Sumter City-County Planning Department:
  - a. Resolution of all outstanding technical review items referenced in Section IV of the case staff report.
  - b. Stormwater permit approval and NPDES coverage letter must be submitted to the Sumter City-County Planning Department.
4. Prior to issuance of Building Permit(s), the following item must be completed:
  - a. Emergency fire suppression capacity to support building construction must be in place and approved by the Fire Marshall.
5. Prior to zoning final inspection approval:
  - a. Completion of all site developments as depicted on final civil engineered plans.
  - b. Copy of approved SCDOT encroachment permit.
6. Separate sign permits are required for all exterior signage. All signage must be in full compliance with *Article 8.i: Sign Regulations* of the *City of Sumter Zoning & Development Standards Ordinance* prior to permit approval, issuance, and installation.

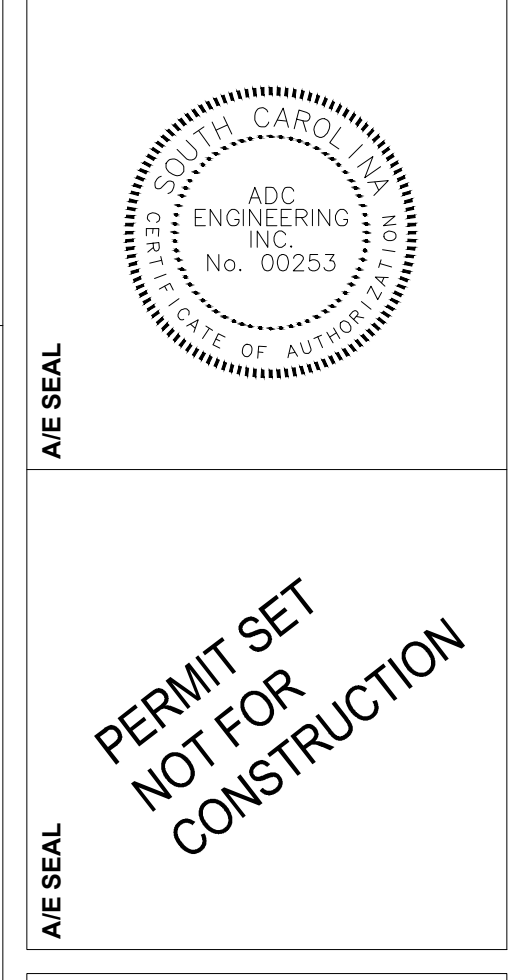
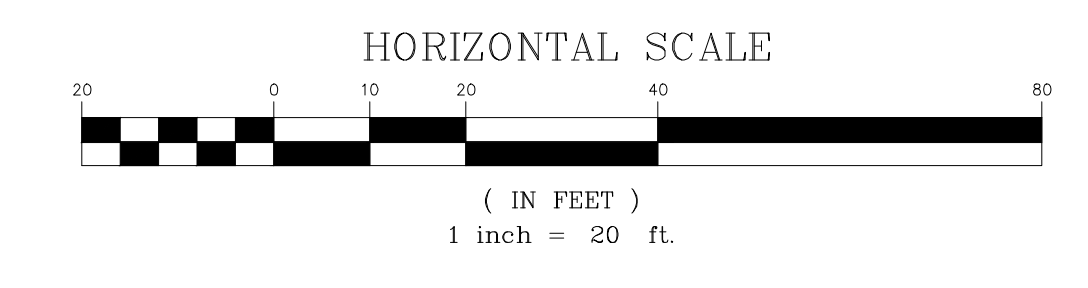
# Exhibit 2



- SITE NOTES:**
- SEE SHEET C001 FOR CIVIL NOTES AND ABBREVIATIONS.
  - ALL STRIPING AND MARKINGS WITHIN THE RIGHT-OF-WAY SHALL BE REFLECTIVE THERMOPLASTIC IAW SCDOT SPECIFICATIONS.
  - SEE SHEET C010 FOR TRAFFIC CONTROL DETAILS.

- KEYNOTES:**
- TIE NEW PAVEMENT INTO EXISTING PAVEMENT IAW DETAIL
  - TIE NEW SIDEWALK INTO EXISTING SIDEWALK
  - INSTALL NEW 18" CURB AND GUTTER IAW DETAIL
  - INSTALL NEW HEAVY DUTY PAVEMENT SECTION
  - INSTALL MEDIUM DUTY PAVEMENT SECTION
  - INSTALL NEW PEDESTRIAN RAMP IAW DETAIL
  - INSTALL 4" SINGLE WHITE SOLID LINES AT 24" ON CENTER AND AT 45 DEGREES.
  - INSTALL CONCRETE ISLANDS AT TELLER MACHINES PER DETAIL
  - INSTALL NEW CONCRETE SIDEWALK
  - INSTALL NEW ACCESSIBLE PARKING INSIGNIA
  - INSTALL NEW ACCESSIBLE PARKING AISLE - 4" SOLID BLUE LINES AT 45 DEGREES, 2' ON CENTER
  - INSTALL NEW ACCESSIBLE PARKING SIGN (INCLUDE VAN ACCESSIBLE SIGN)
  - INSTALL NEW R1-1-30 STOP SIGN
  - INSTALL 24" WIDE SOLID WHITE STOP BAR
  - INSTALL DOUBLE YELLOW STRIPING
  - INSTALL DUMPSTER PAD WITH SCREEN WALL AND CONCRETE APRON

