

Sumter City-County Planning Commission

August 27, 2025

MSP-25-38 811 Bethel Church Rd – Dollar General (County)

I. THE REQUEST

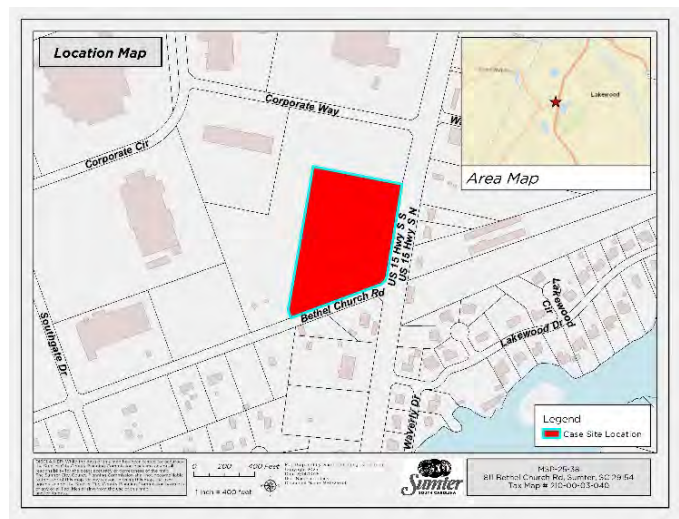
Applicant:	CDP Sumter 7, LLC (Gregorey Googer)
Status of the Applicant:	Authorized Agent
Request:	Request for Major Site Plan Review approval for a +/- 10,640 sq. ft. general merchandise store.
County Council District	District 3
Location:	811 Bethel Rd.
Size of Development:	+/- 2 acres Development Area
Present Use/Zoning:	Vacant / General Commercial (GC)
Proposed Use of Property:	General Merchandise Store (Dollar General)
Tax Map Reference:	210-00-03-040

II. BACKGROUND

The applicant is proposing to develop a +/- 10,640 sq. ft. General Merchandise Store referred to as Dollar General.

The subject site has primary road frontage on Bethel Church Road and consists of a +/- 2-acre development area to be subdivided from a larger +/- 11-acre tract. tract. The property is zoned General Commercial (GC) and is currently undeveloped.

Major site plan review is required based on the amount of off-street parking required for the proposed use. The proposed 2-acre parcel will be situated on the outside of the Highway Corridor Protection District (HCPD) boundary along US Hwy 521 S. As such, the project is not subject to HCPD design standards, including the review of exterior building materials.



III. SITE PLAN REVIEW

Site Layout:

The applicant has submitted a revised site plan and landscaping plans titled, “*Sumter Dollar General 31287*” prepared by KB Sellars Engineering, dated August 15, 2025.

Copies of the Site Plan and Landscaping Plan have been included in this packet for review as Exhibits 2 and 3.

