

# Sumter City-County Planning Commission

November 19, 2025

## MSP-25-55/HCPD-25-36 – 535 Brushwood Dr. (City)

### I. THE REQUEST

**Applicant:** Joy Crowder

**Status of the Applicant:** Property Owner

**Request:** Request for Major Site Plan and Highway Corridor Protection District Design Review approval for 2 phases of development resulting in the establishment of a +/- 800 sq. ft. food/dining facility and associated site infrastructure.

**Ward** Ward 5

**Location:** 535 Brushwood Dr.

**Size of Development:** +/- 0.55-acres

**Present Use/Zoning:** Undeveloped/ Planned Development (PD)

**Proposed Use of Property:** Phase 1(Food Pick-Up Location) – Phase 2 (Food/Dining Facility)

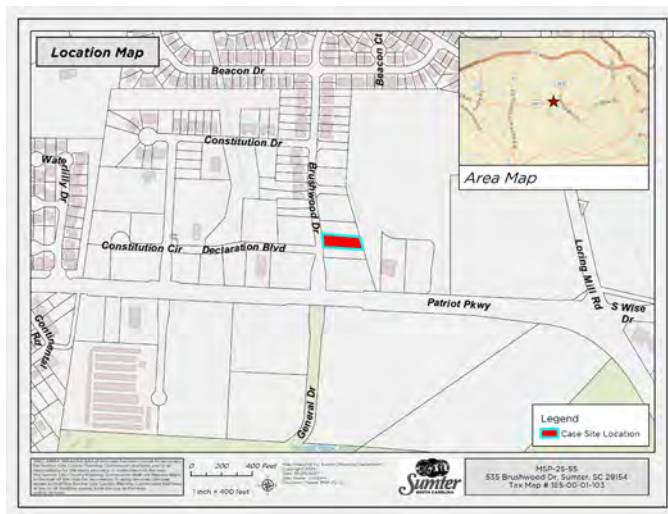
**Tax Map Reference:** 185-00-01-103

### II. BACKGROUND

The applicant is proposing a phased development plan, with the end goal of establishing a +/- 800 sq. ft. food/dining facility on the subject property.

The property consists of a single 0.55-acre parcel located on the east side of Brushwood Dr. near the intersection of Brushwood Dr. and Declaration Blvd. The property is shown in red on the location map to the right.

The subject property is within a Planned Development (PD) district. Specifically, it is part of the neighborhood commercial area of the Sumter West PD (PD-00-08 Rev 26). The designated neighborhood commercial area within this PD primarily reverts to Neighborhood Commercial (NC) zoning district



standards. However, all commercial site plans in this PD must receive major site plan approval from the Planning Commission. The uses proposed are permitted within the neighborhood commercial areas of this PD.

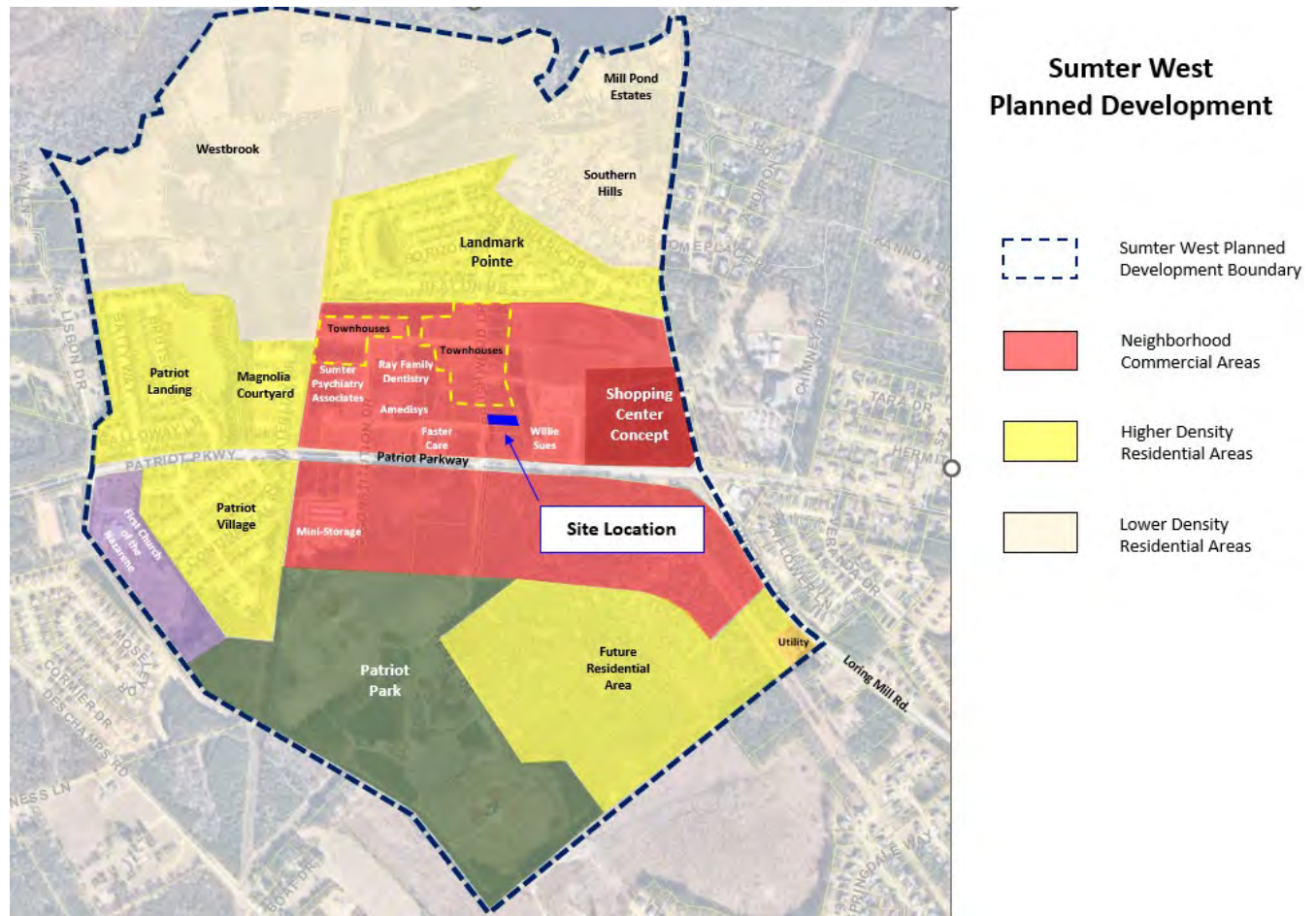


Figure 1 – Sumter West PD Conceptual Plan

### ***Phase 1 Description***

The applicant is proposing to relocate a small, shed structure to the center of the property, to construct a gravel or crusher/run parking area with asphalt handicap accessible spaces, and to plant limited landscaping. The purpose of these improvements are for the site to serve as a food/product pick-up location for the applicant's mobile vending business, The Sprouting Root, LLC. This business provides a variety of healthy plant-based foods and products such as salads, teas, fresh juices, bowls, and wellness shots. The existing small, shed structure is to be used for storage purposes only.

The following items require additional consideration:

1. **Alternate Parking Area Surface Material** – Applicant is proposing a gravel or crusher/run with a 10 ft. paved transition drive onto the property. This requires Planning Commission approval of an alternate parking area surface material.
2. **HCPD Alternate Exterior Material** – Applicant is proposing to retain an existing small, shed structure on the property. This structure has a primarily wooden exterior. This requires Planning Commission approval for alternate exterior surface material.

3. **Reduced Landscaping** – The applicant is proposing an alternate landscaping plan with a reduced number of plantings than required by *Article 9* of the City of Sumter Zoning & Development Standards Ordinance (the “Ordinance”). This requires submission of landscape waiver request pursuant to *Article 9.d.6* of the Ordinance. Landscape waiver requests are reviewed/approved by the Zoning Administrator. Additional details in landscape section below.

### ***Phase 2 Description***

Phase 2 represents full build out of the site to be the permanent location of The Sprouting Root. This plan shows the construction of a +/- 800 sq. ft. food/dining facility where food prep and service will occur. Further, this phase upgrades the entire parking area to asphalt and relocates the small, shed structure to the rear of the parking area. Additional landscaping is proposed. However, landscape waiver request approval pursuant to *Article 9.d.6*. is still required. The applicant has stated that it is their goal to complete Phase 2 within 12 months of Phase 1 being operational.

The following items require additional consideration:

1. **HCPD Alternate Exterior Material** – Applicant is proposing to modify a house plan for commercial purposes. The proposed structure does not have an exterior material that is brick, stone, or stucco. As such, Planning Commission approval of an alternate surface material is required.
2. **Reduced Landscaping** – The applicant is proposing additional landscaping as part of Phase 2. However, the submitted landscaping plan still shows a reduced number of plantings than is required by *Article 9* of the City of Sumter Zoning & Development Standards Ordinance (the “Ordinance”). This requires submission of landscape waiver request pursuant to *Article 9.d.6* of the Ordinance. Landscape waiver requests are reviewed/approved by the Zoning Administrator. Additional details in landscape section below.

## **III. SITE PLAN REVIEW**

### ***Site Layout:***

The applicant has submitted site plan and landscaping plans titled, “*The Sprouting Root – 535 Brushwood Dr, Sumter, SC 29150*” prepared by Champion Designs, with date of last revision being November 5, 2025.

The applicant has also submitted building elevation details for both the Phase 1 and Phase 2 buildings.

Copies of the Phase 1 Site Plan, Phase 2 Site Plan, Phase 1 Landscape Plan, Phase 2 Landscape Plan, and Building Exterior Elevations have been included in this packet for review as Exhibits 3, 4, 5, 6, 7, & 8 respectively.