- CIVIL LEGEND - SITE**
- STANDARD DUTY ASPHALT PAVEMENT - INSTALL IAW DETAIL
  - HEAVY DUTY ASPHALT PAVEMENT - INSTALL IAW DETAIL
  - HEAVY DUTY CONCRETE PAVEMENT - INSTALL IAW DETAIL
  - CONCRETE SIDEWALK - INSTALL IAW DETAIL
  - VERTICAL CURB AND GUTTER - IAW DETAIL
  - ROLLED CURB AND GUTTER - IAW DETAIL
  - ACCESSIBLE PARKING SPACE AND AISLE - IAW DETAIL
  - CROSSWALK (THERMOPLASTIC IN SCDOT R/W) - INSTALL IAW DETAIL
  - 24" STOP BAR (THERMOPLASTIC IN SCDOT R/W) - INSTALL IAW DETAIL
  - HIGHWAY/DRIVEWAY TRAFFIC ARROW OR WORD MESSAGE (THERMOPLASTIC IN SCDOT R/W) - INSTALL IAW DETAIL
  - DYSL/4" DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
  - SYDL/4" SINGLE YELLOW DASHED LINE / 4" WIDE
  - SWDL/4" SINGLE WHITE DASHED LINE / 4" WIDE
  - SWSL/4" SINGLE WHITE SOLID LINE / 4" WIDE
  - SWSL/4"-45" SINGLE WHITE SOLID LINE / 4" WIDE (45° STRIPING AT 2' O/C)
  - PARKING SPACES - STRIPE WITH 4" SINGLE WHITE SOLID LINE
  - NEW TRAFFIC SIGN - INSTALL PER PLAN AND IAW DETAIL
  - CHAIN LINK FENCE - IAW DETAIL
  - DECORATIVE FENCING - IAW DETAIL
  - PROPERTY LINE
  - BUILDING SETBACK



**PERMIT SET NOT FOR CONSTRUCTION**

**PROJECT TITLE**  
ANDERSON BROTHERS BANK  
SUMTER BRANCH  
2831 BROAD STREET  
SUMTER, SC 29150

NO.	REVISIONS	NAME	DATE

**DRAWING TITLE**  
SITE LAYOUT PLAN

**DRAWN BY:** MDJ  
**CHECKED BY:** DVC

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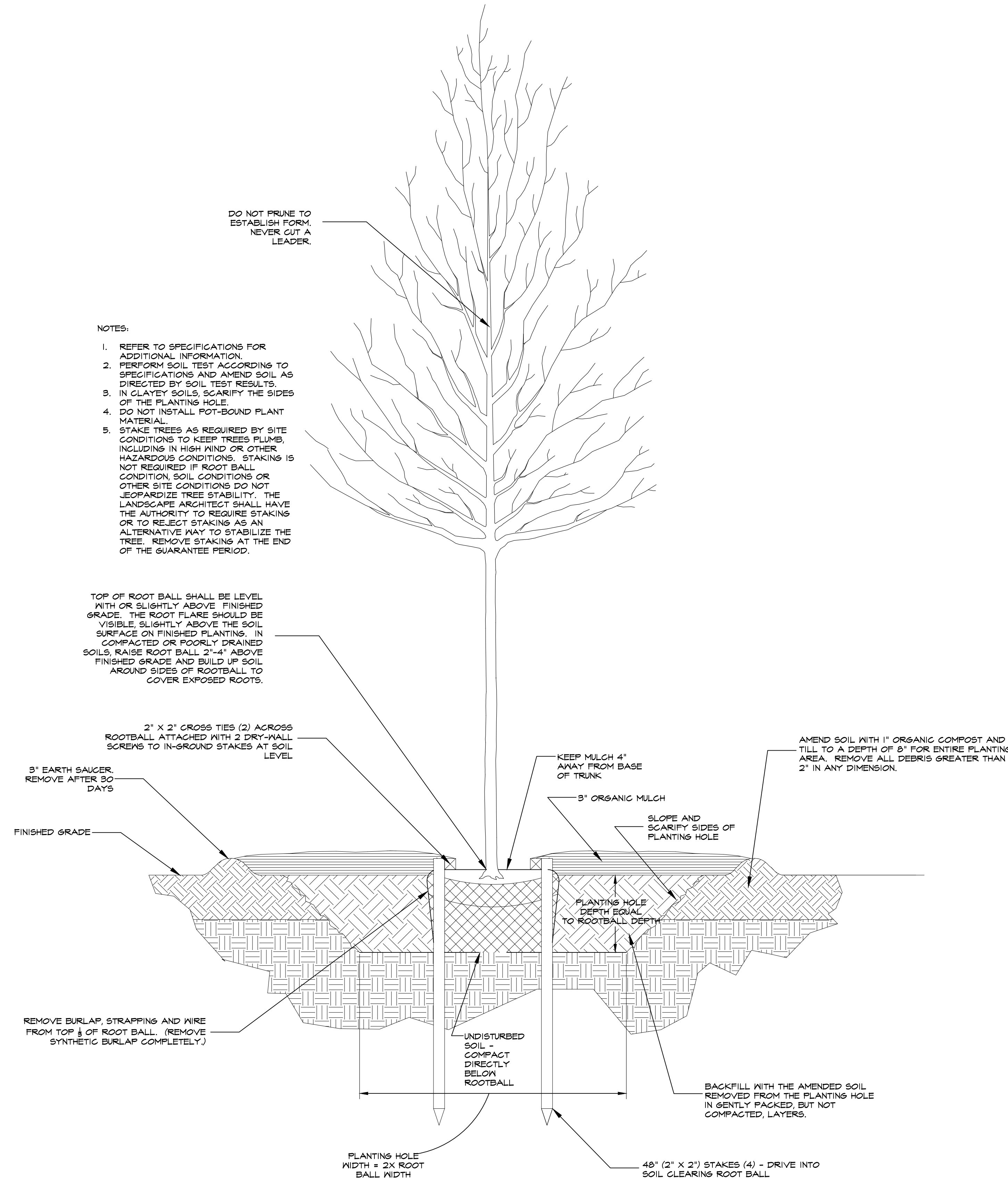
**PROJECT NO.**  
A738.25

