

Sumter City-County Planning Commission

November 19, 2023

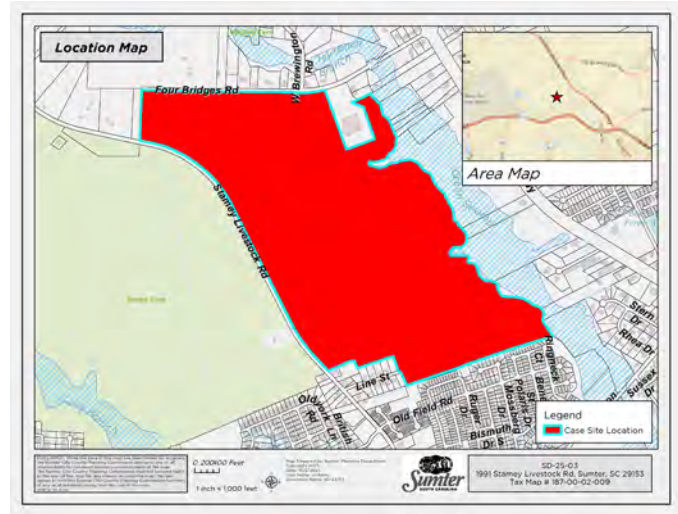
SD-25-03, 1991 Stamey Livestock Rd. – Triplecrown at The Village - (City)

I. THE REQUEST

Applicant:	Dunlap Properties, LP (John B. Hilton, III)
Status of the Applicant:	Property Owner
Request:	A request for preliminary subdivision approval to develop a 139-lot single-family residential subdivision consisting of 139 single-family detached units.
City Council Ward:	Ward 1
Location:	1991 Stamey Livestock Rd.
Size of Property:	47.15 acre portion of a +/- 369.36 acre tract
Present Use/Zoning:	Undeveloped / Residential-6 (R-6)
Proposed Use of Property:	139-unit single family residential subdivision
Tax Map Reference:	187-00-02-009 (part)
Adjacent Property Land Use and Zoning:	North: Residential & Agricultural / AC South: Residential / AC & PD East: Residential, Church, and Commercial / AC & PD West: Undeveloped / AC

II. BACKGROUND

The applicant is proposing to develop a 139-lot single-family residential subdivision on +/- 47.15 acres of land, comprised of 139 single-family detached lots. The property has frontage on Stamey Livestock Rd. and is shown in red on the map to the right. The proposed name of the development is Triplecrown at The Village, which is denoted as “Neighborhood F” in General Development Plan GDP-23-01. Proposed street names include Village Dr., Silvercharm Dr., Preakness Dr., Nativedancer Dr., and Triplecrown Dr.



The property is zoned Residential-6 (R-6) and is proposed to have full access onto Stamey Livestock Rd.

The development is part of the General Development Plan approved by the Planning Commission in March of 2023 (GDP-23-01), which contemplates a total of 991 units of residential development in 7 separate major subdivisions. A GDP is designed to permit the developer of a large-scale project to go before the Planning Commission with a description, but not full engineering details of a project, and secure formal approval of basic development parameters such as the total number of residential units. Once having secured approval, the developer proceeds with full engineering plans to be considered via the City’s major subdivision approval process. GDP approval is vested for a period of 5 years. The developer and any successor or future partner is bound to the approved GDP.

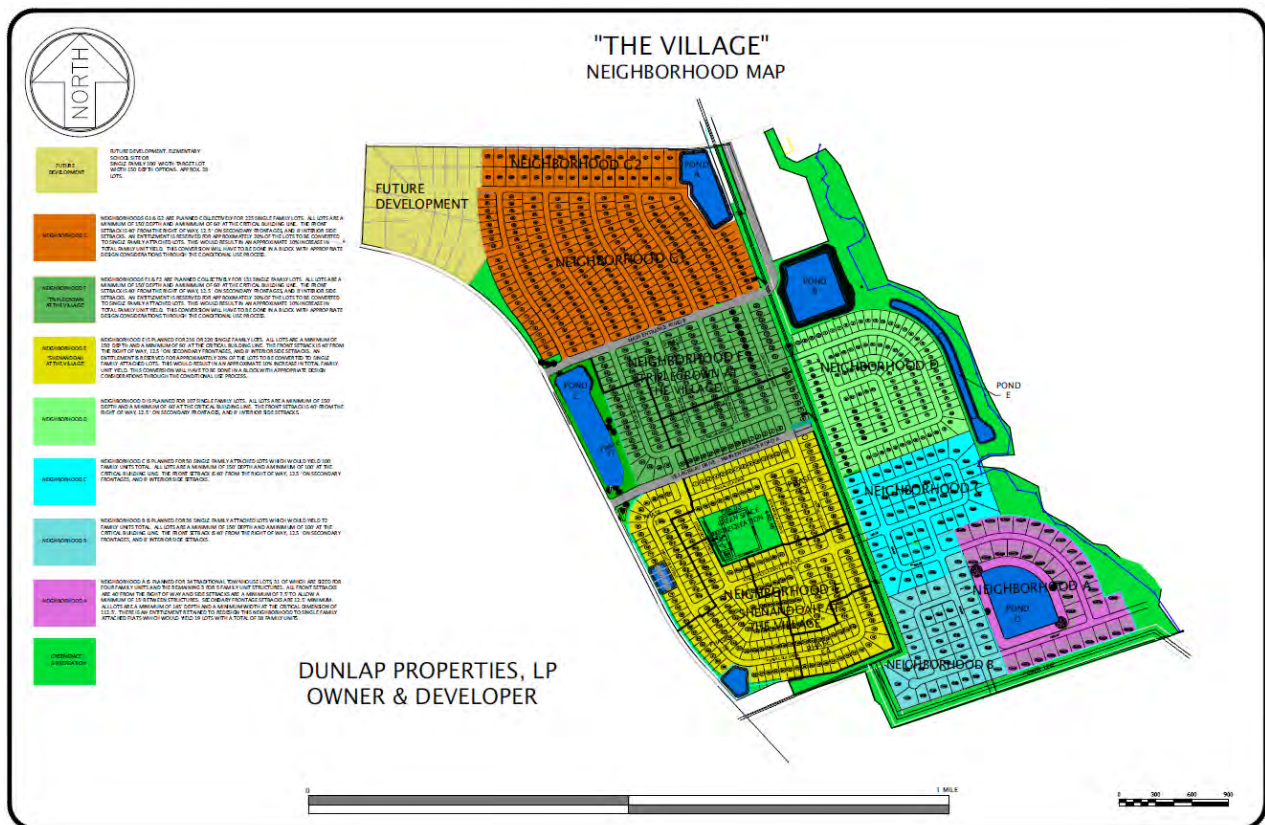


Figure 1 - "The Village" General Development Plan Map

Each proposed neighborhood in the development must align to the 7 neighborhoods as identified in the General Development Plan. Each neighborhood may have phasing for development of utilities, stormwater management, and associated infrastructure, but sub-phases cannot cross the boundaries of the neighborhoods.

The lot count for Triplecrown at The Village (“Neighborhood F”) as specified in the approved General Development Plan is 131. The submitted lot count is 139, which exceeds the approved total by 8 lots. The Planning Commission may approve the subdivision at the lot/unit count proposed, however, 8 units must be deducted from other neighborhood(s) in the development to maintain the maximum unit count of 991 for the entire GDP. Alternatively, the developer may

submit a GDP revision application, to be considered by the Planning Commission as an independent request.

III. PRELIMINARY PLAT REVIEW

Under *Article 7.d.5*, the approval of the preliminary plat constitutes approval of the subdivision as to its character, intensity of development, general layout, and the approximate dimensions of streets, lots and other planned features. This approval binds the developer to the general scheme of the subdivision and permits the developer to proceed with the installation of site improvements, subject to obtaining other necessary permits.