Site development must adhere to the General Commercial (GC) zoning district standards of the City of Sumter Zoning and Development Standards Ordinance (the “Ordinance”) pursuant to *PD-00-08 (Rev 26)*. The proposed development meets the following minimum standards and development criteria:



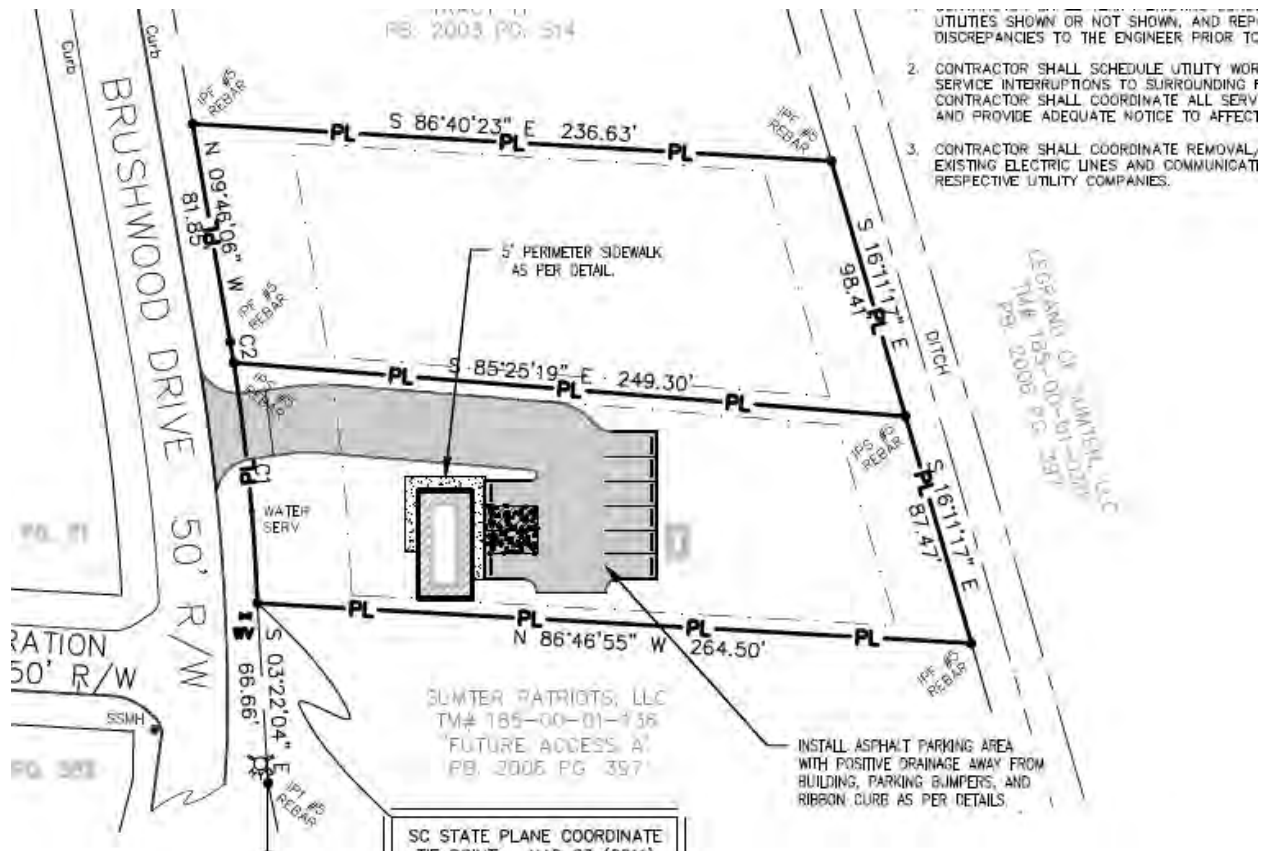


Figure 4 – Phase 2 Site Plan

### ***Parking Plan:***

Based upon the criteria found in *Article 8, Exhibit 8-12: Off-street Parking Requirements for Non-Residential Land Uses* of the Ordinance, minimum off-street parking requirements for eating places (which the proposed use is classified as) requires 1.2 spaces per 100 sq. ft. of gross floor area (GFA). The proposal includes a bank with +/- 800 sq. ft. of floor area. 9 off-street parking spaces with at least 1 space being ADA accessible are required.

Submitted Phase 2 parking plans show the following:

- 9 standard 9x19 ft. parking stalls
- 1 designed ADA parking stalls
- 25 ft. aisle widths to support proposed 90-degree angled parking stalls;
- Landscaped edges of parking area with shade trees.

Submitted Phase 1 parking plans show the same parking lot as described, albeit with a gravel and/or crusher/run surface material with a 10 ft. paved transition drive. Planning Commission approval for an alternate exterior surface material is required.

### ***Environmental:***

The property is located in Zone X, which is not a special flood hazard area (SFHA), as shown on FEMA FIRM Panel: 45085C0283F, with an effective date of October 27, 2022. National Wetland Inventory (NWI) data indicates that there are no wetlands on the property.

### Landscape & Tree Protection Plan:

The submitted landscape plan is based upon the requirements of Article 9 and makes accommodation for irrigated landscaping.