**DATE**  
SEPT 2025

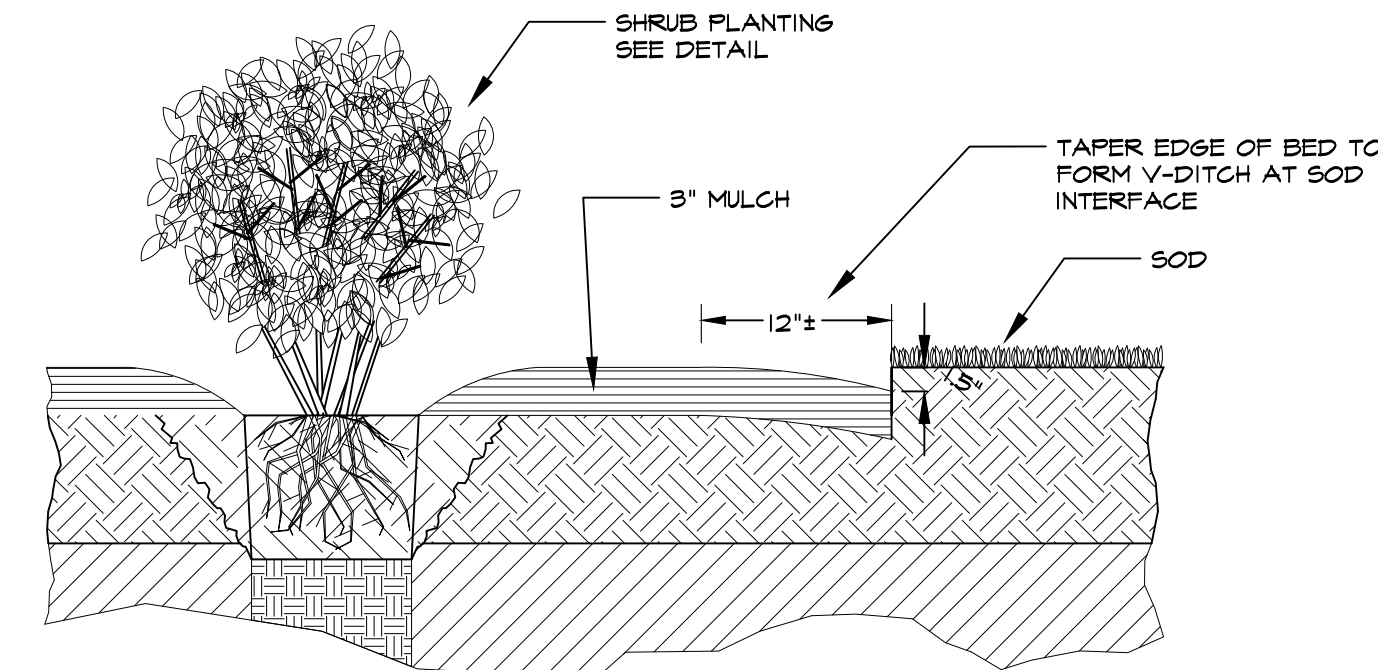
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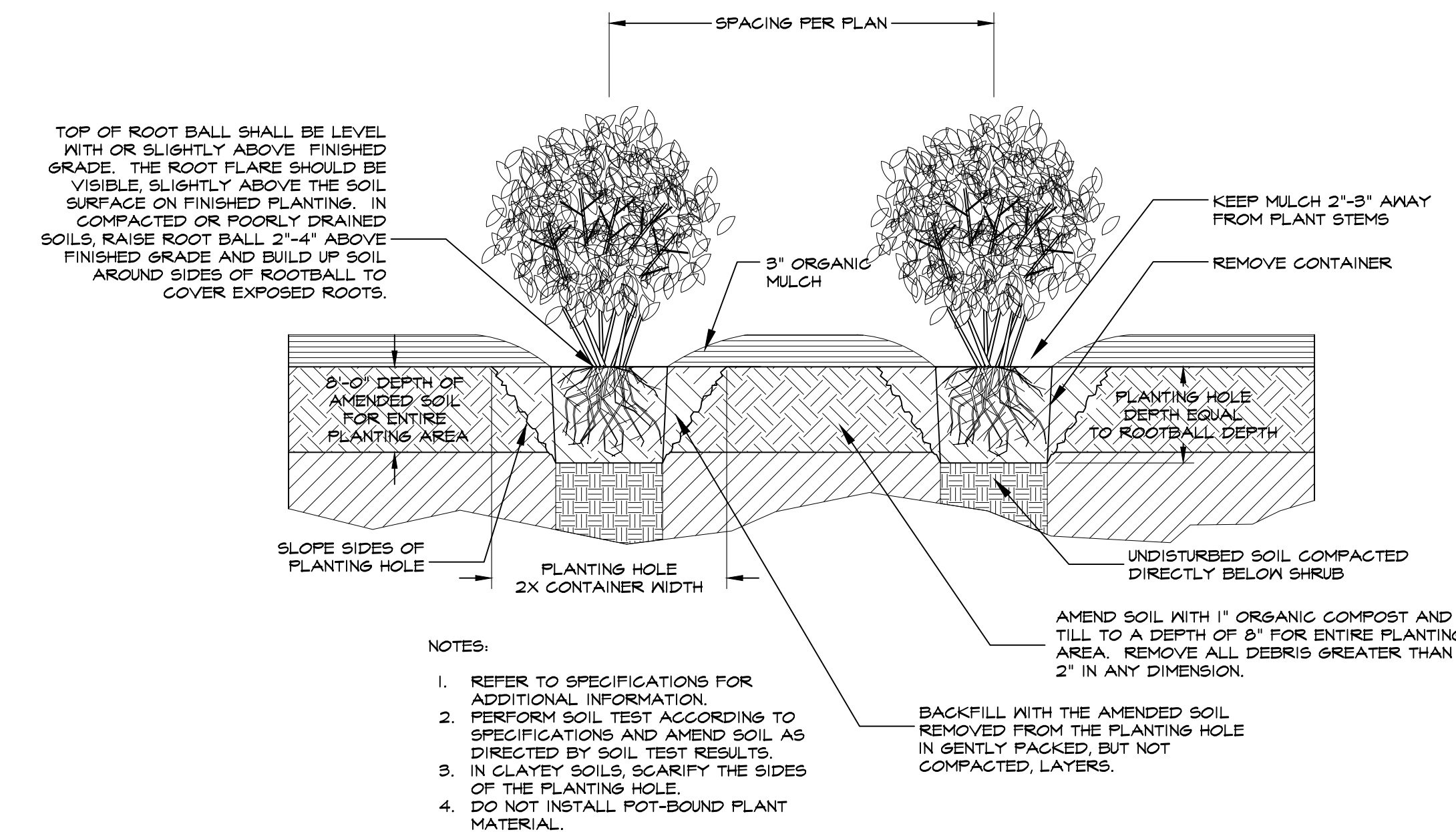
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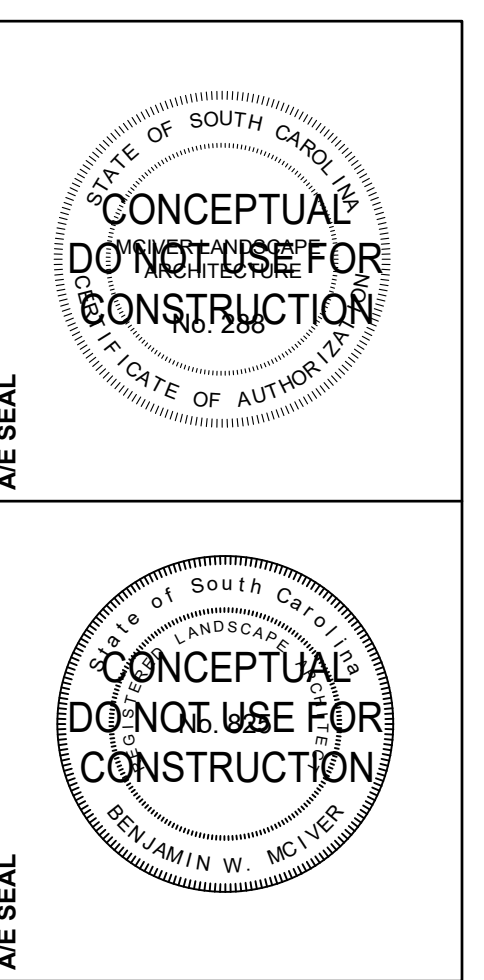
NOTES:

- REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.

### V-DITCH BED EDGE



### SHRUB AND GROUNDCOVER PLANTING



PROJECT TITLE  
**ANDERSON BROTHERS BANK SUMTER BRANCH**  
 2834 BROAD STREET  
 SUMTER, SC 29150

REVISIONS	DATE
NO.	

DRAWN BY: *AM*  
 CHECKED BY: *CM*  
 AUTHZ: *CM*

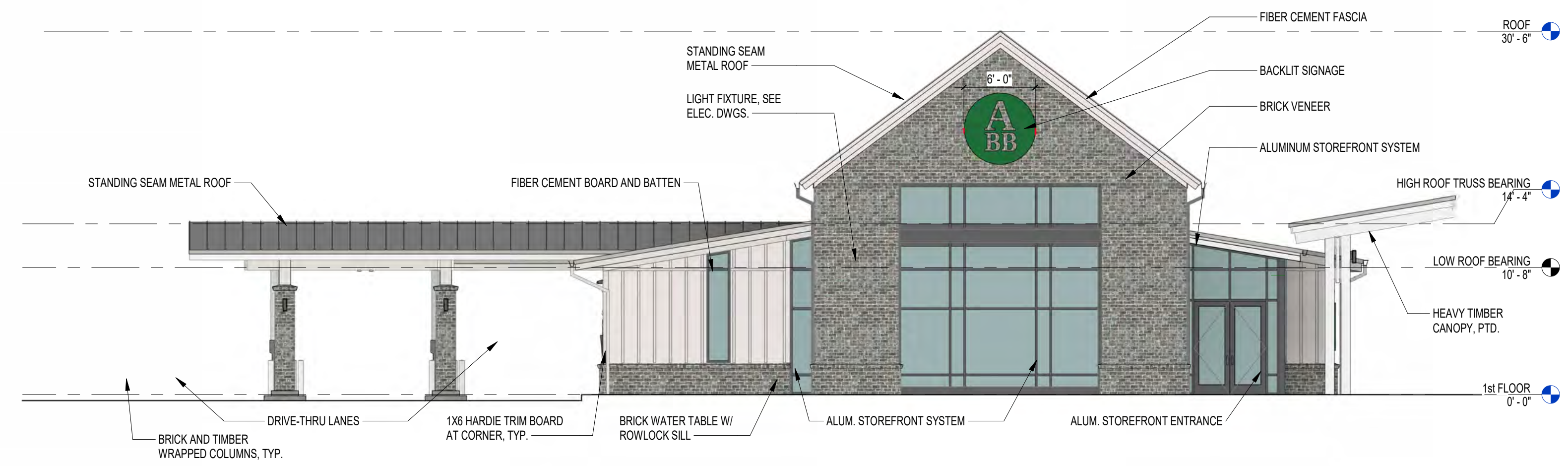
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**PLANTING DETAILS**