The following review is based upon the preliminary plan submission titled, “*The Village Subdivision, Triplecrown Phase F1*”, prepared by Michael E. Weatherly, P.E. Consulting Environmental and Civil Engineer, last revised November 6, 2025.

A copy of the submitted site plan is included with this report as Exhibit 3. The proposed development was reviewed against R-6 zoning district requirements for residential development in the R-6 district and all other standards applicable to the subdivision and development of land outlined in the *City of Sumter Zoning & Development Standards Ordinance* (the Ordinance).

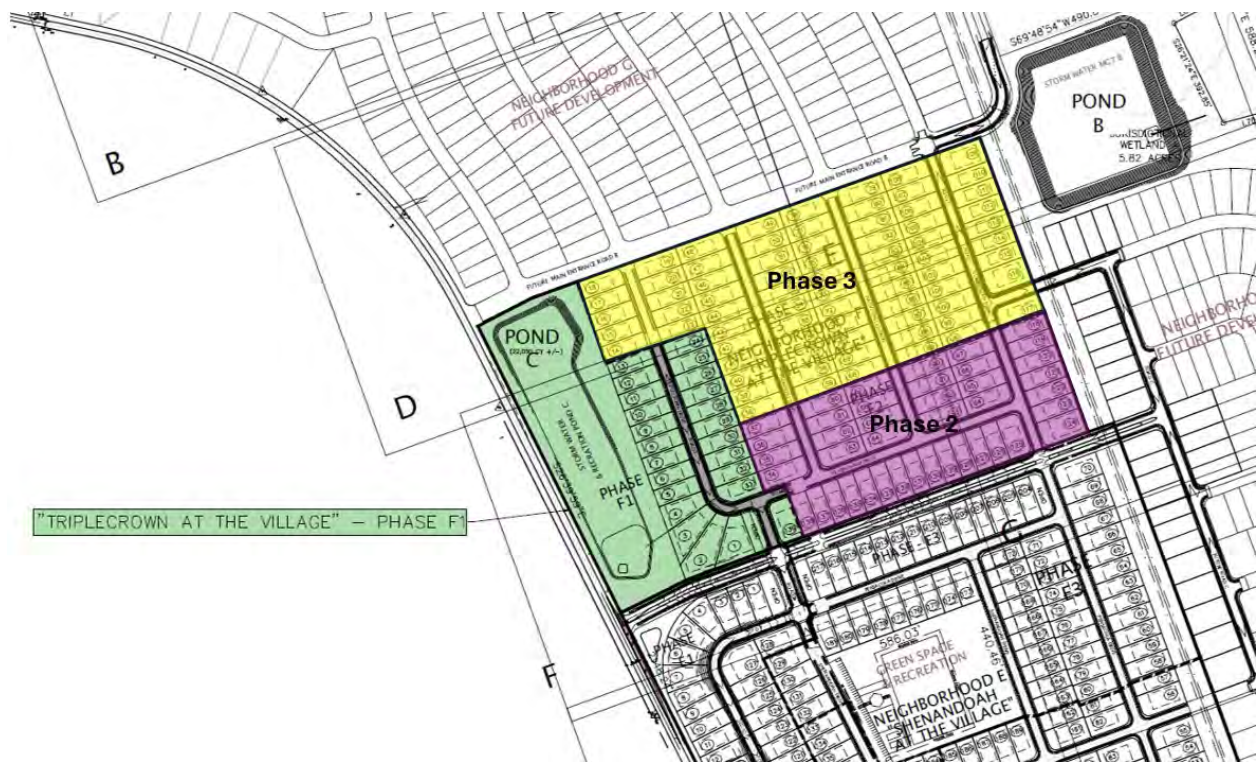


Figure 2 - Triplecrown at The Village Area Plan

Zoning District Requirements

Minimum development standards in the Residential-6 (R-6) zoning district for the single-family detached housing type are as follows:

Minimum Lot Area	Minimum Lot Width	Min. Building Setbacks	Max Impervious Surface Ratio	Maximum Building Height
6,000 sq. ft.	60 ft.	<i>Front – 40 ft. (per GDP approval) Exterior Side: 17.5 ft. Interior Side: 8 ft. Rear: 20 ft.</i>	45%	35 ft

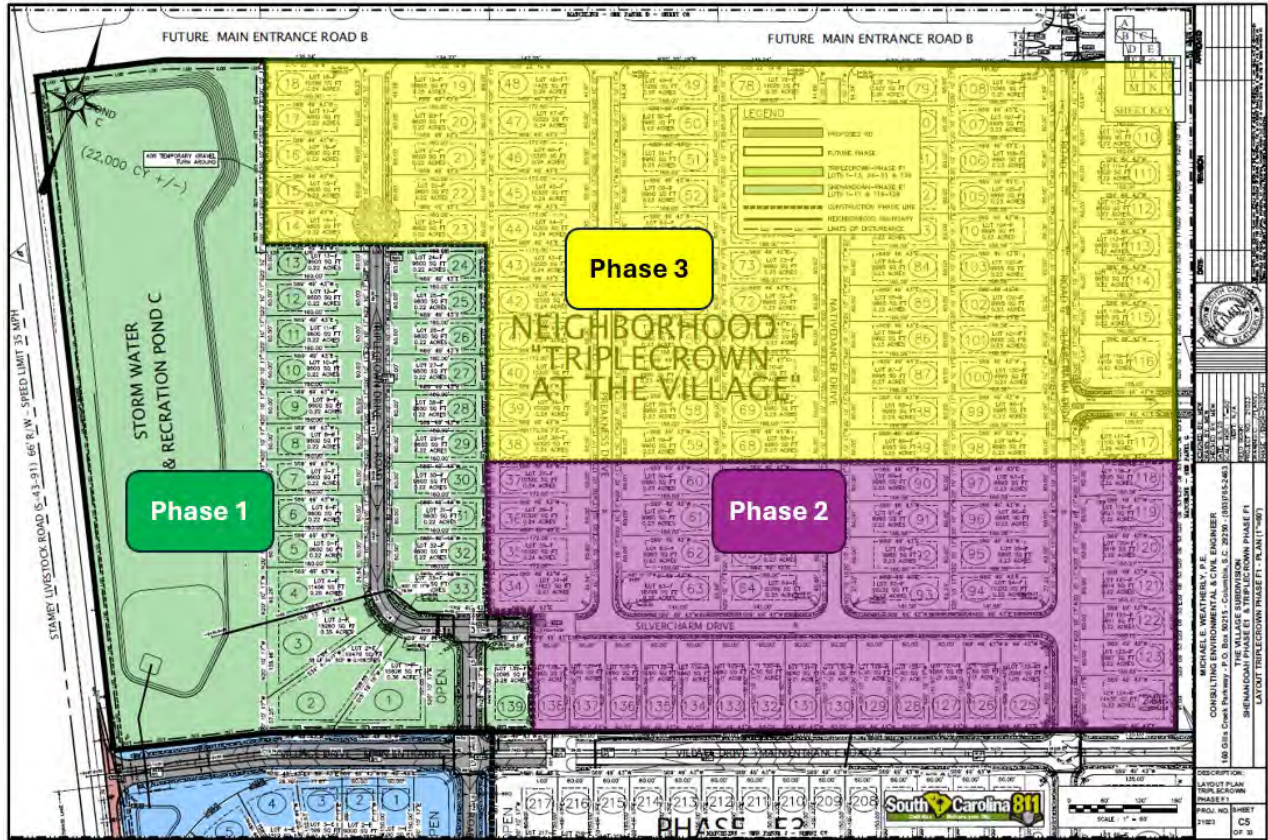
The proposed preliminary plan indicates that proposed single family detached lots range from 9,600 sq. ft. to 19,479 sq. ft. in size. Lot widths for all single-family detached lots as shown on the plan have a width of at least 60 ft.