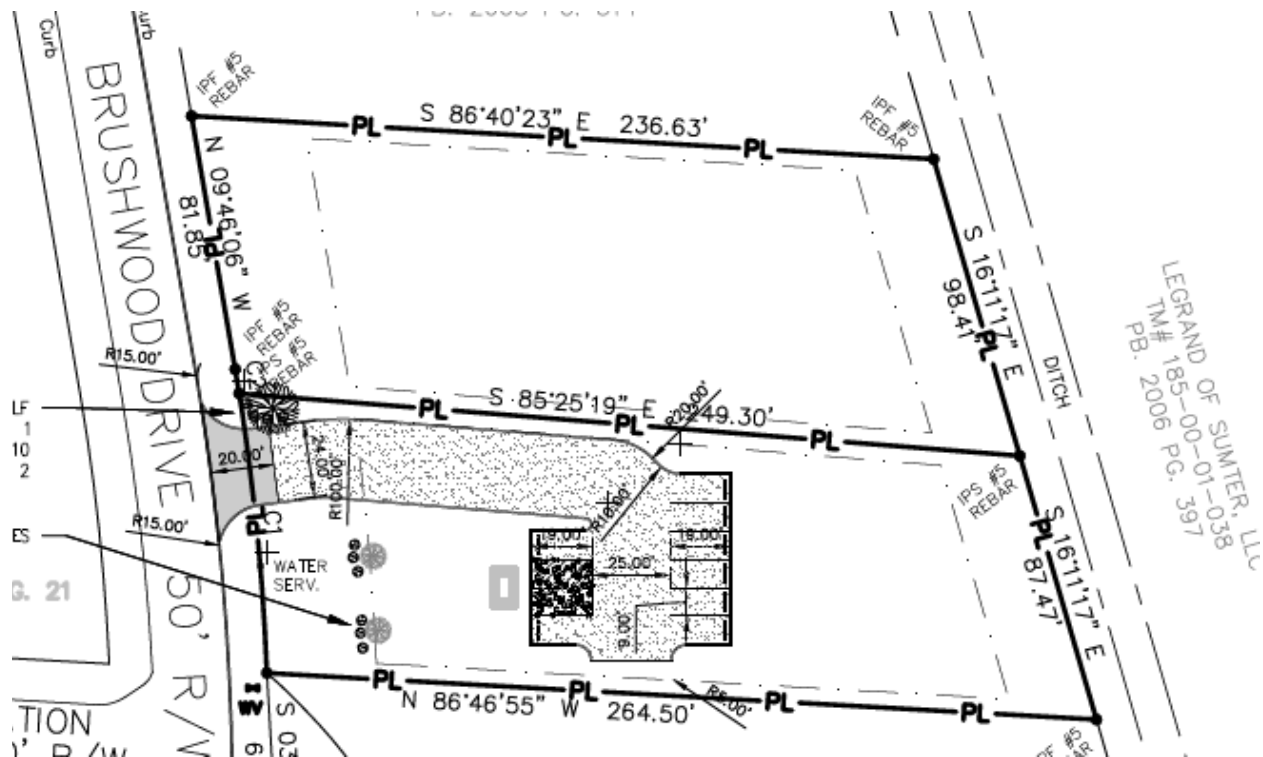


Figure 3 – Phase 1 Landscaping Plan

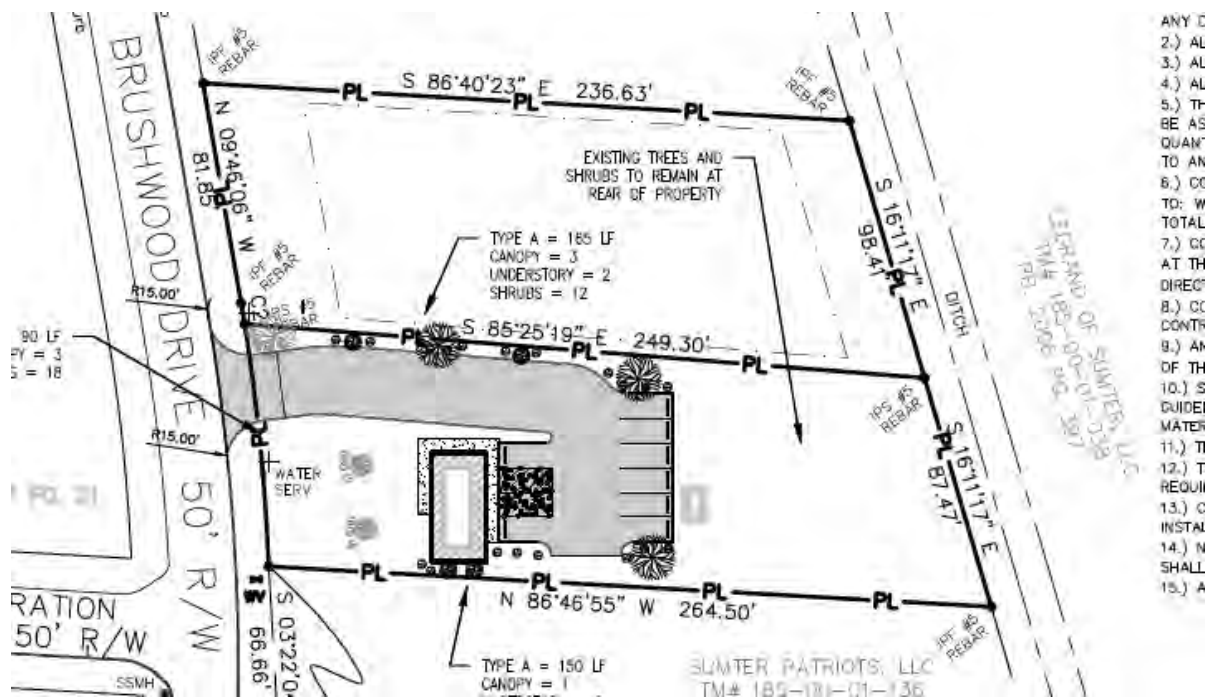





Figure 4 – Phase 2 Landscaping Plan



KEY	SYMBOL	VARIETY	BOTANICAL NAME	SIZE AT PLANTING
		CANOPY TREE FROM ARTICLE NINE– SECTION E RECOMMENDED PLANT LIST		3" CAL. & 7' HGT
		UNDERSTORY TREE FROM ARTICLE NINE– SECTION E RECOMMENDED PLANT LIST		2" CAL. & 7' HGT
		SHRUB FROM ARTICLE NINE– SECTION E RECOMMENDED PLANT LIST		3 GAL.

**Figure 5 – Planting List**

*Street Buffers:*

Street buffer landscaping consisting of 2 canopy trees, and 36 shrubs is required, based on the property's 90 ft. of street frontage. The applicant is proposing 1 canopy tree, 2 understory trees, and 6 shrubs. This under the required amount and the applicant has submitted an alternate landscaping waiver request pursuant to Article 9.d.6. of the Ordinance. Staff finds that this level of landscaping is acceptable for Phase 1 due the limited impacts of this proposal. However, a compliant amount of plantings shall be installed for Phase 2.

*Rear Buffer:*

Type A landscape buffering (2 canopy trees, 2 understory trees, and 15 shrubs per 100 linear ft. within a 5 ft. wide buffer area) is required for the rear. The plan shows no rear landscaping. However, the rear of the site is wooded and the applicant intends preserve existing trees to serve as the required. Staff finds that this is an acceptable proposal.

*Side Buffer:*

A 'Type A' landscape buffer (2 canopy trees, 2 understory trees, and 15 shrubs per 100 linear ft. within a 5 ft. wide buffer area) is required for the side property line. The development limits on the north side line is 165 linear feet, requiring 3 canopy trees, 3 understory trees, and 27 shrubs. The applicant is proposing no side landscaping for Phase 1. The applicant is proposing 2 canopy trees, 2 understory trees, and 12 shrubs for Phase 2. Staff finds that this level of landscaping is acceptable for Phase 1 due the limited impacts of this proposal. However, a compliant amount of plantings shall be installed for Phase 2.

*Parking Lot Landscaping:*

The site is narrow and width. Due to the this, canopy trees that are part of the side buffers also serve as parking area shade trees. This proposal meets the intent of *Article 9* of the Ordinance.

*Tree Protection:*

A tree survey has not been submitted. The applicant stated intent is to preserve trees on the property outside of the development area. Based on the site layout dimensions, staff in uncertain whether or not significant or historic trees will be removed as a result of the project. Submission of a Tree Survey for the area of disturbance is recommended condition of approval.

***Transportation Review:***

The site has +/- 90 linear feet of frontage along Brushwood Dr. This street is owned and maintained by the City of Sumter. Mason Rd. is functionally classified as a minor arterial streets, with an estimated current AADT of 6,000.

***Multimodal Transportation Factors***

- *Bicycle and Pedestrian:* There are no sidewalks on the eastern side of Brushwood Dr.
- *Transit:* No transit stops are in the general vicinity of the subject property.
- *Rail:* The proposed project would not result in any utilization of or impact to rail lines.

***Analysis of Applicable Zoning & Development Standards Ordinance Transportation Provisions***

- *Visual Clearance at Intersections:* The proposed visual clearance at intersections conforms to Ordinance Requirements.
- *Traffic Impact Study Requirements:* Based on the proposed development scope and scale, a TIS is not required.
- *Consideration of Existing Local and Regional Plans:* The project has no impact on in existing local or regional transportation plans.
- *Circulation System Design:* The circulation system conforms to Ordinance requirements.

***Stormwater Management:***

The proposed disturbed area on the site is less than 1-acre. Only local minor stormwater permitting is required. No stormwater detention/retention facility is proposed on plans. If a detention/retention facility is deemed necessary for Phase 2 build out, then a site plan revision will be required.

***Utilities:***

*Fire:* No technical review concerns that impact plan approval have been identified. Development on the site must conform to International Fire Code requirements.

*Sewer & Water:* No technical review concerns that impact plan approval have been identified. Current scope of food prep activities associated with Phase 2 will not require grease trap installation. However, increases in the scope beyond salad, bowl, juice, etc. prep. Will require full commercial evaluation.

*Solid Waste:* The applicant intends to use city roll cart service. Based on the scale of this proposal, this is acceptable. Roll carts must be

***Highway Corridor Protection District Design Review:***

Proposed designs must conform to *Article 3.t. of the City of Sumter Zoning & Development Standards Ordinance.*

***3.t.4. Architectural Standards:*** All commercial projects in the Highway Corridor Protection District shall submit architectural plans to the Sumter City-County Planning Commission which shows elevations of all portions of buildings with important relationships to public views and vistas, indications as the construction materials, photographs or perspective drawings indicating visual relationships to adjoining properties and spaces, paint and color schemes, and other exhibits and reports the Sumter City-County



*Planning Commission may require. Applicant shall also submit a landscaping plan and signage plan for the project site. In addition, all commercial projects shall meet the following standards:*

- a. If a new commercial building is proposed, not more than 60% of the facade facing a street may be glass or reflective materials;*

**Staff Review:** The proposed Phase 1 and Phase 2 buildings meet the above criteria.

- c. A minimum of 80% of the surface materials, excluding doors and windows, shall be brick, stucco, or stone masonry or materials approved by the Sumter City-County Planning Commission. Roof pitch should be compatible with the building structures in the surrounding neighborhood.*

**Staff Review:** The applicant is proposing to use a small, shed structure for Phase 1 of the proposed development. The primary exterior material of this structure is wood. Planning Commission approval for an alternate exterior material is required.



**Figure 5 – Phase 1 Building Elevation**

The roof line of the Phase 1 structure is similar to other small accessory structures on nearby residentially used property within Sumter West.

The Phase 2 building will be a modification of a house plan into a commercial building. The proposed building is similar to a shipping container building style, with either metal or composite siding. Planning Commission approval for an alternate exterior surface material is required. Information on the specific exterior material proposed is not available at the writing of this report. Further, plans submitted will require modifying a residential house plan for commercial use. This will require architectural or structural professional to certify and/or submit plans for building code compliance. As such, there is a possibility that the plans submitted may not match up with what is ultimately proposed for permitting. Staff recommends that HCPD approval for Phase 2 be deferred until more concrete commercial building plans are available.



**Figure 6 – Phase 2 Front Building Elevation**



**Figure 7 – Phase 2 Front & Side Building Elevation**

- d. *Signs including billboards shall be fully illustrated through photographs or graphic designs showing the relationship of off-premise and on-premise signs to the specific site and the surrounding locations within 1,000 feet. The signage plan shall consist of all freestanding and building signage. (Shall meet development standards for the underlying zoning district.).*

**Staff Review:** Exterior signage must comply with *Article 8.h.* of the *Ordinance*. The applicant has not submitted detailed signage plans at this time.

#### **IV. TECHNICAL REVIEW**

The technical review committee was given the opportunity to review and comment on the project. Outstanding technical review items are identified in Exhibit 2.

## **V. STAFF RECOMMENDATION**

Staff has reviewed the major site plan application, shared the proposed plans with the technical review committee, and recommends **approval** of this request subject to the staff recommended Conditions of Approval as outlined in Exhibit 1.

## **VI. DRAFT MOTION**

1. I move the Planning Commission **approve** MSP-25-55/HCPD-25-36 subject to conditions of approval outlined in Exhibit 1, the site and landscaping plans titled “*The Sprouting Root – 535 Brushwood Dr, Sumter, SC 29150*” prepared by Champion Designs, with date of last revision being November 5, 2025, and the building elevation details submitted by the applicant for Phase 1. Phase 2 building elevation shall be referred back to the Planning Commission once more detailed commercial building plans are available.
2. I move the Planning Commission **deny** MSP-25-21/HCPD-25-15.
3. I move an alternate motion.