PROJECT NO. A19825  
 DATE 10/22/25  
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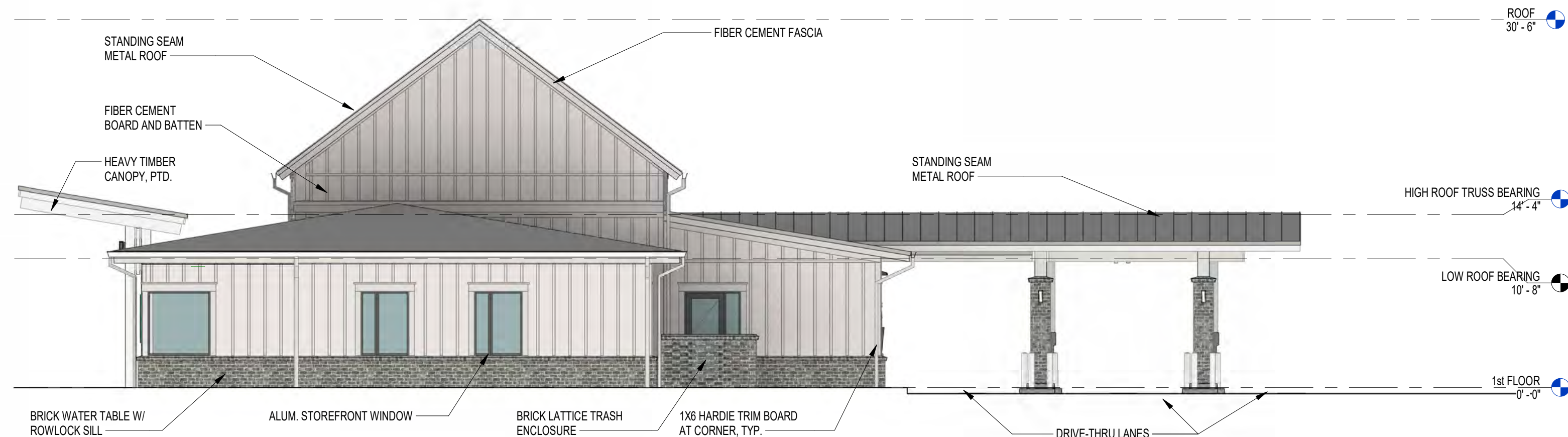
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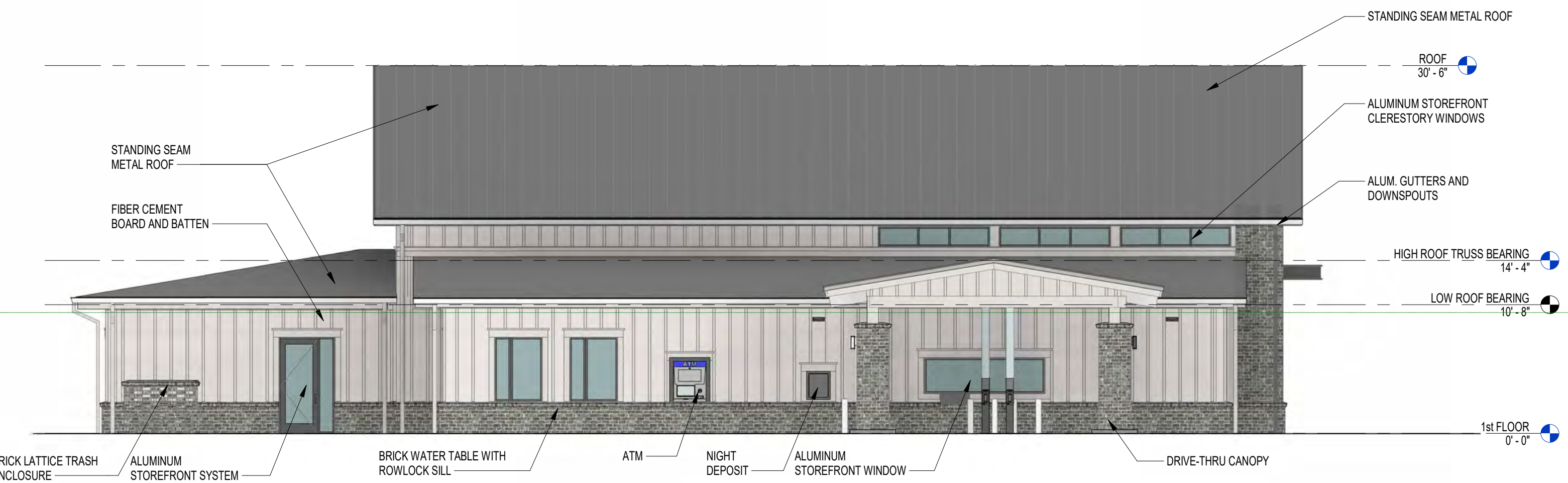
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OK



2 SOUTH ELEVATION  
Z5.0 1/8" = 1'-0" REFERENCED A1.1  
OK



3 NORTH ELEVATION  
Z5.0 1/8" = 1'-0" REFERENCED A1.1  
OK



4 WEST ELEVATION  
Z5.0 1/8" = 1'-0" REFERENCED A1.1  
OK

AE SEAL  
AE SEAL

PROJECT TITLE  
**ANDERSON BROTHERS BANK  
SUMTER BRANCH**  
2831 BROAD STREET  
SUMTER, SC 29150

NO.	REVISIONS	NAME	DATE

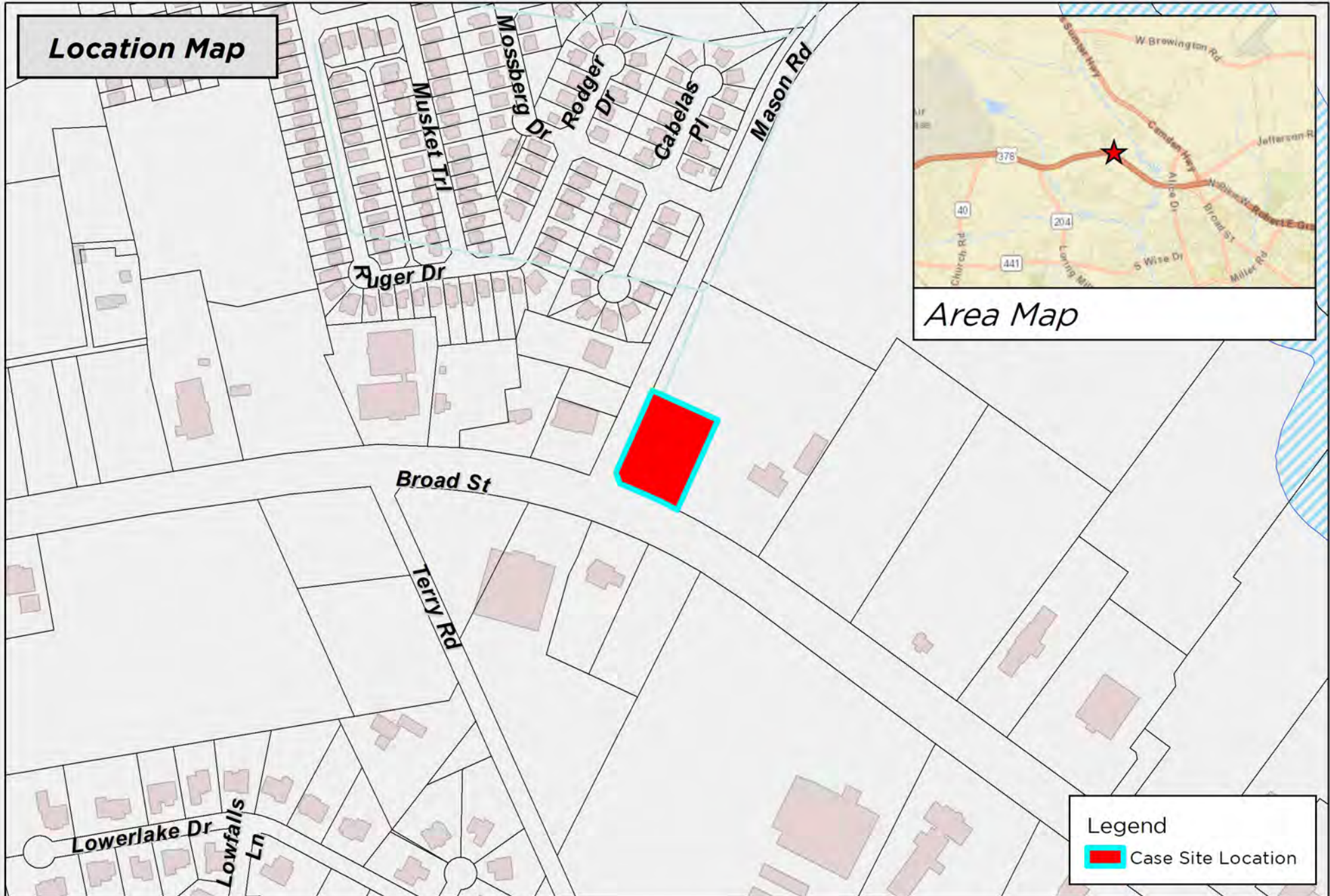
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DRAWING TITLE  
**BUILDING ELEVATIONS**