Each street is considered “local high intensity” per the street standards outlined *Article 8* of the Ordinance. Streets will not have on-street parking, will have a 25 ft. roadway width (measured from back of curb to back of curb, and 50 ft. total right-of-way (ROW) area. Sidewalks will be installed on both sides of each street. The street and sidewalk plans meet the minimum requirements of the Ordinance. Full engineering review of the street plans will be conducted by the Engineering Department prior to approval to proceed with construction.

Phasing Plan

The Triplecrown at The Village subdivision is proposed to be developed in 3 phases. Phase 1 consists of 24 lots on a portion of Triplecrown Dr. Phase 2 consists of 41 lots on portions of Silvercharm Dr., Preakness Dr., and Nativedancer Dr., and Phase 3 consists of 74 lots on portions of Triplecrown Dr., Preakness Dr., Nativedancer Dr., and Silvercharm Dr.

A staff recommended condition of approval is that prior to final plat approval for any lots in Phase 2 of the subdivision, secondary vehicle access supporting at least the needs of emergency services must be established. Prior to final plat approval for any lots in Phase 3, the planned main entrance road B as shown on the plat must be installed to provide secondary access to the subdivision.



Above: Subdivision Layout Graphic with Phasing

Tree Protection, Buffering, Landscaping, & Open Space Plans:

The existing site for the proposed Triplecrown at The Village subdivision is primarily open, with no significant or historic trees present. Street and stormwater landscape buffer areas have been identified on submitted plans. However, detailed landscaping plans for phases 2 and 3 have not been submitted at this time. Submission and staff approval of these plans is required prior to final plat approval for each subsequent phase.

1 street canopy tree, 2 inch caliper and 7 ft. in height, is required for each unit/lot. Dwellings must also have sodded front yards. These items must be complete prior to certificate of occupancy issuance for each unit/lot. Additionally, grading and sodding of the identified community mailbox area (at least 15 ft back from edge of pavement) is included as a proposed condition of approval.

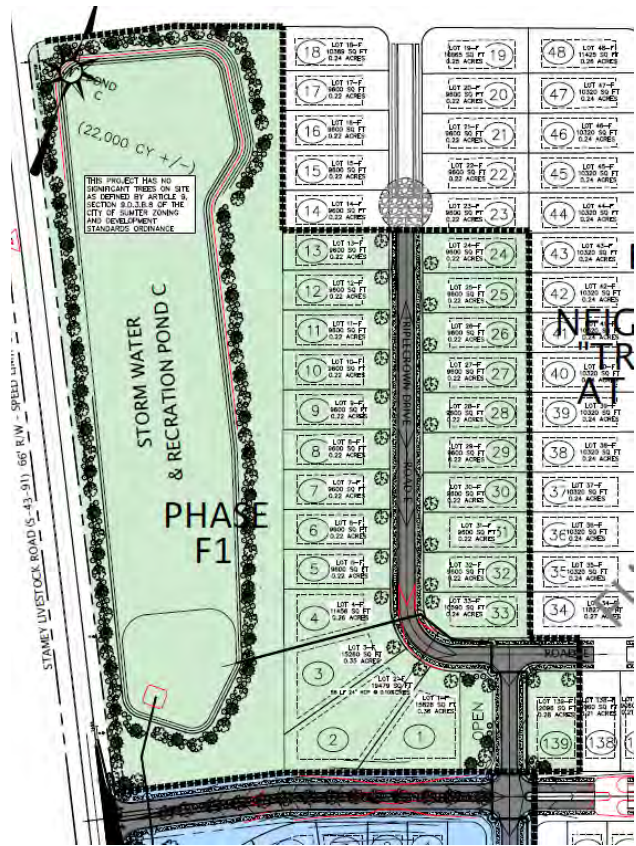





Figure 3 - Triplecrown at The Village, Phase 1 Landscaping Plan and Planting Schedule

LANDSCAPE LEGEND (TRIPLECROWN PHASE F1)

SYMBOL	PROPOSED # OF PLANTS	TYPE (TYP.)	PLANTING CALIPER	HEIGHT OF PLANTING
	CANOPY TREES (97)	OAK TREES	2"	7'
	UNDERSTORY EVERGREEN (49)	SWEET BAY MAGNOLIA PINE	2"	7'
	SHRUBS (488)	BURFORD HOLLY RUBY LOROPETALUM OAKLAND HOLLY	3 GALLON	3'

Environmental:

The subject property is within a Zone X area as shown on FEMA FIRM Panel 45085C0281F with an Effective Date of October 27, 2022.

National Wetland Inventory (NWI) mapping data indicates that some possible small areas of wetland exist along the property’s western boundary.

Stormwater Management Plan:

The stormwater management plan for this subdivision shows 1 stormwater detention pond along the development’s westernmost extent, adjacent to Stamey Livestock Rd. Stormwater from the development will be collected via inlet and piped to the detention facility. The stormwater pond is proposed to be sized at 22,000 cubic yards of capacity.

Ownership of all on-site stormwater management areas are to be conveyed to a Homeowners Association (HOA) with maintenance responsibilities addressed in the development’s restrictive covenants.

Stormwater approval must be granted by the City of Sumter Stormwater Utility prior to issuance of any construction or land disturbance permits. NPDES Coverage certification from SCDHEC must also be granted prior to issuance of any construction or land disturbance permits. Stormwater calculations will also be reviewed as part of the SCDOT encroachment permit.

Public Safety:

Fire Protection – There are no major concerns. The applicant should be aware of required hydrant spacing and plan water utilities appropriately.

IV. UTILITIES

Utility plans are not required for preliminary plat approval; however, the applicant has indicated the following:

Sewer & Water – The subdivision will be served by the City of Sumter.

Note: Preliminary plat approval does not constitute approval from the city to serve the development with water and sewer. Water and sewer permits to construct must be obtained prior to land disturbance permit approval for this project.

Electric – Black River Electric Cooperative.

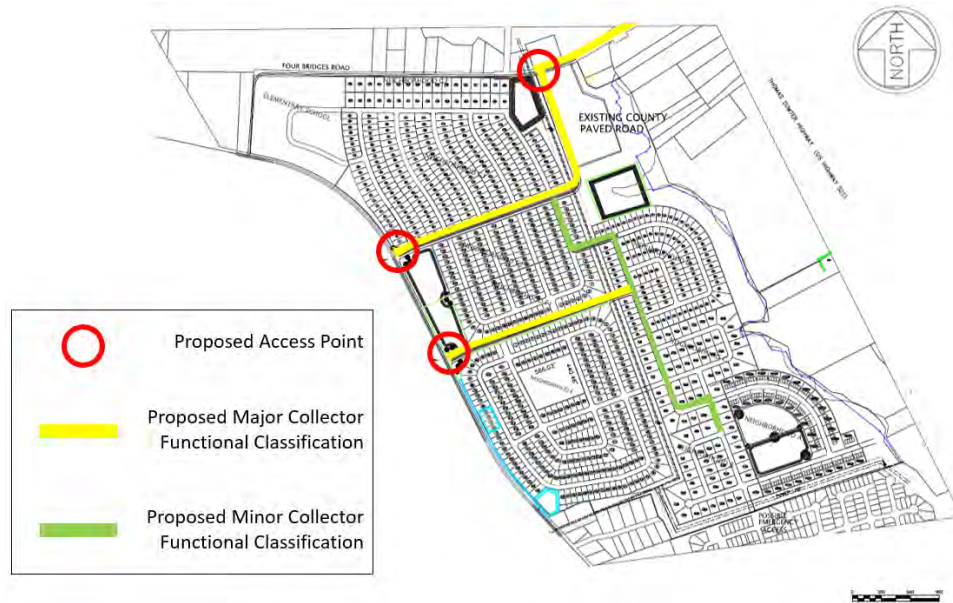
Telephone/Internet - FTC

V. TRANSPORTATION REVIEW

The proposed subdivision site has frontage on Stamey Livestock Rd, with the parent tract also having frontage on Four Bridges Rd. Both are SCDOT owned and maintained roadways in the locations where the development proposes to establish access. Stamey Livestock Rd. is a 2-lane minor arterial road at the property. Four Bridges Rd. is a two-lane local access road at the property. The latest available traffic count data collected from Count Station# 43-0449 indicates that there are 4,000 annual average daily trips (AADT) on Stamey Livestock Rd. near the property. There are no counts available for Four Bridges Rd.