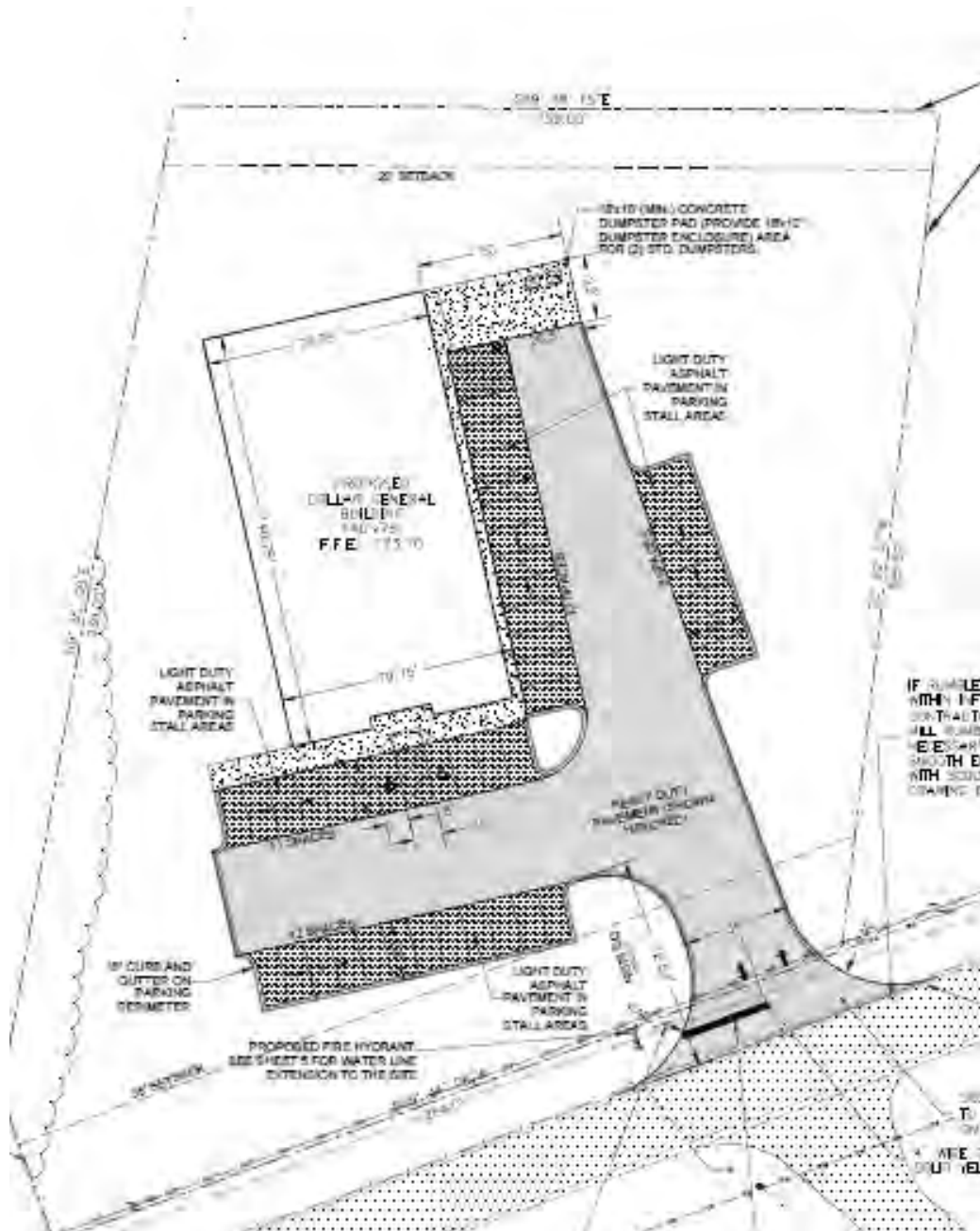


Figure 1 - Site Plan Layout

Site development must adhere to the General Commercial (GC) zoning district standards of the *Sumter County – Zoning and Development Standards Ordinance* (the “Ordinance”). The proposed development meets the following minimum standards and development criteria:

Development Standard	Minimum Ordinance Requirement	Proposed
Front Setback (Bethel Church Rd.)	35 ft	90 ft or greater
Side Setback	0 ft	0 ft
Rear Setback	20 ft	60 ft.
Maximum Impervious Surface	92%	40%
Maximum Building Height	60 ft	+/- 21 ft

Parking Plan:

Based upon the criteria found in *Article 8, Exhibit 23: Off-street Parking Requirements for Non-Residential Land Uses* of the Ordinance, minimum off-street parking requirements for general merchandise stores are 1 space per 250 sq. ft.

Submitted parking plans show the following:

- 43 regular 9 ft. x 19 ft. parking spaces;
- 36 ft. aisle widths to support proposed 90-degree angled parking stalls;
- Landscape parking lot, as required.

Environmental:

The property is located in Zone X, which is not a special flood hazard area (SFHA), as shown on FEMA FIRM Panel: 45085C0476E, with an effective date of October 27, 2022. National Wetland Inventory (NWI) data indicates that there are no wetlands on the property.

Landscape & Tree Protection Plan:

The submitted landscape plan is based upon the requirements of *Article 8.d* and makes accommodation for irrigated landscaping.