## **VII. PLANNING COMMISSION – November 19, 2025**

**Exhibit 1:**  
**MSP-25-51/HCPD-25-32, 2831 Broad St. (City)**  
**Proposed Conditions of Approval**

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1. The project shall be developed in substantial conformance with the site and landscaping plans titled, “*The Sprouting Root – 535 Brushwood Dr, Sumter, SC 29150*” prepared by Champion Designs, with date of last revision being November 5, 2025.
2. Phase 1 of the project shall use the existing small, shed building that is existing on the property in accordance with the alternate exterior information presented to the Sumter City-County Planning Commission. The Sumter City-County Planning Commission may deny or request amendments to the proposed elevations.
3. HCPD for Phase 2 shall be referred back to the Planning Commission once more concrete commercial building plans are available.
4. Prior to issuance of Land Disturbance permit(s), the following must be received by the Sumter City-County Planning Department:
  - a. Resolution of all outstanding technical review items referenced in Exhibit 2 of the case staff report.
  - b. Stormwater permit approval must be submitted to the Sumter City-County Planning Department.
5. Prior to issuance of Building Permit(s), the following item must be completed:
  - a. Emergency fire suppression capacity to support building construction must be in place and approved by the Fire Marshall.
6. Prior to zoning final inspection approval:
  - a. Completion of all site developments as depicted on final civil engineered plans.
  - b. Copy of approved SCDOT encroachment permit.
7. Separate sign permits are required for all exterior signage. All signage must be in full compliance with *Article 8.i: Sign Regulations* of the *City of Sumter Zoning & Development Standards Ordinance* prior to permit approval, issuance, and installation.

**Exhibit 2:**  
**MSP-25-51/HCPD-25-32, 2831 Broad St. (City)**  
**Outstanding Technical Review Items**

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1. Submit revised Phase 2 landscaping plans showing compliant amount of landscaping for street and side buffers. Revised plans shall include updated species lists with specific plantings proposed referenced on the planting schedule. Staff is not supportive landscape waiver requests for Phase 2 full build-out of the property.

Existing vegetation being retained within these buffers may be counted towards meeting this requirement. However, such existing vegetation must be detailed on the landscaping plan.

2. Submit Tree indicated all significant/historic trees that will be removed as part of this project.
3. Submit mitigation planting plan (typically 2 for 1 replacement) for an significant/historic trees being removed from the property as part of this project.
4. Submit details on proposed on the type of exterior material proposed for the Phase 2 building.



BEATY STEVENS ZEIGLER ESTATE  
TM# 185-00-01-087  
TRACT 'H'  
PB. 2003 PG. 514



PB. 2008 PG. 382

APPROX. LOCATION OF  
EXISTING FIRE HYDRANT

### LEGEND

- WV – WATER VALVE  
 ● IPF – IRON PIN FOUND  
 ● IPS – IRON PIN SET  
 ● SSMH – SANITARY SEWER MANHOLE

220'± To Jct R/W  
Patriot Parkway  
S.C. Hwy. 441

SUMTER PATRIOTS, LLC  
TM# 185-00-01-136  
'FUTURE ACCESS A'  
PB. 2006 PG. 397

SC STATE PLANE COORDINATE  
TIE POINT – NAD 83 (2011)  
IPF #5 REBAR  
N: 766,370.754'  
E: 2,173,987.701'

DEMOLITION NOTES:

1. ALL EXISTING UTILITIES SHOWN ARE THE BEST INFORMATION AVAILABLE. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS, AND MAKE ALL NECESSARY ARRANGEMENTS WITH PRIVATE AND PUBLIC UTILITY COMPANIES TO AVOID ANY POSSIBLE DAMAGE TO, OR INTERRUPTION OF, UTILITY EQUIPMENT OR SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INQUIRIES CONCERNING LOCATION OF UTILITY LINES. REPAIR OF ANY DAMAGE TO UTILITY LINES DUE TO THIS WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. THE SCDHEC DIVISION OF AIR REGULATIONS REQUIRES THAT A NOTIFICATION BE SUBMITTED TO THE APPROPRIATE AGENCY 10 WORKING DAYS PRIOR TO LAND DISTURBING OR BEGINNING DEMOLITION.

EXISTING CONDITION & DEMOLITION NOTES:

1. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS, INCLUDING UTILITIES SHOWN OR NOT SHOWN, AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL SCHEDULE UTILITY WORK TO MINIMIZE UTILITY SERVICE INTERRUPTIONS TO SURROUNDING FACILITIES. THE CONTRACTOR SHALL COORDINATE ALL SERVICE INTERRUPTIONS AND PROVIDE ADEQUATE NOTICE TO AFFECTED USERS.
3. CONTRACTOR SHALL COORDINATE REMOVAL/RELOCATION OF EXISTING ELECTRIC LINES AND COMMUNICATIONS LINES WITH THEIR RESPECTIVE UTILITY COMPANIES.

LEGRAND OF SUMTER, LLC  
TM# 185-00-01-038  
PB. 2006 PG. 397

GRAVEL PARKING AREA  
WITH PARKING BUMPERS.  
INSTALL AS PER DETAIL.

GENERAL NOTES:

- GENERAL NOTES:
- 1.) THE APPROXIMATE ACREAGE OF THIS SITE IS 0.50 AC.
  - 2.) FIELD VERIFY ALL DISTANCES AND ELEVATIONS PRIOR TO CONSTRUCTION. ALL DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY.
  - 3.) THIS PLAN REPRESENTS THE APPROXIMATE SIZE, TYPE AND LOCATION OF THE UNDERGROUND FEATURES SHOWN ON THIS PLAN. NO EXCAVATIONS HAVE BEEN MADE TO VERIFY THE INFORMATION SHOWN ON THESE DRAWINGS. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION, AND THESE DRAWINGS SHALL BE CONSIDERED IN THAT LIGHT. THE CONTRACTOR MAY ENCOUNTER UTILITIES NOT SHOWN ON THESE DRAWINGS, AND SHALL PROMPTLY NOTIFY THE OWNER OF ANY SUCH ITEMS ENCOUNTERED.

4.) SURVEY PROVIDED BY:  
LINDLER SURVEYING, INC  
1990 BOYKIN ROAD  
REMBERT, SC 29128  
DATE: 09/30/15  
JOB NO: 05077B1

- 5.) TAX MAP No: 185-00-01-103

GRADING NOTES:

1. GRADES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CLEARING. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES FROM THE PLAN THAT WILL AFFECT CONSTRUCTION, IN WRITING, TO THE ENGINEER AND AWAIT FURTHER INSTRUCTIONS.
2. PROPOSED CONTOURS AND SPOT ELEVATIONS ARE FINISHED GRADE ELEVATIONS. THE GRADING CONTRACTOR SHALL DEDUCT PAVEMENT AND TOPSOIL THICKNESS FOR SUBGRADE ELEVATIONS. REFER TO DETAIL SHEETS FOR FURTHER INFORMATION.
3. CLEAR AND GRUB THE SITE WITHIN THE LIMITS OF CONSTRUCTION. CLEARING AND GRUBBING SHALL CONSIST OF REMOVING PAVEMENT, BRUSH, ROOTS, ETC. TO A MINIMUM OF 12" BELOW THE EXISTING SURFACE.
4. TOPSOIL SHALL BE STOCKPILED IN A LOCATION THAT WILL NOT IMPEDE CONSTRUCTION. THE STOCKPILE SHALL HAVE SILT FENCE INSTALLED ON THE DOWNSTREAM SIDE OF THE STOCKPILE.
5. TEMPORARY STOCKPILING OF USEABLE OR WASTE MATERIALS FOR MORE THAN SEVEN (7) DAYS SHALL HAVE APPROXIMATE EROSION AND SEDIMENT CONTROL MEASURES INSTALLED. TEMPORARY STOCKPILES SHALL BE PLACED AWAY FROM STORM WATER INLET STRUCTURES, ADJACENT PROPERTY AND PUBLIC ROADWAYS.
6. A SOILS ENGINEER SHALL BE EMPLOYED BY THE CONTRACTOR TO DETERMINE THE SUITABILITY OR UNSUITABILITY OF SOILS DURING EARTHWORK OPERATIONS, CONDUCT TESTS AND MAKE RECOMMENDATIONS.
7. SOILS SHALL BE TESTED EVERY 10,000 SF OR LESS PER LIFT FOR EMBANKMENT. THE CONTRACTOR SHALL FURNISH ALL TEST REPORTS IN A TIMELY MANNER.
8. FILL SOIL SHALL BE PLACED IN 8" LIFTS, LOOSE, AND COMPACTED TO 95% STANDARD PROCTOR UNLESS NOTED OTHERWISE.
9. HANDICAP PARKING STALLS SHALL HAVE A MINIMUM OF 2% OR LESS SLOPE IN ALL DIRECTIONS.
10. STORM WATER STRUCTURES SHALL BE CLEANED OF ANY ACCUMULATED CONSTRUCTION DEBRIS OR SEDIMENT, AS NEEDED, PRIOR TO BEING PLACED INTO USE. DISPOSAL OF ALL SEDIMENT AND CONSTRUCTION DEBRIS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CITY, STATE AND FEDERAL REGULATIONS.
11. ELEVATION OF NEW EDGE OF PAVEMENT TO MATCH EXISTING.

**The Palmetto Utility Protection Service, Inc.**

810 Dutch Square Blvd. Suite 320 Columbia, South Carolina 29210 (803) 939-1117

**South Carolina 811**  
Call 811 Before you Dig

### 3 DAYS BEFORE DIGGING IN SOUTH CAROLINA

**CALL 811**

CONTRACTOR SHALL CONTACT THE UNDERGROUND LOCATORS EVERY 10 DAYS FOR AN UPDATE TO UTILITY LOCATIONS.