Submitted plans show that one access to the Triplecrown subdivision is proposed onto Stamey Livestock Rd., via the proposed Village Dr. These improvements must be reviewed and approved by SCDOT. A staff recommended condition of approval is that prior to final plat approval for any lots in Phase 2 of the subdivision, secondary vehicle access supporting at least the needs of emergency services must be established. Prior to final plat approval for any lots in Phase 3, the planned future main entrance road B as indicated on the plat be installed to provide secondary access to the subdivision.

The scope and scale of the proposed development requires functional classification of certain streets as major and minor collector facilities, as noted on the diagram below. Each of the proposed neighborhoods is accessed by either a major or minor collector street, while all other streets in the development are expected to function as local access roadways. For the Triplecrown subdivision, this means that Village Drive will be a major collector, a portion of Silvercharm Dr. will be a minor collector (segment serving lots 99-116), and the remaining streets in the subdivision will be local access streets.



The threshold requirements for the submission of a Traffic Impact Study (TIS) vary by use type. A TIS was submitted and evaluated with the GDP approval in 2023. All mitigation identified in the TIS and required either by SCDOT policy or based on the standards set forth in *Article 7.d.10* of the Ordinance must be completed as determined in the TIS and/or each neighborhood’s major subdivision approval.

VI. TECHNICAL REVIEW

The Sumter Technical Review Committee (TRC) members have reviewed the submitted plans electronically. The technical review items identified in *Exhibit 2* must be addressed:

VII. STAFF RECOMMENDATION

Staff recommends approval of this request, subject to the “Conditions of Approval” attached to the staff report as *Exhibit 1* and based on successful completion of the “Outstanding Technical Review Items” attached to the staff report as *Exhibit 2*.

VIII. DRAFT MOTIONS

- 1) I move that the Planning Commission **approve** SD-25-03 as proposed via the preliminary plan submission titled, “*The Village Subdivision, Triplecrown Phase F1*”, prepared by Michael E. Weatherly, P.E. Consulting Environmental and Civil Engineer, last revised November 6, 2025, subject to the approval conditions outlined in *Exhibit 1* and successful completion of the Outstanding Technical Review Items outlined in *Exhibit 2*.
- 2) I move that the Planning Commission **deny** SD-25-03.
- 3) I move an alternate motion.

IX. PLANNING COMMISSION – NOVEMBER 19, 2025

Exhibit 1:
SD-25-03, 1991 Stamey Livestock Rd. – Triplecrown at The Village Subdivision
(City)
Proposed Conditions of Approval

1. The subdivision shall be developed in substantial conformance with the preliminary plans titled, “*The Village Subdivision, Triplecrown Phase F1*”, prepared by Michael E. Weatherly, P.E. Consulting Environmental and Civil Engineer, last revised November 6, 2025.

Under *Article 7.d.5*, the approval of the preliminary plat constitutes approval of the subdivision as to its character, intensity of development, general layout, and the approximate dimensions of streets, lots and other planned features. This approval binds the developer to the general scheme of the subdivision and permits the developer to proceed with the installation of site improvements, subject to obtaining other necessary permits.

2. Prior to issuance of land disturbance permit(s), the following items must be addressed:
 - a. One copy of full civil engineered development plans for the subdivision, showing the latest revision date, with all outstanding technical review issues resolved, must be submitted to the Sumter City-County Planning Department.
 - b. Stormwater permit approval and NPDES Coverage Letter from the City Stormwater Utility must be obtained and forwarded to the Sumter City-County Planning Department.
 - c. Water/Sewer SCDES Permits to Construct must be issued and copies forwarded to the Sumter Planning Department for all lots within the affected section of development.
3. Final plat approval is contingent upon the following:

Road Infrastructure:

- a. Installation and acceptance of roadway by the City of Sumter for each section of development (in its entirety) is required prior to final plat approval for any new lots in each section, respectively.
- b. Prior to final plat approval for any portion of Phase 2, secondary vehicle access supporting the needs of emergency services must be established.
- c. Prior to final plat approval for any portion of Phase 3, Main Entrance Road B as shown on the plat must be installed to provide secondary access to the subdivision.
- d. Copy of approved SCDOT Encroachment Permit must be forwarded to the Sumter Planning Department.

Water/Sewer Utility Infrastructure:

- e. Acceptance of water/sewer infrastructure by the City of Sumter for each section of development (in its entirety) is also required prior to final plat approval for any new lots in each section, respectively.

Stormwater Detention Area Ownership & Maintenance:

- f. Final executed Conditions, Covenants and Restrictions (CCR) documentation detailing stormwater pond maintenance responsibilities and ownership shall be

provided to the Planning Department prior to issuance of the 1st Certificate of Occupancy.

- g. Ownership of all stormwater management ponds shall be conveyed to the Homeowners Association prior to final plat approval for the 100th lot in the development.
- h. Recorded easements for any proposed off-site construction to be provided by the applicant prior to final plat approval for each phase of the development, if applicable.

Landscaping

- i. *Stormwater Pond Buffer* – All required stormwater pond buffering must be complete and pass zoning inspection prior to final plat approval for any lot in the subdivision.
- j. *Street Buffer* – All required street buffer landscaping along Stamey Livestock Rd. must be complete and pass zoning inspection prior to final plat approval for any lot in the subdivision.

- 4. Prior to issuance of building permit(s), the following must be received by the Planning Department:
 - a. Water/Sewer SCDES Permits to Operate for all lots within the affected section of development.
 - b. Community mailbox clusters (minimum of 15 ft, back from edge of pavement) must be installed with sites graded and sodded prior to building permit approval for any lot served by that mailbox cluster.
- 5. Prior to issuance of Certificate of Occupancy (C.O) for any individual lot, the following must be completed:
 - a. One canopy tree, 2 inches in caliper and 7 feet in height at time of planting, in the front yard of every lot must be installed.
 - b. All individual residential lot front and side yards must be sodded.
- 5. Timeline for Sidewalk Installation:
 - a. Sidewalks shall be installed at time of construction for each unit. Final Certificate of Occupancy shall not be granted on any lot where a sidewalk is required but has not been installed.
 - b. All sidewalks on common area property must be installed prior to final plat approval for any subsequent phase.

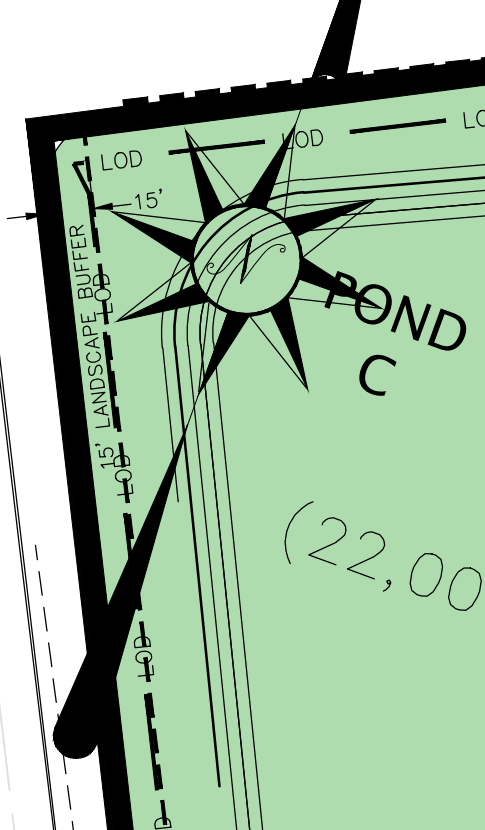
Exhibit 2:
SD-25-03, 1991 Stamey Livestock Rd. – Triplecrown at The Village Subdivision
(City)
Outstanding Technical Review Items

The following technical review issues must be resolved as a condition of approval and prior to approval of any land disturbance activity on the property.