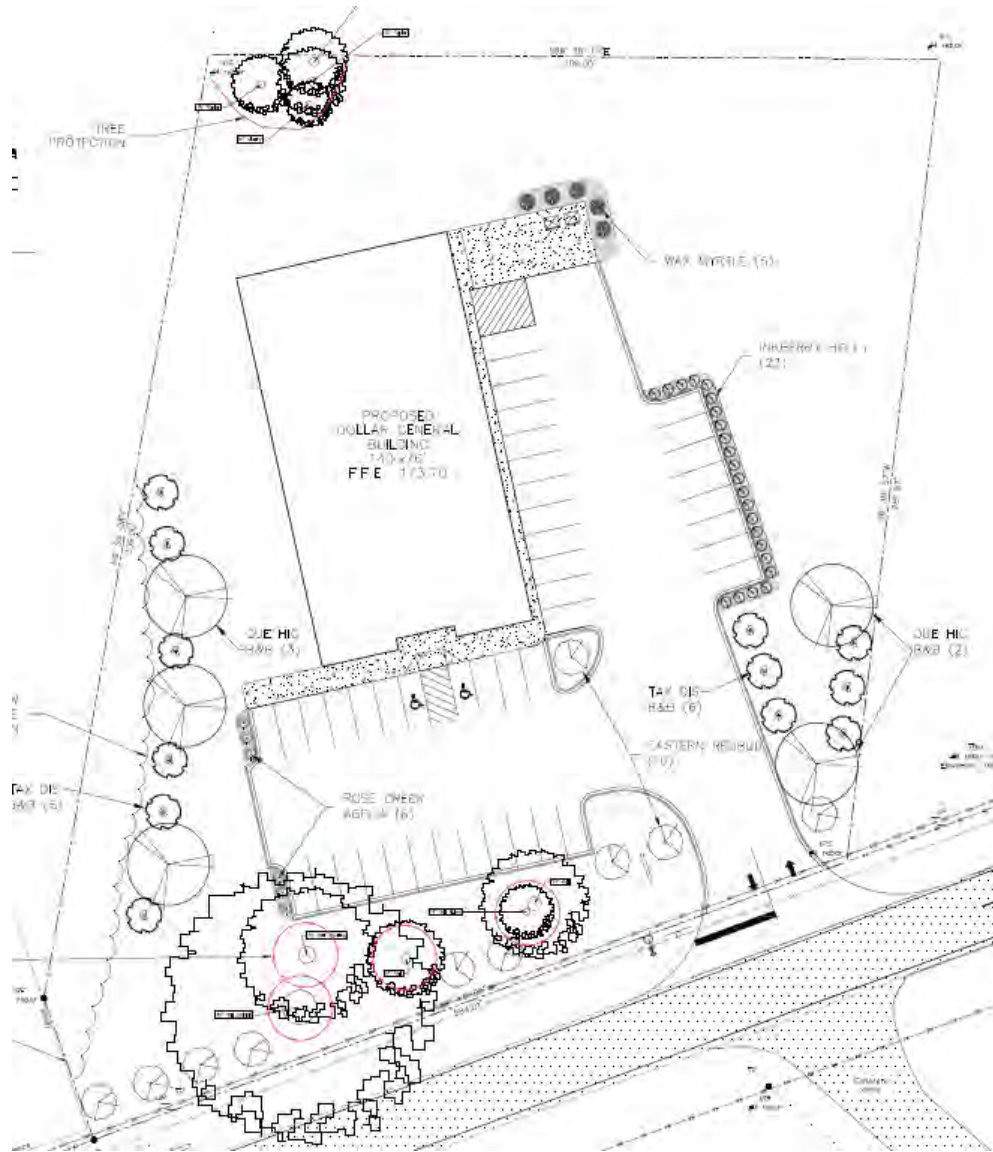


Figure 2 - Landscaping Plan (Red shows trees being retained)

PLANT SCHEDULE

TREES & SHRUBS

QTY.	ABBREVIATION	COMMON NAME	BOTANICAL NAME	NOTES
6	ABE RO2	Rose Creek Abelia	<i>Abelia X Grandiflora</i>	3 gallon
5	M-CER	Wax Myrtle	<i>Myrica Cerifera</i>	7 gallon
23	ILE GLA	Inkberry Holly	<i>Ilex Glabra</i>	3 gallon
10	C-CAN	Eastern Redbud	<i>Cercis canadensis</i>	Minimum 2" caliper
5	QUE HIG	Hightower Willow Oak	<i>Quercus Phellos</i>	Minimum 3" caliper & 10 ft in height at time of planting.
11	TAX DIS	Bald Cypress	<i>Taxodium Distichum</i>	2" Caliper

Figure 3 - Landscaping Planting Schedule

Street Buffer

Article 8.d.6 states Sumter City-County Planning Commission may require street trees when an adequate number of trees do not exist on a lot.

Bethel Church Rd. – The site has +/- 245 ft. of frontage along Bethel Church Rd., and the plans indicate that 9 understory trees will be planted along the street frontage, while preserving 1 historic oak trees and 3 significant oak trees. Understory trees vs. Canopy trees are proposed due to existence of overhead power lines.

Rear Buffer

The plan indicates that the applicant will retain 3 poplar trees and 1 cherry tree that meets the significant size threshold. The cherry tree is not a protected species of tree based on County requirements. The poplar trees are assumed to be significant without additional details on the specific species of poplar tree. No additional rear buffer plantings are required under County landscaping requirements.