\*\*\*CAUTION\*\*\*

ALL EXISTING UTILITIES SHOWN ARE THE BEST INFORMATION AVAILABLE. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS, AND MAKE ALL NECESSARY ARRANGEMENTS WITH PRIVATE AND PUBLIC UTILITY COMPANIES TO AVOID ANY POSSIBLE DAMAGE TO, OR INTERRUPTION OF, UTILITY EQUIPMENT OR SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INQUIRIES CONCERNING LOCATION OF UTILITY LINES. REPAIR OF ANY DAMAGE TO UTILITY LINES DUE TO THIS WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

*Champion  
Designs, LLC*

2730 Mohican Dr.  
Sumter, SC 29150  
Ph: 803-934-6256

SEALS:

THE SPROUTING ROOT  
535 BRUSHWOOD DR  
SUMTER, SC

**PROJECT.**

## REVISION

DATE \_\_\_\_\_

SHEET TITLE:

PHASE ONE  
SITE PLAN

DATE: 10/22/25  
DRAWN BY: JTC  
FILE NUMBER:

SHEET NO.:

2 OF 9

# Exhibit 4

BEATY STEVENS ZEIGLER ESTATE  
TM# 185-00-01-087  
TRACT 'H'  
PB. 2003 PG. 514

## EXISTING CONDITION & DEMOLITION NOTES:

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9. HANDICAP PARKING STALLS SHALL HAVE A MINIMUM OF 2% OR LESS SLOPE IN ALL DIRECTIONS.
10. STORM WATER STRUCTURES SHALL BE CLEANED OF ANY ACCUMULATED CONSTRUCTION DEBRIS OR SEDIMENT, AS NEEDED, PRIOR TO BEING PLACED INTO USE. DISPOSAL OF ALL SEDIMENT AND CONSTRUCTION DEBRIS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CITY, STATE AND FEDERAL REGULATIONS.
11. ELEVATION OF NEW EDGE OF PAVEMENT TO MATCH EXISTING.

### The Palmetto Utility Protection Service, Inc.

810 Dutch Square Blvd, Suite 320 Columbia, South Carolina 29210 (803) 939-1117



3 DAYS BEFORE DIGGING IN SOUTH CAROLINA

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**Champion  
Designs, LLC**

2730 Mohican Dr.  
Sumter, SC 29150  
Ph: 803-934-6256

SEALS:

PROJECT:  
**THE SPROUTING ROOT**  
**535 BRUSHWOOD DR**  
**SUMTER, SC**

REVISION

REVISED AS PER TRC COMMENTS

DATE

11/05/25

SHEET TITLE:

**PHASE TWO**  
**SITE PLAN**

DATE: 10/22/25

DRAWN BY: JTC

FILE NUMBER:

SHEET NO.:

**4** of **9**



PB. 2007 PG. 21

DECLARATION  
BLVD. 50' R/W

PB. 2008 PG. 382

## LEGEND

- WV - WATER VALVE
- IPF - IRON PIN FOUND
- IPS - IRON PIN SET
- SSMH - SANITARY SEWER MANHOLE

## DEMOLITION NOTES:

1. ALL EXISTING UTILITIES SHOWN ARE THE BEST INFORMATION AVAILABLE. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS, AND MAKE ALL NECESSARY ARRANGEMENTS WITH PRIVATE AND PUBLIC UTILITY COMPANIES TO AVOID ANY POSSIBLE DAMAGE TO, OR INTERRUPTION OF, UTILITY EQUIPMENT OR SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INQUIRIES CONCERNING LOCATION OF UTILITY LINES. REPAIR OF ANY DAMAGE TO UTILITY LINES DUE TO THIS WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

2. THE SCDHEC DIVISION OF AIR REGULATIONS REQUIRES THAT A NOTIFICATION BE SUBMITTED TO THE APPROPRIATE AGENCY 10 WORKING DAYS PRIOR TO LAND DISTURBING OR BEGINNING DEMOLITION.

SUMTER PATRIOTS, LLC  
TM# 185-00-01-136  
'FUTURE ACCESS A'  
PB. 2006 PG. 397

SC STATE PLANE COORDINATE  
TIE POINT - NAD 83 (2011)  
IPF #5 REBAR  
N: 766,370.754'  
E: 2,173,987.701'

220'± To Jct R/W  
Patriot Parkway  
S.C. Hwy. 441

INSTALL ASPHALT PARKING AREA  
WITH POSITIVE DRAINAGE AWAY FROM  
BUILDING, PARKING BUMPERS, AND  
RIBBON CURB AS PER DETAILS.

## GENERAL NOTES:

- 1.) THE APPROXIMATE ACREAGE OF THIS SITE IS 0.50 AC.
- 2.) FIELD VERIFY ALL DISTANCES AND ELEVATIONS PRIOR TO CONSTRUCTION. ALL DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY.
- 3.) THIS PLAN REPRESENTS THE APPROXIMATE SIZE, TYPE AND LOCATION OF THE UNDERGROUND FEATURES SHOWN ON THIS PLAN. NO EXCAVATIONS HAVE BEEN MADE TO VERIFY THE INFORMATION SHOWN ON THESE DRAWINGS. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION, AND THESE DRAWINGS SHALL BE CONSIDERED IN THAT LIGHT. THE CONTRACTOR MAY ENCOUNTER UTILITIES NOT SHOWN ON THESE DRAWINGS, AND SHALL PROMPTLY NOTIFY THE OWNER OF ANY SUCH ITEMS ENCOUNTERED.
- 4.) SURVEY PROVIDED BY:  
LINDLER SURVEYING, INC  
1990 BOYKIN ROAD  
REMBERT, SC 29128  
DATE: 09/30/15  
JOB NO: 05077B1
- 5.) TAX MAP No: 185-00-01-103

0 25 50 100 150  
SCALE: 1" = 50'



LEGRAND OF SUMTER, LLC  
TM# 185-00-01-038  
PB. 2006 P.G. 397

1.)THE APPROXIMATE ACREAGE OF THIS SITE IS 0.50 AC.

3.) THIS PLAN REPRESENTS THE APPROXIMATE SIZE, TYPE AND LOCATION OF THE UNDERGROUND FEATURES SHOWN ON THIS PLAN. NO EXCAVATIONS HAVE BEEN MADE TO VERIFY THE INFORMATION SHOWN ON THESE DRAWINGS. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION, AND THESE DRAWINGS SHALL BE CONSIDERED IN THAT LIGHT. THE CONTRACTOR MAY ENCOUNTER UTILITIES NOT SHOWN ON THESE DRAWINGS, AND SHALL PROMPTLY NOTIFY THE OWNER OF ANY SUCH ITEMS ENCOUNTERED.

5.) TAX MAP No: 185-00-01-103

1. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS, INCLUDING UTILITIES SHOWN OR NOT SHOWN, AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL SCHEDULE UTILITY WORK TO MINIMIZE UTILITY SERVICE INTERRUPTIONS TO SURROUNDING FACILITIES. THE CONTRACTOR SHALL COORDINATE ALL SERVICE INTERRUPTIONS AND PROVIDE ADEQUATE NOTICE TO AFFECTED USERS.
3. CONTRACTOR SHALL COORDINATE REMOVAL/RELOCATION OF EXISTING ELECTRIC LINES AND COMMUNICATIONS LINES WITH THEIR RESPECTIVE UTILITY COMPANIES.

1. ALL EXISTING UTILITIES SHOWN ARE THE BEST INFORMATION AVAILABLE. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS, AND MAKE ALL NECESSARY ARRANGEMENTS WITH PRIVATE AND PUBLIC UTILITY COMPANIES TO AVOID ANY POSSIBLE DAMAGE TO, OR INTERRUPTION OF, UTILITY EQUIPMENT OR SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INQUIRIES CONCERNING LOCATION OF UTILITY LINES. REPAIR OF ANY DAMAGE TO UTILITY LINES DUE TO THIS WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

2. THE SCDHEC DIVISION OF AIR REGULATIONS REQUIRES THAT A NOTIFICATION BE SUBMITTED TO THE APPROPRIATE AGENCY 10 WORKING DAYS PRIOR TO LAND DISTURBING OR BEGINNING DEMOLITION.

**South Carolina 811**  
Call 811 Before you Dig

ALL EXISTING UTILITIES SHOWN ARE THE BEST INFORMATION AVAILABLE. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS, AND MAKE ALL NECESSARY ARRANGEMENTS WITH PRIVATE AND PUBLIC UTILITY COMPANIES TO AVOID ANY POSSIBLE DAMAGE TO, OR INTERRUPTION OF, UTILITY EQUIPMENT OR SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INQUIRIES CONCERNING LOCATION OF UTILITY LINES. REPAIR OF ANY DAMAGE TO UTILITY LINES DUE TO THIS WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

SEALS:

**PROJECT:**

**SHEET TITLE:**

DATE: 10/22/25  
DRAWN BY: JTC  
FILE NUMBER: \_\_\_\_\_

SHEET NO.:

3 OF 9

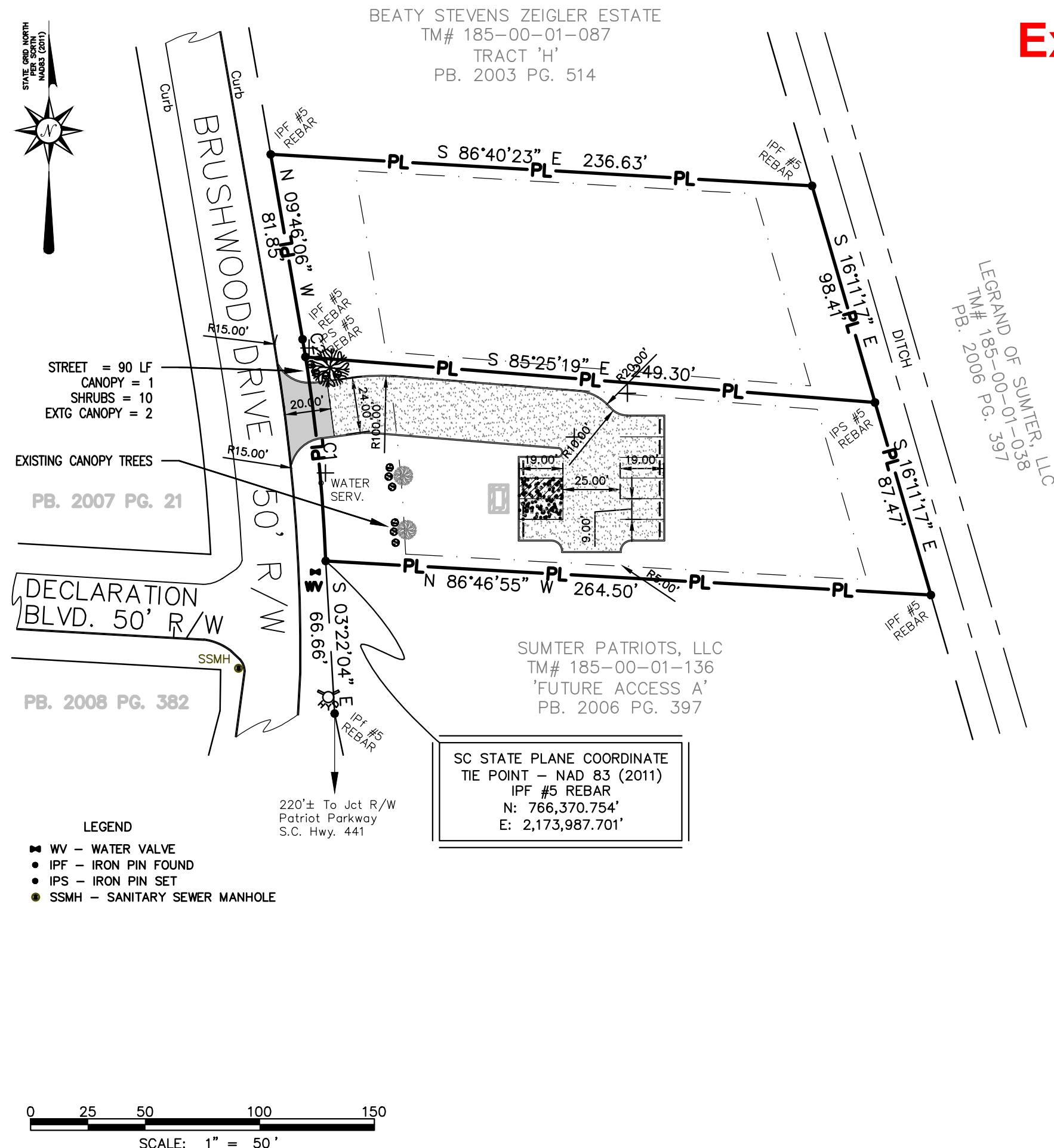
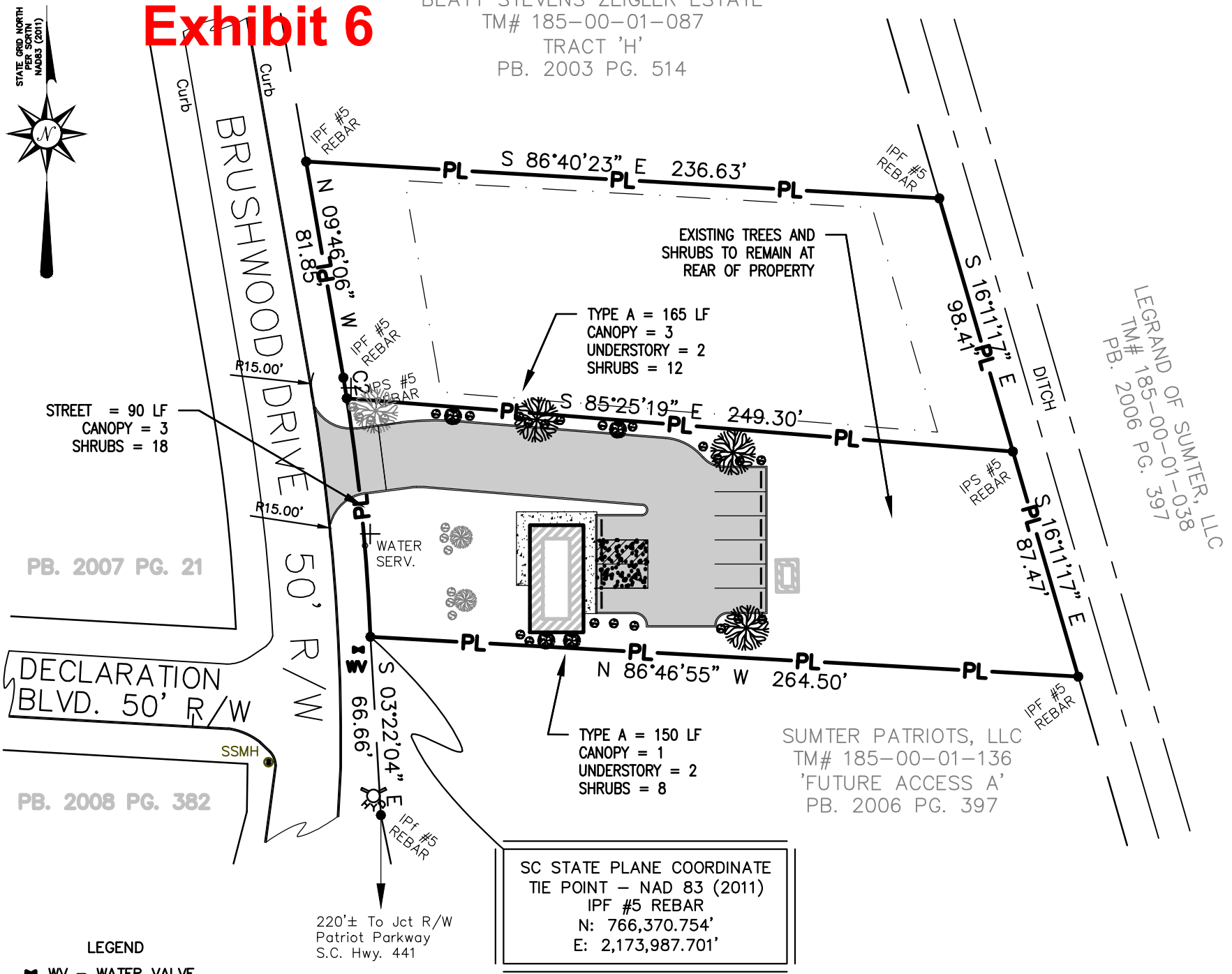


Exhibit 6

BEATY STEVENS ZEIGLER ESTATE  
TM# 185-00-01-087  
TRACT 'H'  
PB. 2003 PG. 514



STREET = 90 LF  
CANOPY = 3  
SHRUBS = 18

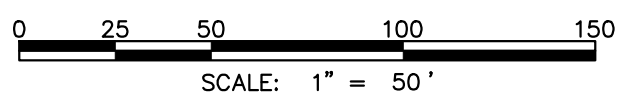
PB. 2007 PG. 21

DECLARATION  
BLVD. 50' R/W

PB. 2008 PG. 382

- LEGEND
- WV - WATER VALVE
  - IPF - IRON PIN FOUND
  - IPS - IRON PIN SET
  - SSMH - SANITARY SEWER MANHOLE

SC STATE PLANE COORDINATE  
TIE POINT - NAD 83 (2011)  
IPF #5 REBAR  
N: 766,370.754'  
E: 2,173,987.701'



KEY	SYMBOL	VARIETY	BOTANICAL NAME	SIZE AT PLANTING
		CANOPY TREE FROM ARTICLE NINE- SECTION E RECOMMENDED PLANT LIST		3" CAL. & 7' HGT
		UNDERSTORY TREE FROM ARTICLE NINE- SECTION E RECOMMENDED PLANT LIST		2" CAL. & 7' HGT
		SHRUB FROM ARTICLE NINE- SECTION E RECOMMENDED PLANT LIST		3 GAL.

LANDSCAPING NOTES:

- 1.) CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO UTILITIES DURING THE COURSE OF THE WORK. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO UTILITIES, SITE STRUCTURES, ETC., RESULTING FROM LANDSCAPE CONSTRUCTION.
- 2.) ALL PLANTS MUST BE VIGOROUS, HEALTHY MATERIAL, FREE OF PESTS AND DISEASE.
- 3.) ALL PLANTS AND TREES MUST MEET ALL LOCAL REQUIREMENTS AND SPECIFICATIONS.
- 4.) ALL PLANTS MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
- 5.) THE QUANTITIES INDICATED ON THE PLANT LIST AND PLANS ARE APPROXIMATIONS AND SHOULD NOT BE ASSUMED TO BE COMPLETELY ACCURATE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES AND SHALL BE RESPONSIBLE FOR THE LIABILITY WHICH PERTAINS TO THOSE QUANTITIES AND TO ANY RELATED CONTRACT DOCUMENTS AND PRICE QUOTATIONS.
- 6.) CONTRACTOR IS RESPONSIBLE FOR COMPLETELY MAINTAINING THE WORK (INCLUDING BUT NOT LIMITED TO: WATERING, MULCHING, SPRAYING, FERTILIZING, ETC.) OF ALL PLANTING AREAS AND LAWNS UNTIL TOTAL ACCEPTANCE OF WORK BY THE OWNER.
- 7.) CONTRACTOR WILL COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE. CONTRACTOR WILL MAKE ALL REPLACEMENTS PROMPTLY (AS PER DIRECTION OF OWNER).
- 8.) CONTRACTOR WILL STAKE OR MARK ALL PLANT MATERIAL LOCATIONS PRIOR TO INSTALLATION. CONTRACTOR SHALL HAVE THE OWNERS APPROVAL ALL STAKING PRIOR TO INSTALLATION.
- 9.) ANY MATERIAL WHICH DIES, OR DEFOOLIATES (PRIOR TO ACCEPTANCE OF THE WORK) WILL BE PROMPTLY REMOVED AND REPLACED.
- 10.) STANDARD SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENTS GENERAL GUIDELINE SPECIFICATIONS ONLY AND WILL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- 11.) THE OWNER RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- 12.) THE CONTRACTOR IS RESPONSIBLE FOR SOIL SAMPLING AND TESTS TO DETERMINE EXACT FERTILIZER REQUIREMENTS.
- 13.) CHEMICAL WEED CONTROL MUST BE APPLIED TO ALL LANDSCAPE AREAS PRIOR TO ANY PLANT INSTALLATION.
- 14.) NO SUBSTITUTIONS AS TO TYPE, SIZE, OR SPACING OF PLANT MATERIAL SPECIFIED ON THESE PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL BY THE OWNER.
- 15.) ALL NEW LANDSCAPING MUST BE SERVED BY MECHANICAL IRRIGATION SYSTEM.