1. Provide planned subdivision entrance signage, both location of sign(s) and style of sign(s)
2. Submission of stormwater pond details, including total facility size for proposed pond.
3. Revise plans to show installation of minimum emergency services secondary access prior to Phase 2, and full construction of Main Entrance Road B prior to Phase 3.
4. Revise plans to show extension of water line on Stamey Livestock Rd. to the north side of Village Drive, or confirmation from Sumter Public Services that proposed water line installation plans are sufficient.
5. Provide copy of SCDOT encroachment plans detailing all proposed work within Stamey Livestock Rd. right-of-way.

A	B	C
D	E	F
G	H	I
J	K	L
M	N	O

SHEET KEY



STAMEY LIVESTOCK ROAD (S-43-91) 66' R/W - SPEED LIMIT 35 MPH

STORM WATER & RECREATION POND C

PHASE F1

PHASE F3 NEIGHBORHOOD F "TRIPLECROWN AT THE VILLAGE"

PHASE F2

SILVERCHARM DRIVE

VILLAGE DRIVE MAIN ENTRANCE

VILLAGE DRIVE MAIN ENTRANCE ROAD A

PHASE F2

LEGEND

- PROPOSED RD
- FUTURE PHASE
- TRIPLECROWN-PHASE F1 LOTS: 1-13, 24-33 & 139
- SHENANDOAH-PHASE E1 LOTS: 1-17 & 115-128
- CONSTRUCTION PHASE LINE
- NEIGHBORHOOD BOUNDARY
- LIMITS OF DISTURBANCE

APPROVED

REVISION

DATE

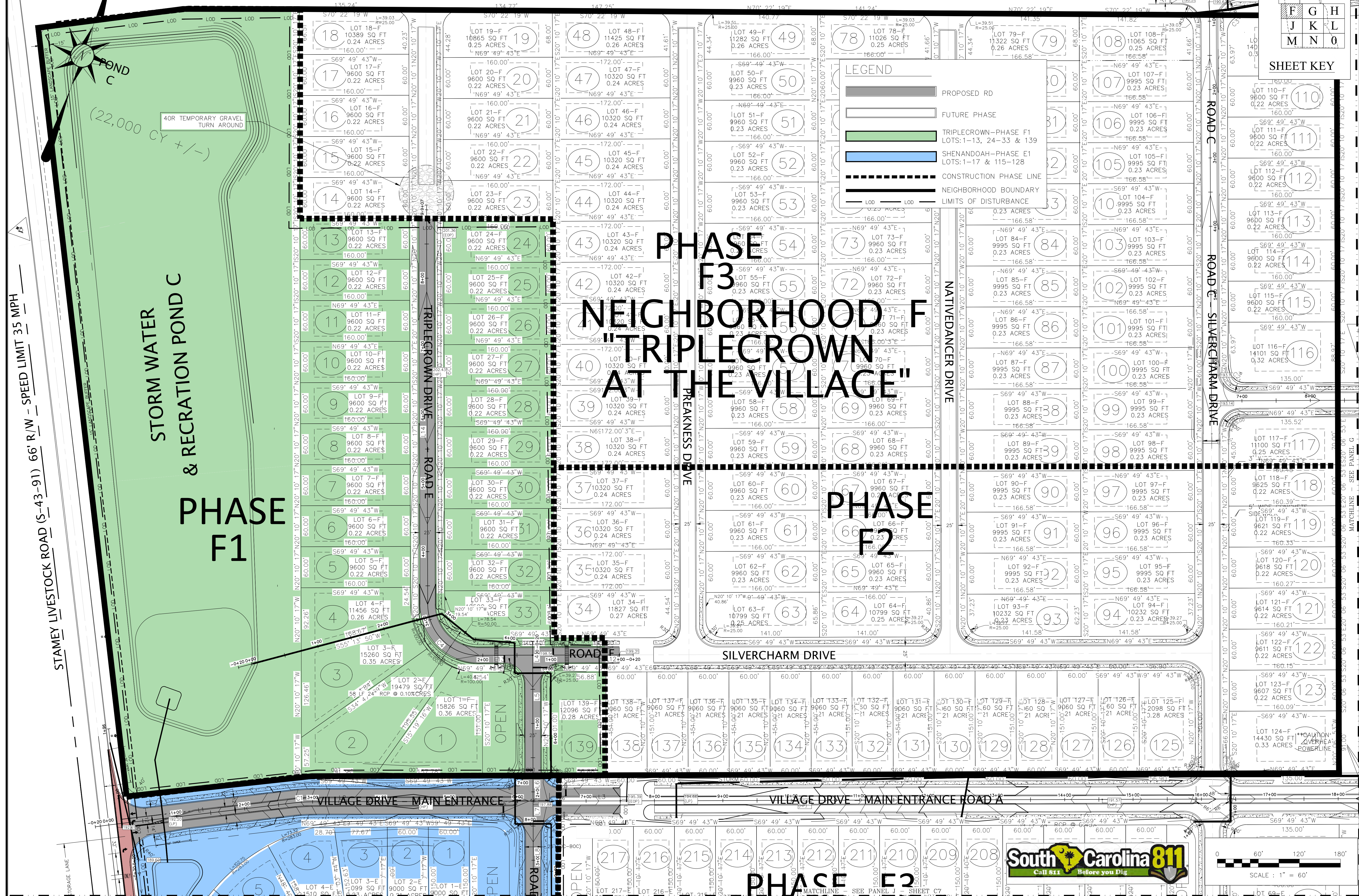
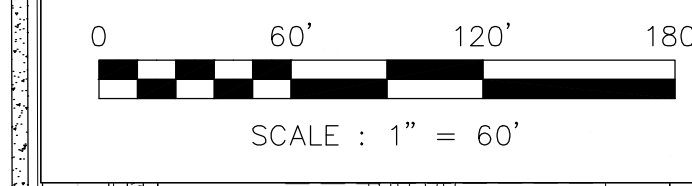
DESIGNED BY: MEW
DRAWN BY: MEW
CHECKED BY: MEW
DATE: 9.5.25
SCALE: HOR: 1"=60'
VERT: N/A