PROJECT NO. A198.25  
DATE 08.30.25  
DRAWING NO. **Z5.0**

# Location Map

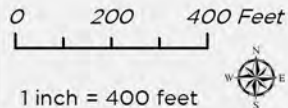


# Area Map

## Legend

 Case Site Location

DISCLAIMER: While the data of this map has been tested for accuracy, the Sumter City-County Planning Commission disclaims any or all responsibility for the exact accuracy or correctness of the map. The Sumter City-County Planning Commission shall not become liable to the user of this map for any reason. In using this map, the user agrees to hold the Sumter City-County Planning Commission harmless of any or all liabilities arising from the use of this map and/or its data.

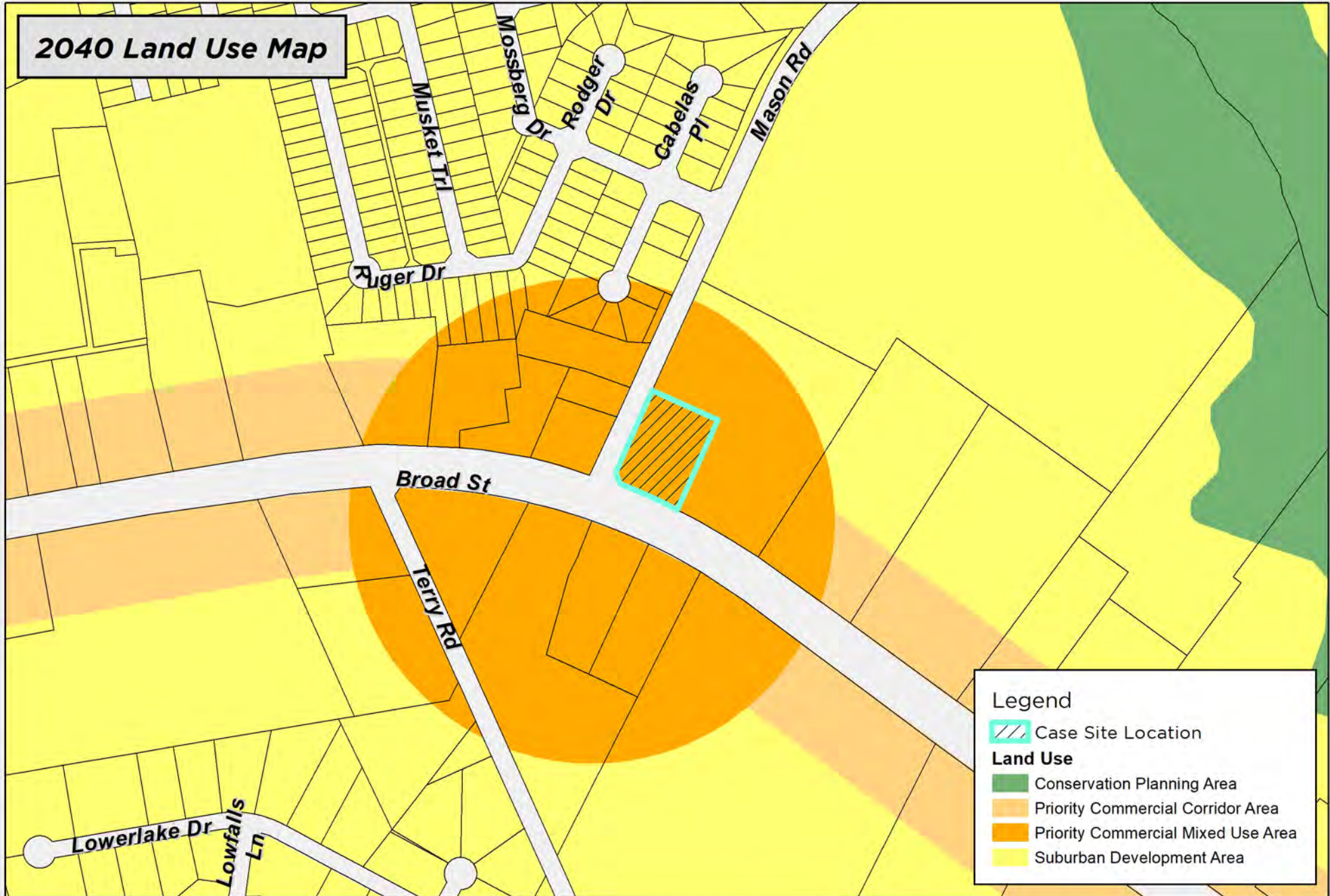


Map Prepared by: Sumter Planning Department  
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User Name: crobbins  
Document Name: MSP-25-51



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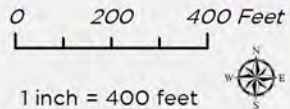
# 2040 Land Use Map



**Legend**

-  Case Site Location
- Land Use**
-  Conservation Planning Area
-  Priority Commercial Corridor Area
-  Priority Commercial Mixed Use Area
-  Suburban Development Area