The Palmetto Utility Protection Service, Inc.  
810 Dutch Square Blvd, Suite 320 Columbia, South Carolina 29210 (803) 939-1117

**South Carolina 811**  
Call 811 Before you Dig

3 DAYS BEFORE DIGGING IN SOUTH CAROLINA  
**CALL 811**

CONTRACTOR SHALL CONTACT THE UNDERGROUND LOCATORS EVERY 10 DAYS FOR AN UPDATE TO UTILITY LOCATIONS.

\*\*\*CAUTION\*\*\*

ALL EXISTING UTILITIES SHOWN ARE THE BEST INFORMATION AVAILABLE. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS, AND MAKE ALL NECESSARY ARRANGEMENTS WITH PRIVATE AND PUBLIC UTILITY COMPANIES TO AVOID ANY POSSIBLE DAMAGE TO, OR INTERRUPTION OF, UTILITY EQUIPMENT OR SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INQUIRIES CONCERNING LOCATION OF UTILITY LINES. REPAIR OF ANY DAMAGE TO UTILITY LINES DUE TO THIS WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

Champion  
Designs, LLC

2730 Mohican Dr.  
Sumter, SC 29150  
Ph: 803-934-6256

SEALS:

PROJECT:  
THE SPROUTING ROOT  
535 BRUSHWOOD DR  
SUMTER, SC

REVISION	DATE	REVISION AS PER TRC COMMENTS
	11/05/25	

SHEET TITLE:  
PHASE TWO  
LANDSCAPE  
PLAN

DATE: 10/22/25  
DRAWN BY: JTC  
FILE NUMBER:

SHEET NO.:  
6 of 9



## Exhibit 7





## Exhibit 8



**NESTVILLE**  
HOUSE PLANS



# Future Building Plans



**NESTVILLE**  
HOUSE PLANS





**NESTVILLE**  
HOUSE PLANS



# Ground Floor Plan

40'-9"ft / [1241 cm]



**NESTVILLE**  
HOUSE PLANS

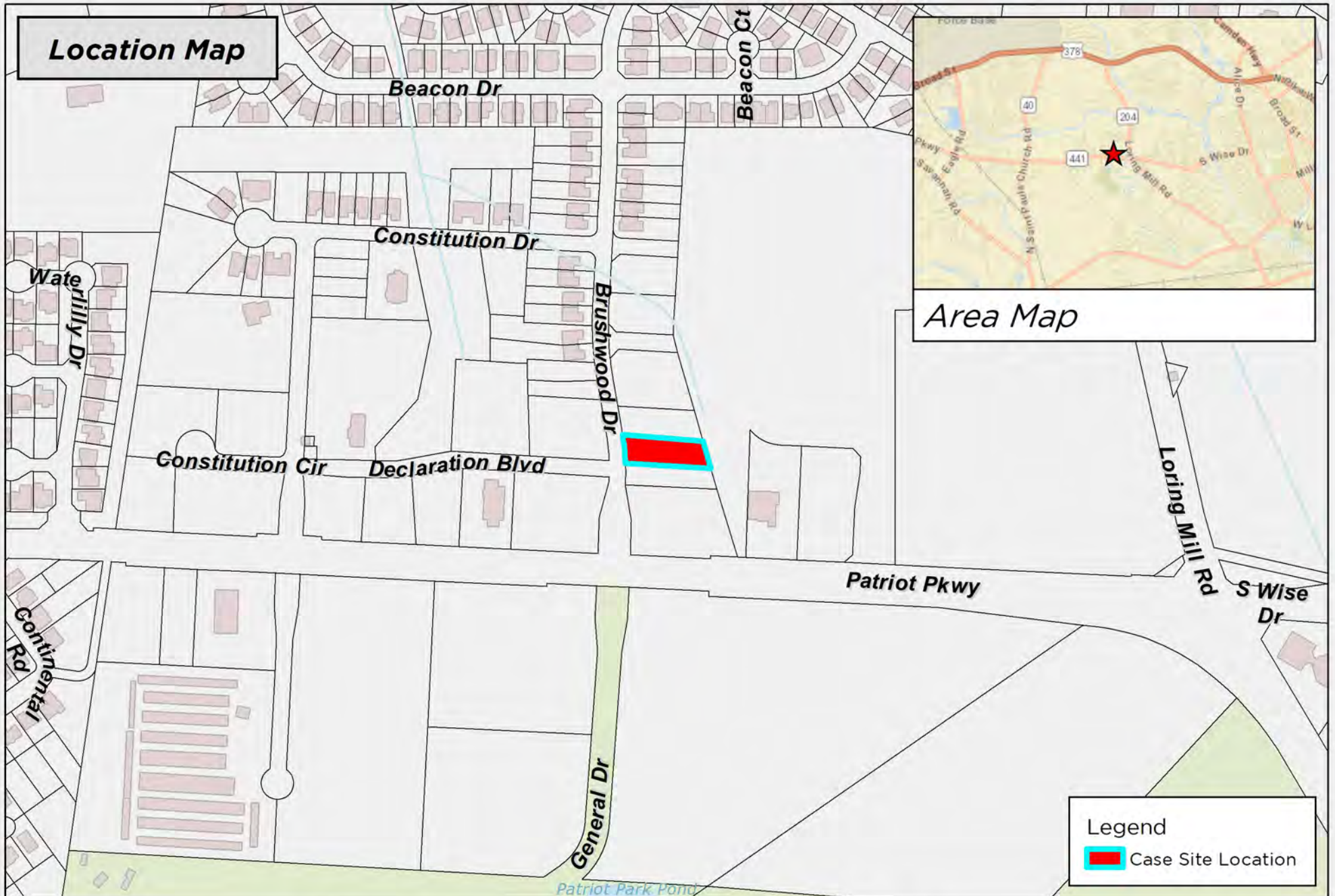
Copyrighted by **Nestville House Plans**







## Location Map



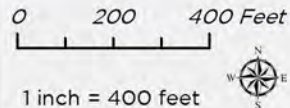
## Area Map



## Legend

 Case Site Location

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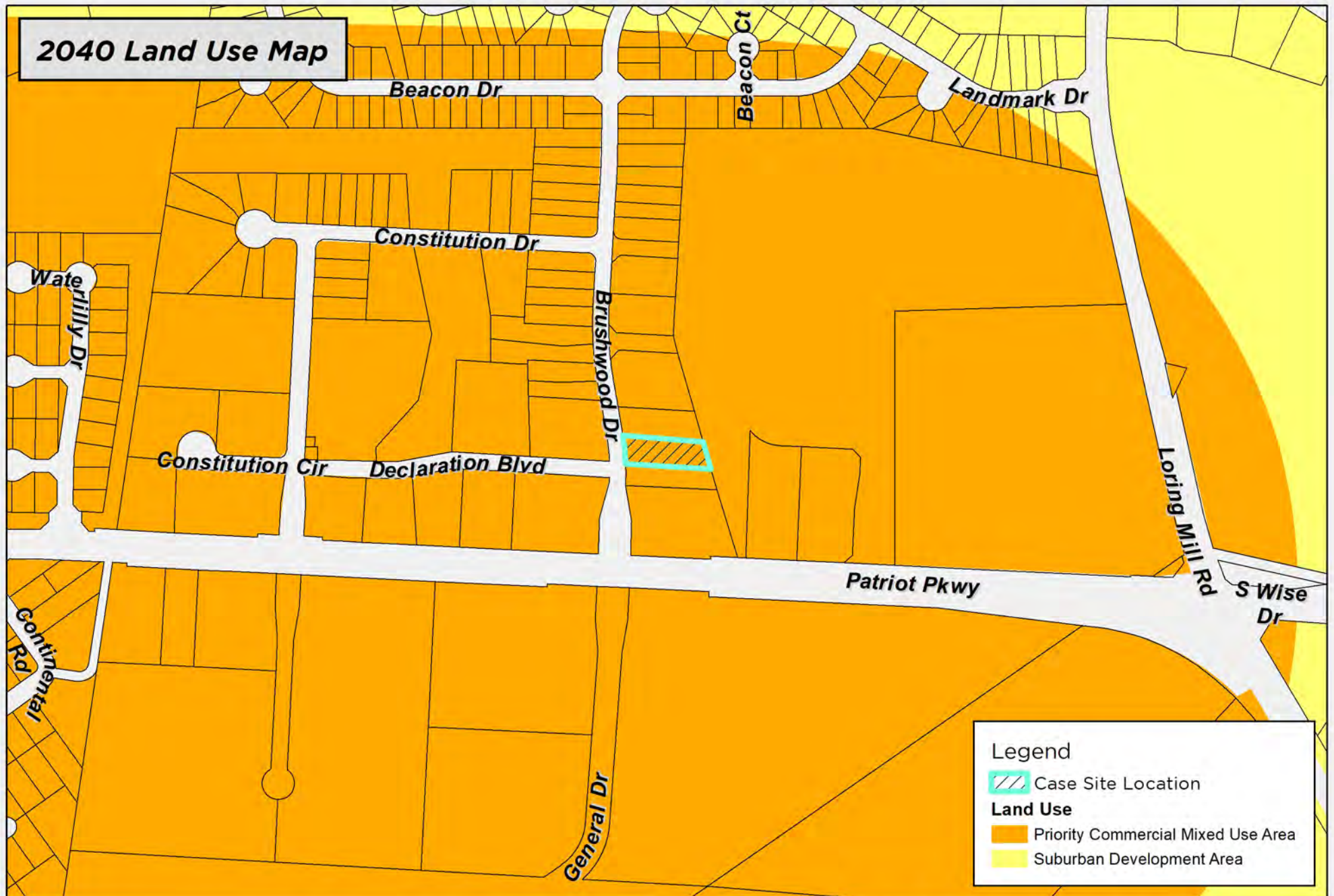
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Date: 10/29/2025  
User Name: crobbs  
Document Name: MSP-25-55