FIELD BOOK: /
PROJECT NO.: 21023
DRAWING NO.: PLANS/
PHASE: /ENGR-21023-H

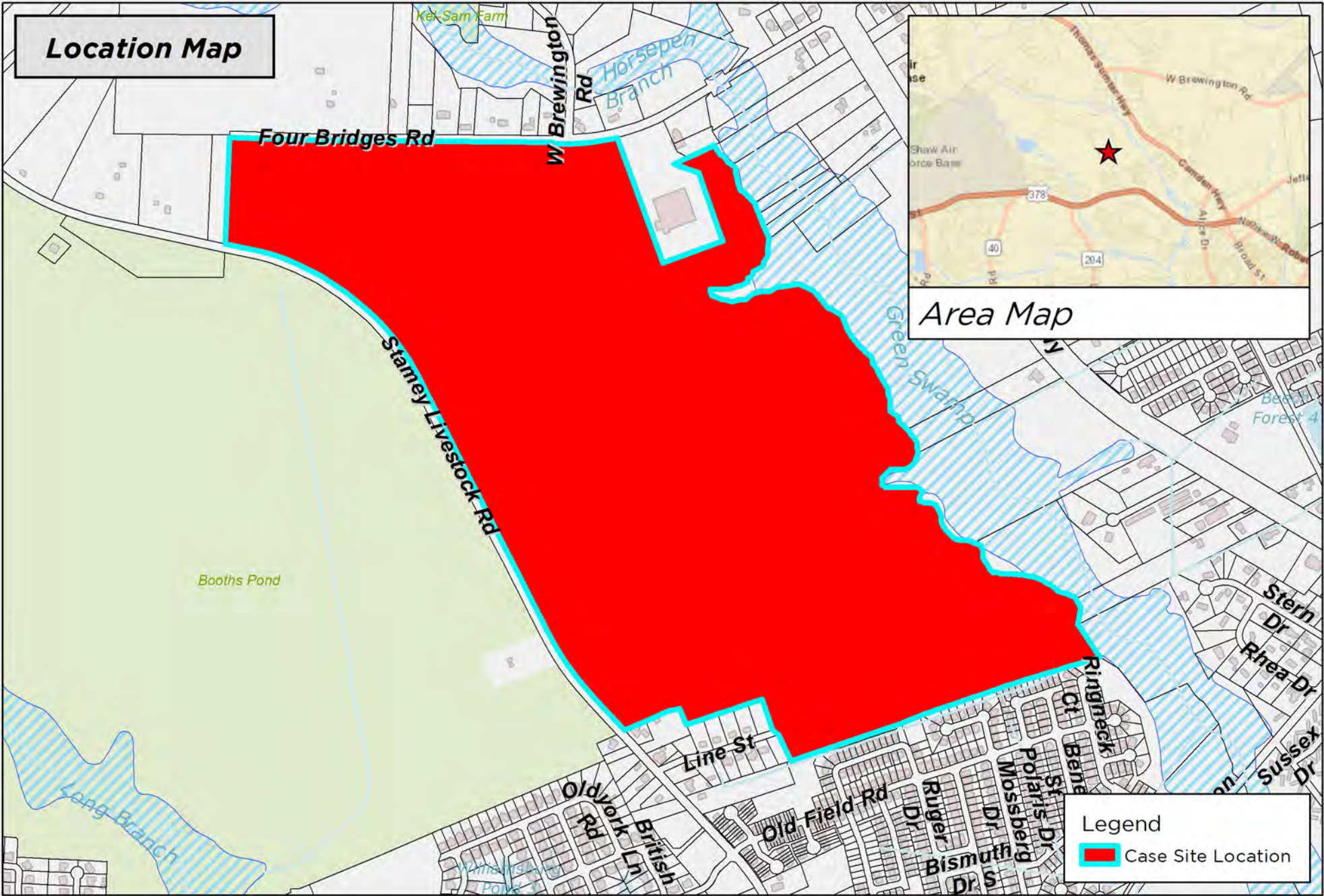
MICHAEL E. WEATHERLY, P.E.
CONSULTING ENVIRONMENTAL & CIVIL ENGINEER
160 Gills Creek Parkway - P.O. Box 50215 - Columbia, S.C. 29250 - (803)765-2463

THE VILLAGE SUBDIVISION
SHENANDOAH PHASE E1 & TRIPLECROWN PHASE F1
LAYOUT TRIPLECROWN PHASE F1 - PLAN (1"=60')

DESCRIPTION:
LAYOUT PLAN TRIPLECROWN PHASE F1
PROJ. NO. SHEET
21023 C5
OF 33



Location Map




Area Map

Legend

Case Site Location

DISCLAIMER: While the data of this map has been tested for accuracy, the Sumter-City County Planning Commission disclaims any or all responsibility for the exact accuracy or correctness of the map. The Sumter-City-County Planning Commission shall not become liable to the user of this map for any reason. In using this map, the user agrees to hold the Sumter-City-County Planning Commission harmless of any or all liabilities arising from the use of this map and/or its data.

0 200/100 Feet

 1 inch = 1,000 feet

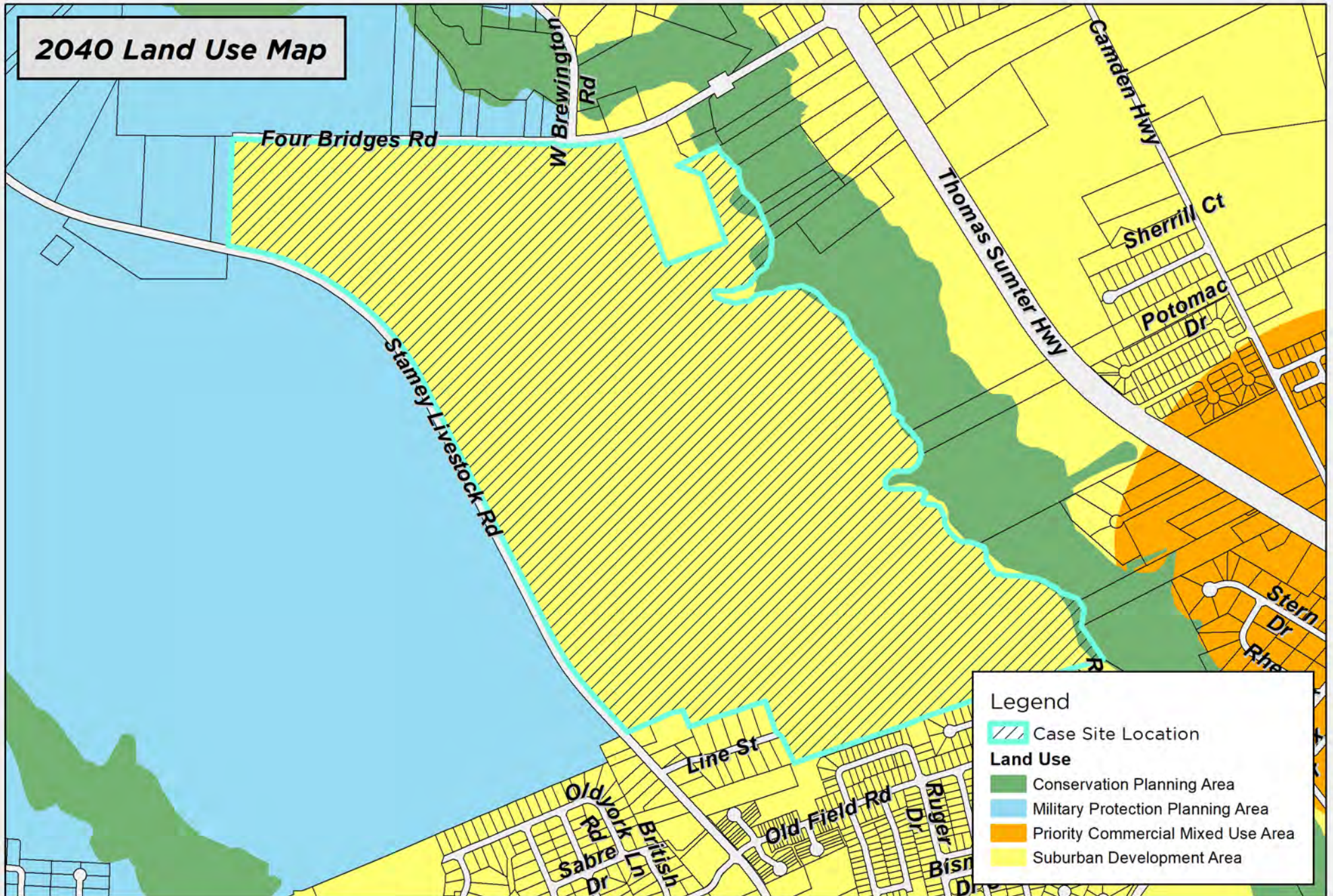


Map Prepared by: Sumter Planning Department
 Copyright 2025
 Date: 10/3/2025
 User Name: crobbins
 Document Name: SD-25-03






SD-25-03
 1991 Stamey Livestock Rd, Sumter, SC 29153
 Tax Map # 187-00-02-009

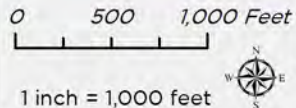
2040 Land Use Map



Legend

-  Case Site Location
- Land Use**
-  Conservation Planning Area
-  Military Protection Planning Area
-  Priority Commercial Mixed Use Area
-  Suburban Development Area

DISCLAIMER: While the data of this map has been tested for accuracy, the Sumter-City County Planning Commission disclaims any or all responsibility for the exact accuracy or correctness of the map. The Sumter-City-County Planning Commission shall not become liable to the user of this map for any reason. In using this map, the user agrees to hold the Sumter-City-County Planning Commission harmless of any or all liabilities arising from the use of this map and/or its data.