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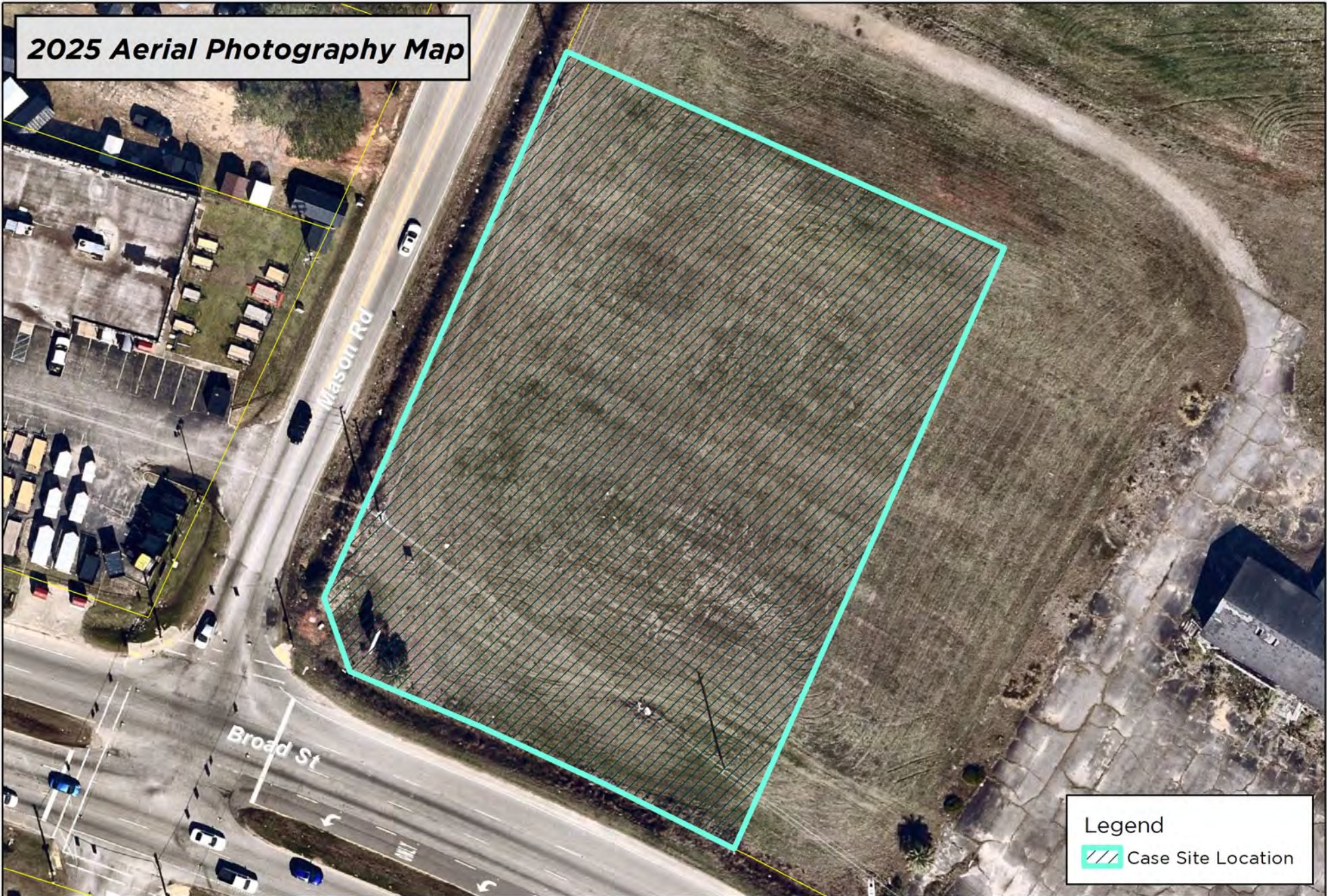


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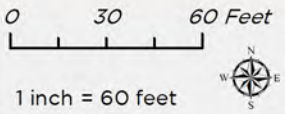
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# 2025 Aerial Photography Map



**Legend**  
Case Site Location

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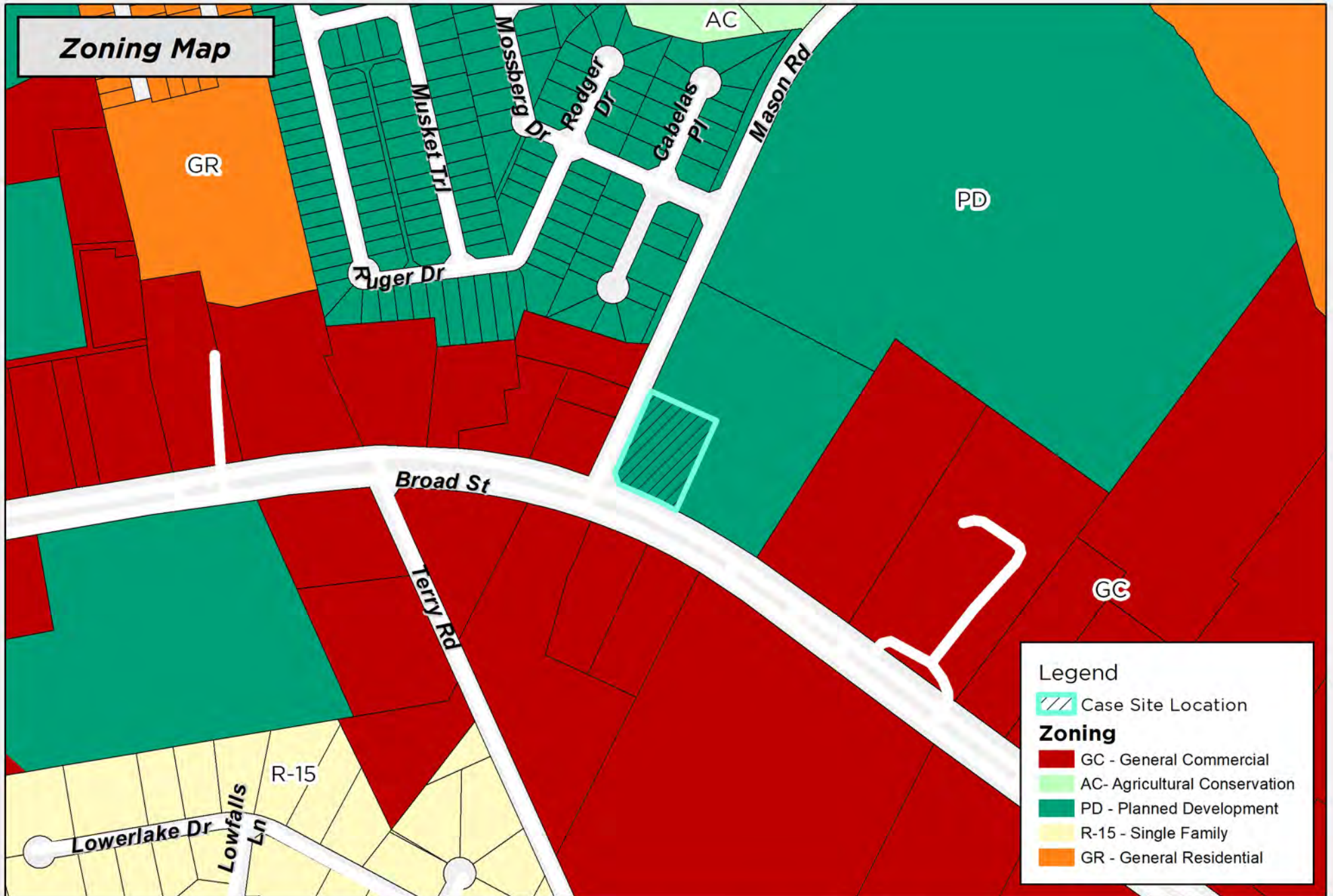