MSP-25-55  
535 Brushwood Dr, Sumter, SC 29154  
Tax Map # 185-00-01-103





# 2040 Land Use Map



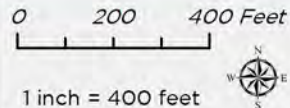
## Legend

 Case Site Location

## Land Use

-  Priority Commercial Mixed Use Area
-  Suburban Development Area

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Tax Map # 185-00-01-103

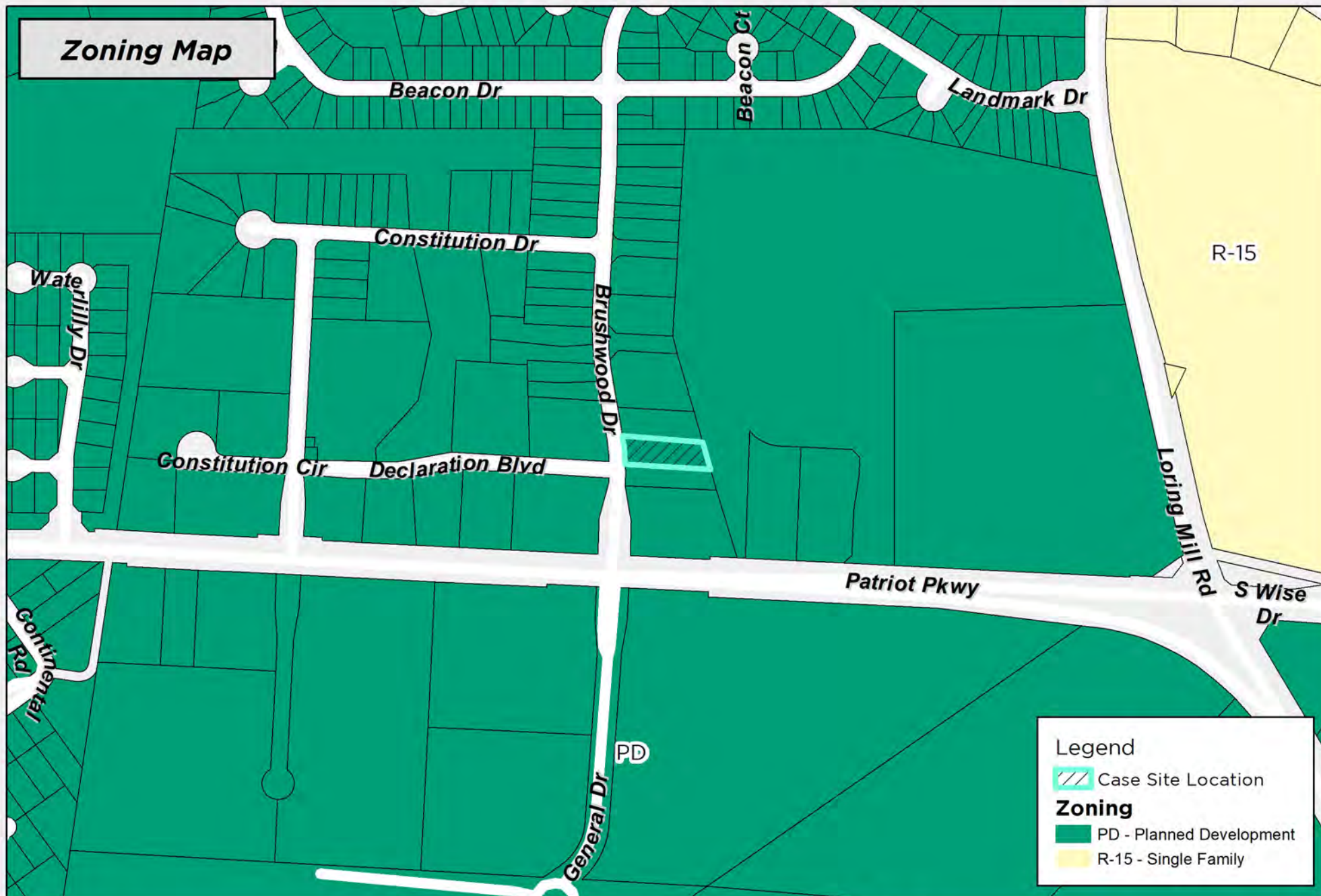




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# Zoning Map



## Legend

Case Site Location

## Zoning

PD - Planned Development  
 R-15 - Single Family

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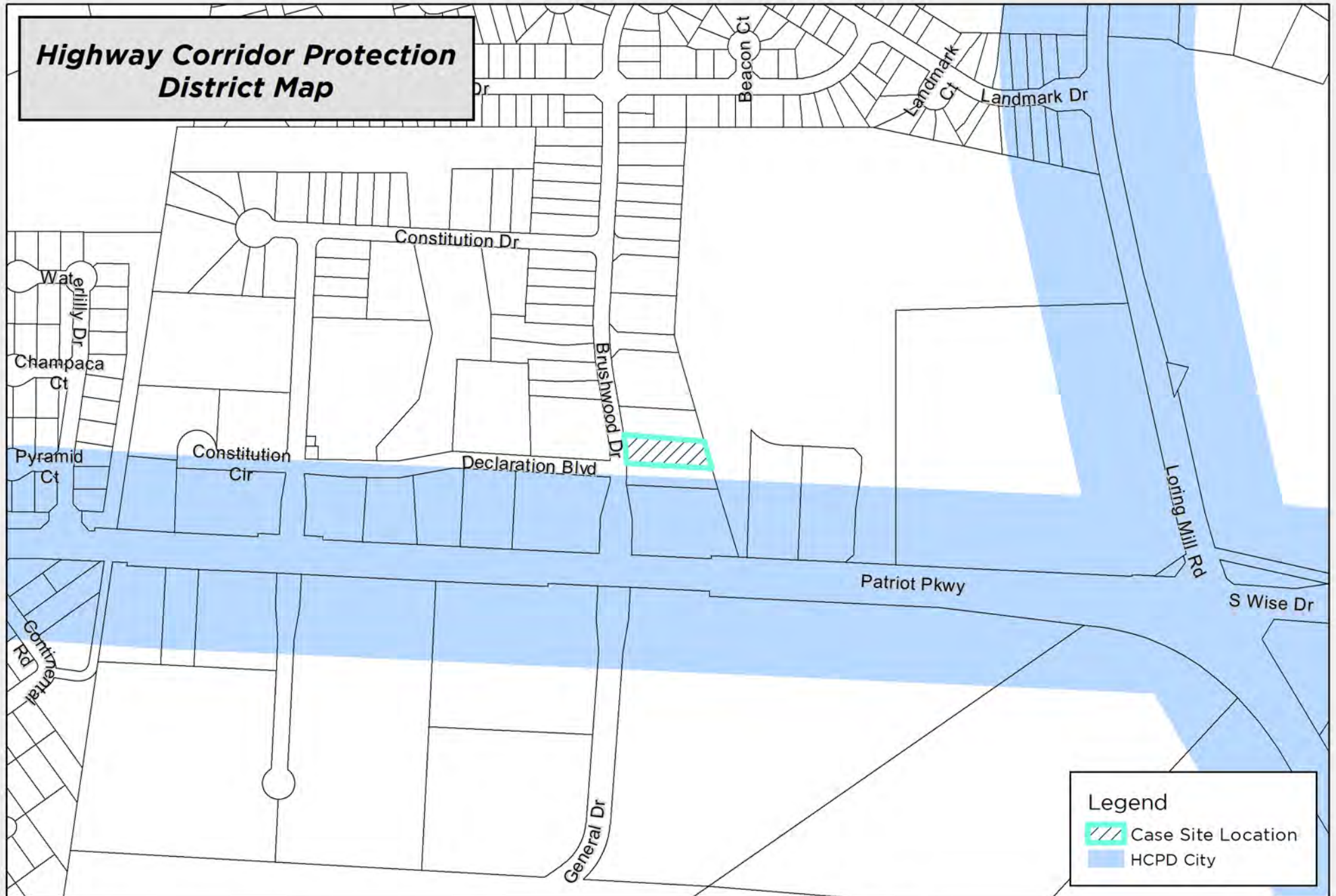
0 200 400 Feet  
 1 inch = 400 feet

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 User Name: crobbins  
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 535 Brushwood Dr, Sumter, SC 29154  
 Tax Map # 185-00-01-103

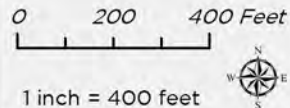
# Highway Corridor Protection District Map



## Legend

-  Case Site Location
-  HCPD City

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