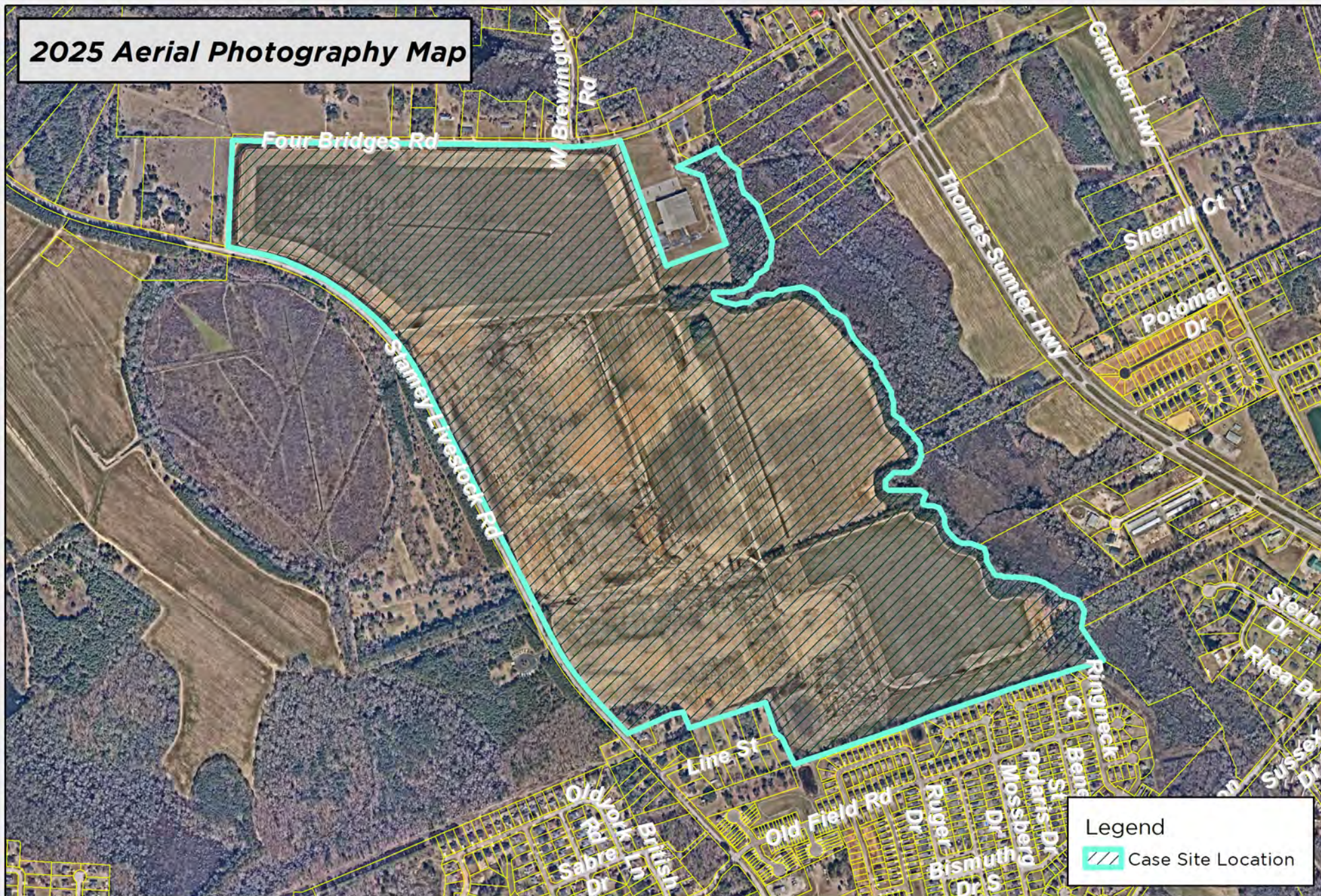


Map Prepared by: Sumter Planning Department
 Copyright 2025
 Date: 10/3/2025
 User Name: crobbins
 Document Name: SD-25-03

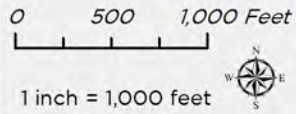


SD-25-03
 1991 Stamey Livestock Rd, Sumter, SC 29153
 Tax Map # 187-00-02-009

2025 Aerial Photography Map



DISCLAIMER: While the data of this map has been tested for accuracy, the Sumter City-County Planning Commission disclaims any or all responsibility for the exact accuracy or correctness of the map. The Sumter City-County Planning Commission shall not become liable to the user of this map for any reason. In using this map, the user agrees to hold the Sumter City-County Planning Commission harmless of any or all liabilities arising from the use of this map and/or its data.