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# Zoning Map



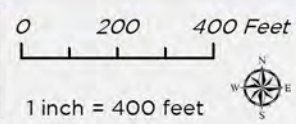
**Legend**

Case Site Location

**Zoning**

- GC - General Commercial
- AC- Agricultural Conservation
- PD - Planned Development
- R-15 - Single Family
- GR - General Residential

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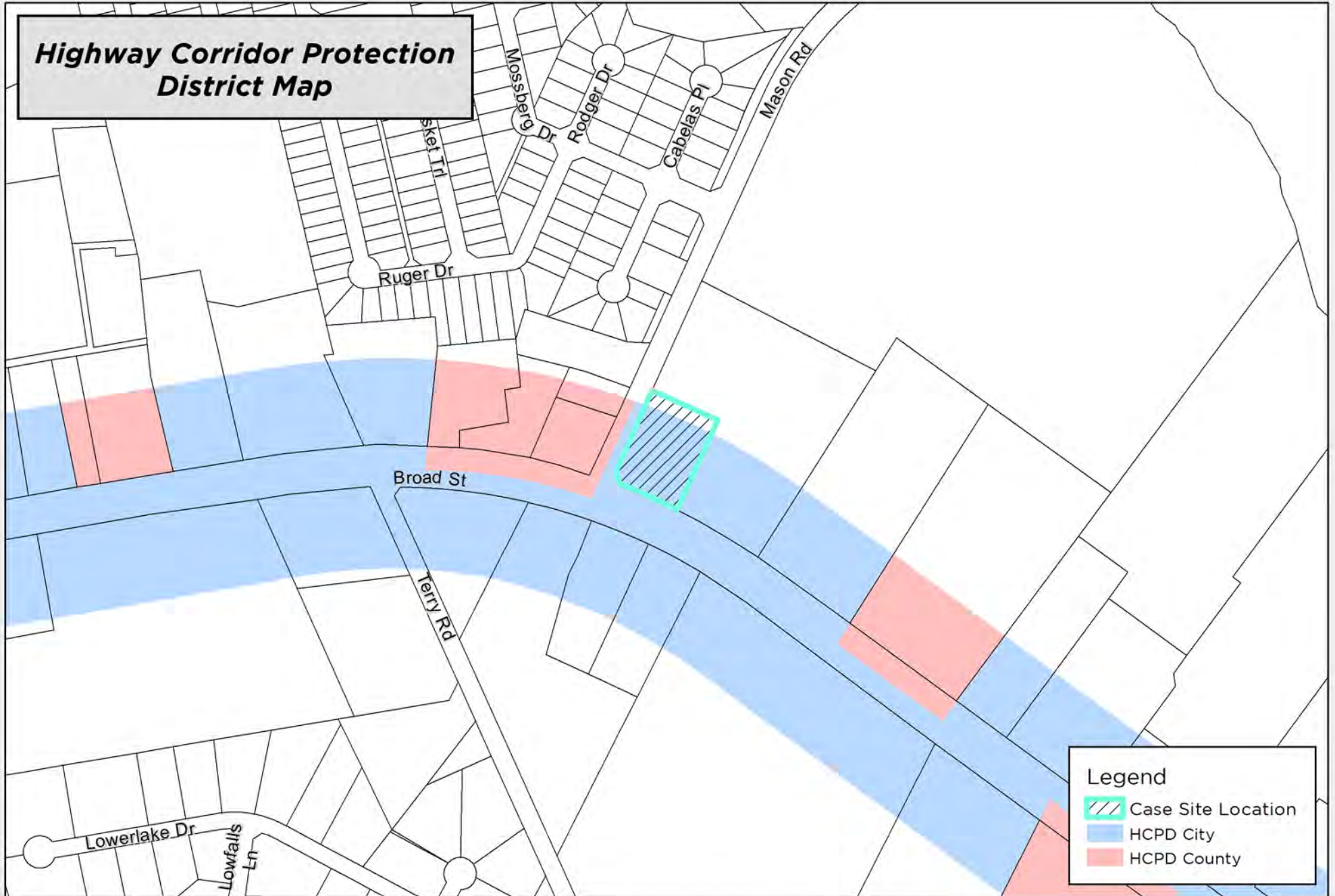


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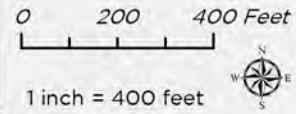
# Highway Corridor Protection District Map



**Legend**

- Case Site Location
- HCPD City
- HCPD County

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