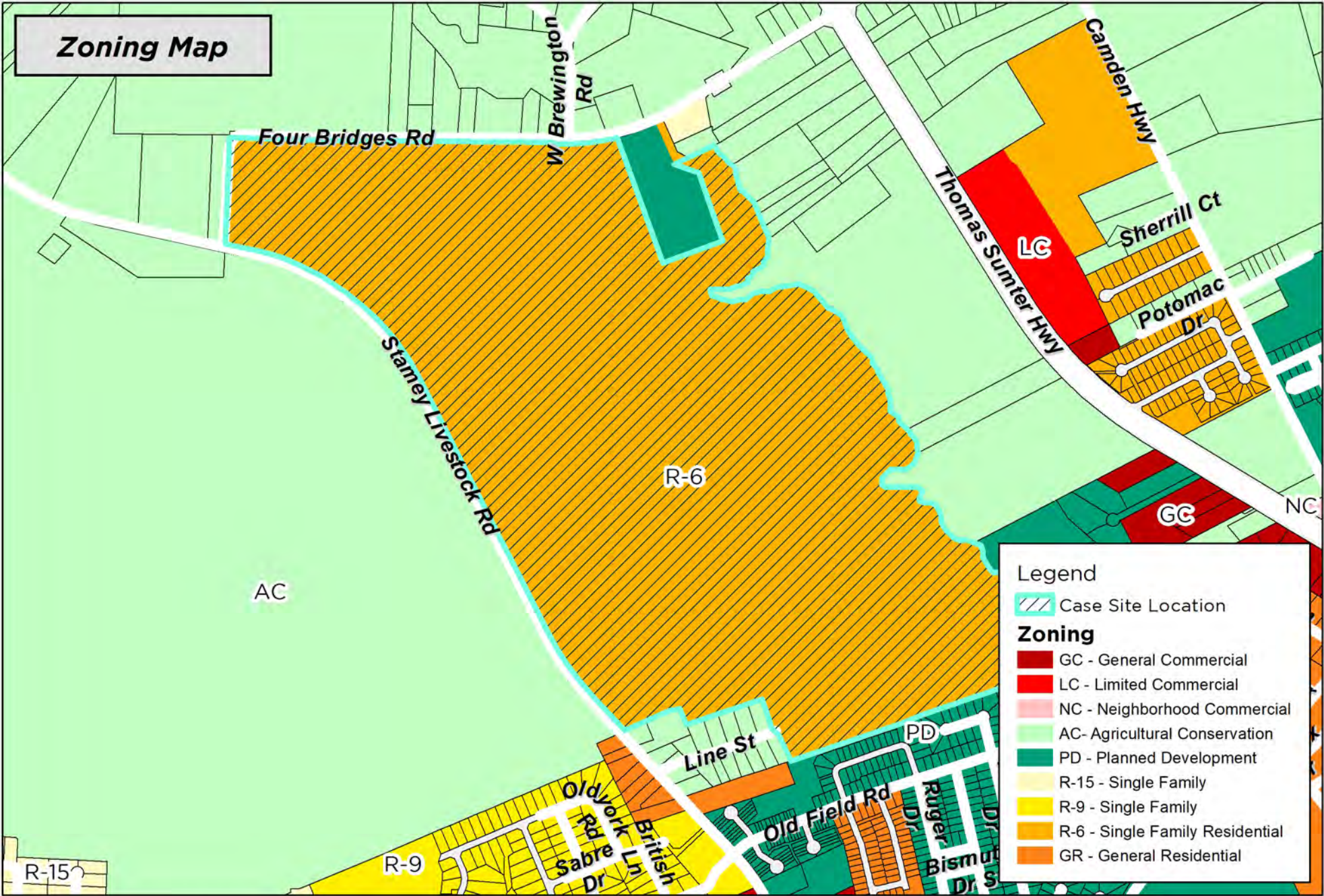


Map Prepared by: Sumter Planning Department
 Copyright 2025
 Date: 10/3/2025
 User Name: crobbins
 Document Name: SD-25-03



SD-25-03
 1991 Stamey Livestock Rd, Sumter, SC 29153
 Tax Map # 187-00-02-009

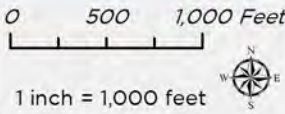
Zoning Map



Legend

- Case Site Location
- Zoning**
- GC - General Commercial
- LC - Limited Commercial
- NC - Neighborhood Commercial
- AC- Agricultural Conservation
- PD - Planned Development
- R-15 - Single Family
- R-9 - Single Family
- R-6 - Single Family Residential
- GR - General Residential

DISCLAIMER: While the data of this map has been tested for accuracy, the Sumter-City County Planning Commission disclaims any or all responsibility for the exact accuracy or correctness of the map. The Sumter-City-County Planning Commission shall not become liable to the user of this map for any reason. In using this map, the user agrees to hold the Sumter-City-County Planning Commission harmless of any or all liabilities arising from the use of this map and/or its data.

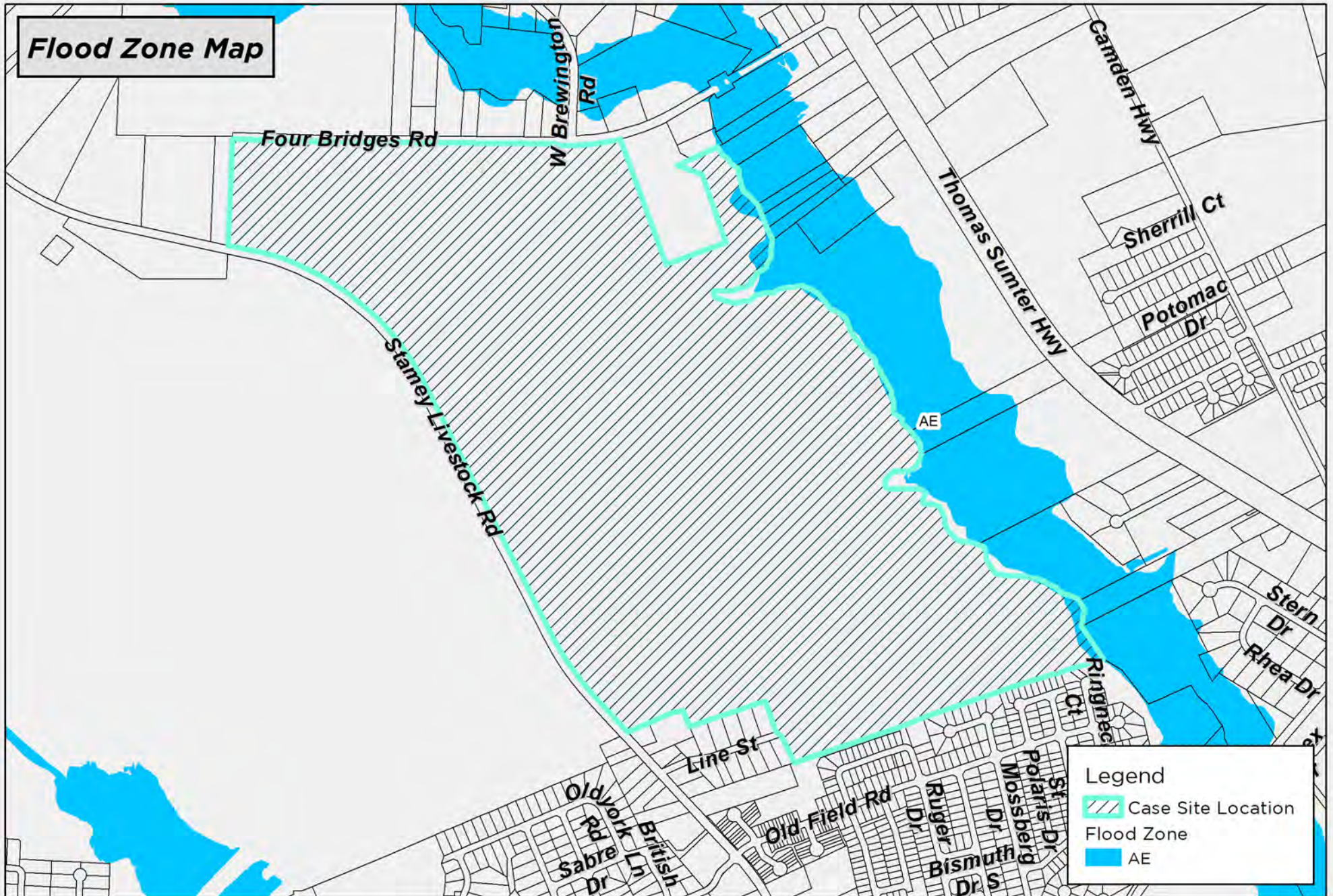


Map Prepared by: Sumter Planning Department
 Copyright 2025
 Date: 10/3/2025
 User Name: crobbins
 Document Name: SD-25-03



SD-25-03
 1991 Stamey Livestock Rd, Sumter, SC 29153
 Tax Map # 187-00-02-009

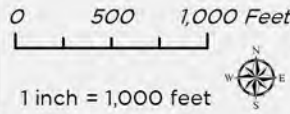
Flood Zone Map



Legend

- Case Site Location
- Flood Zone
- AE

DISCLAIMER: While the data of this map has been tested for accuracy, the Sumter-City County Planning Commission disclaims any or all responsibility for the exact accuracy or correctness of the map. The Sumter-City-County Planning Commission shall not become liable to the user of this map for any reason. In using this map, the user agrees to hold the Sumter-City-County Planning Commission harmless of any or all liabilities arising from the use of this map and/or its data.



Map Prepared by: Sumter Planning Department
 Copyright 2025
 Date: 10/3/2025
 User Name: crobbins
 Document Name: SD-25-03



SD-25-03
 1991 Stamey Livestock Rd, Sumter, SC 29153
 Tax Map # 187-00-02-009