Side Buffers

The plan indicates that 8 canopy trees and 1 understory tree will be planted along the east property line, near the front of the property and adjacent to the parking area. On the west side, the plan shows 9 canopy trees along the property line and parking area. Based on this layout, the proposed planting appears to be sufficient. These plantings are proposed to meet parking lot buffer requirements found in *Article 8.d.7.* and to mitigate the loss of significant and historic trees proposed for removal.

Tree Protection

The applicant states 9 significant trees, and 3 historic trees are proposed to be removed. The applicant is proposing to retain 7 significant trees and 1 historic tree. In response to staff's review comment concerning possible site adjustments to mitigate tree removal, the applicant provided the following response:

- The applicant stated in their response that the site footprint and grading plan has been evaluated and some adjustments were made to save some existing trees: *"Across the front there are some existing trees that are now being retained, but we are proposing to limb these trees to provide better clearance to the existing overhead power line and to improve sight distance looking out of the new drive. Additionally, the stormwater pond grading has been adjusted on sheet 4 to retain some existing trees in the back northwest corner of the property. Any trees being saved are being protected with tree protection that has been called out on several sheets of the plans, see sheets 2, 4 and the landscape plan. A vast majority of the existing trees are within the parking and building footprint and within the stormwater pond footprint and removal could not be avoided. I have provided an additional overlay sheet showing the trees and the site/grading footprint."*

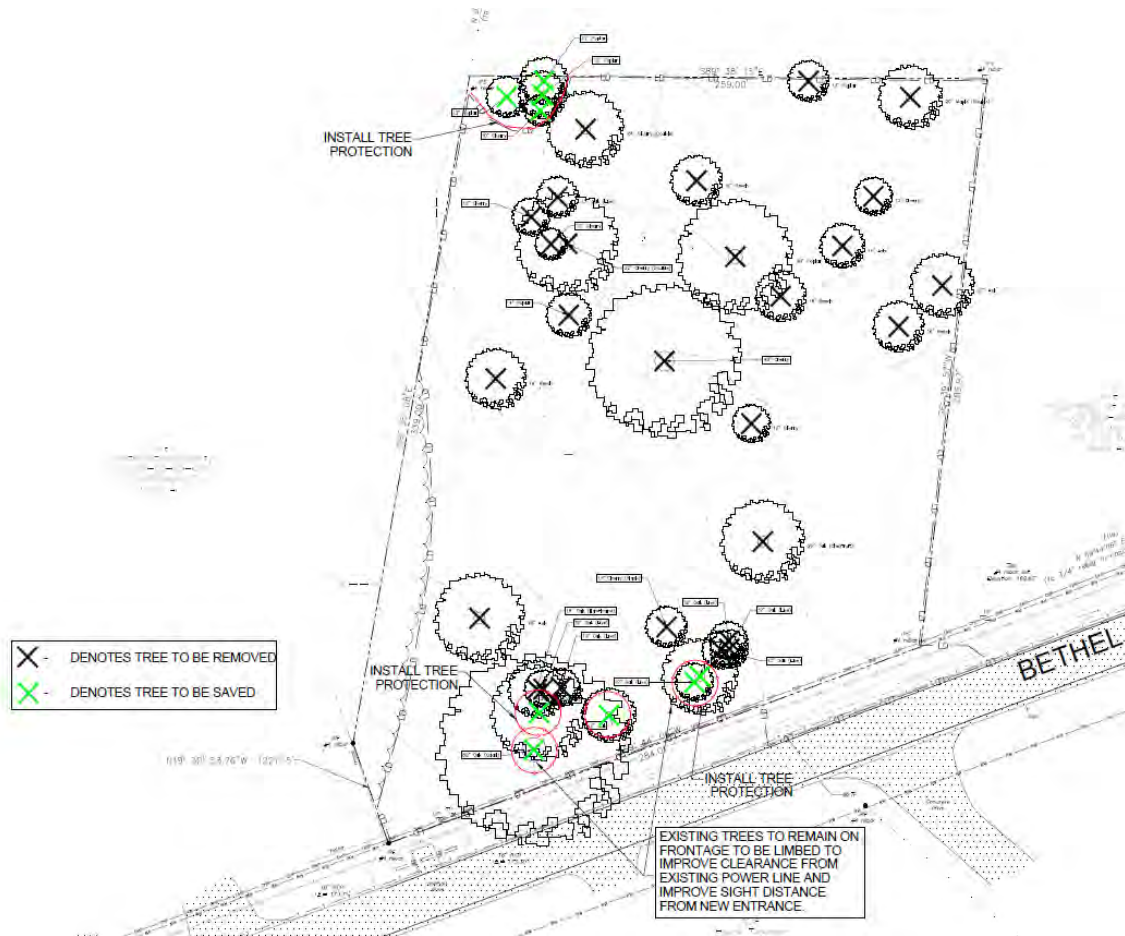


Figure 4 – Tree Survey

Transportation Review:

The site has direct frontage onto Bethel Church Rd. (S-77), an SCDOT owned/maintained roadway. The segment of Bethel Church Rd. directly in front of the subject property is a paved 2-lane road that is functionally classified as a Major Collector roadway. Per SCDOT traffic count data from Station ID# 43-0399, the annual average number of daily trips on Bethel Church Rd. near the subject property was 4,600 in 2024.

Multimodal Transportation Factors

- *Bicycle and Pedestrian:* No sidewalks are present near the site along Bethel Church Rd.
- *Rail:* The proposed project would not result in any utilization of or impact to rail lines.

Analysis of Applicable Zoning & Development Standards Ordinance Transportation Provisions

- *Traffic Impact Study Requirements:* Based on the proposed development scope and scale, a TIS is not required.
- *Circulation System Design:* The circulation system conforms to Ordinance requirements.

SCDOT encroachment permit approval is required for the proposed access onto Bethel Church Rd.

Stormwater Management:

Storm water run-off from the site will be collected via hooded grate inlets and flow via pipe to a proposed detention/infiltration pond to be located at the rear of the site.

The proposed project will require approval of a Sumter County stormwater permit. NPDES coverage will be required since the area of land disturbance will be more than one (1) acre in size. SCDOT will also review plans concerning the amount stormwater released into SCDOT right-of-way as a result of the project.

Utilities:

Fire: Placement of fire hydrants and Fire Department Connections (FDC) must be in compliance with regulatory standards. The project proposes the installation of a new fire hydrant assembly on the west side of the curb cut.

Sewer & Water: The City of Sumter will provide water service. Coordination with the applicant is on-going, and the applicant will be extending the waterline to the site. There are no significant issues that would prevent the City from providing water services. The development will be served by a private septic system.

Solid Waste: The site is proposed to be served by a private provider. Plans show the location of the commercial dumpster and enclosure.

IV. TECHNICAL REVIEW

There are no outstanding technical review items.

V. STAFF RECOMMENDATION

Staff has reviewed the major site plan application, shared the proposed plans with the technical review committee, and recommends **approval** of this request subject to the staff recommended Conditions of Approval in Exhibit I.

VI. DRAFT MOTION

1. I move the Planning Commission **approve** MSP-25-38 to conditions of approval outlined in Exhibit I, the revised site and landscaping plans titled, “*Sumter Dollar General 31287, Sumter, SC*” prepared by KB Sellars Engineering, dated August 15, 2025.
2. I move the Planning Commission **deny** MSP-25-38.
3. I move an alternate motion.

VII. PLANNING COMMISSION – August 27, 2025

Exhibit 1:
MSP-25-38/Bethel Church Rd.
Dollard General (County)
Proposed Conditions of Approval

1. The project shall be developed in substantial conformance with the revised site and landscaping plans titled, “*Sumter Dollar General 31287*” prepared by KB Sellars, dated August 15, 2025.
2. The following items are required prior to issuance of a land disturbance permit:
 - a. Approved Sumter County Stormwater Permit and NPDES concurrence letter from SCDES.
 - b. Approved Septic Tank Construction Permit from SCDES.
 - c. Approved Waterline Permit to Construct from SCDES.
3. The following items are required prior to zoning final inspection approval:
 - a. Recorded plat for the +/- 2.1-acre site.
 - b. Approved SCDOT encroachment permit.
 - c. Completion of all site developments as depicted on final civil engineered plans.
4. Separate sign permits are required for all exterior signage. All signage must be in full compliance with *Article 8.i: Sign Regulations* of the *Sumter County – Zoning & Development Standards Ordinance* prior to permit approval, issuance, and installation.

Agreed:

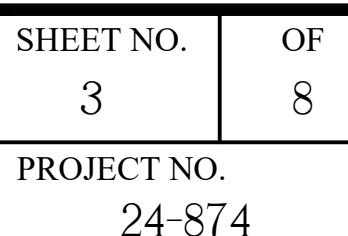
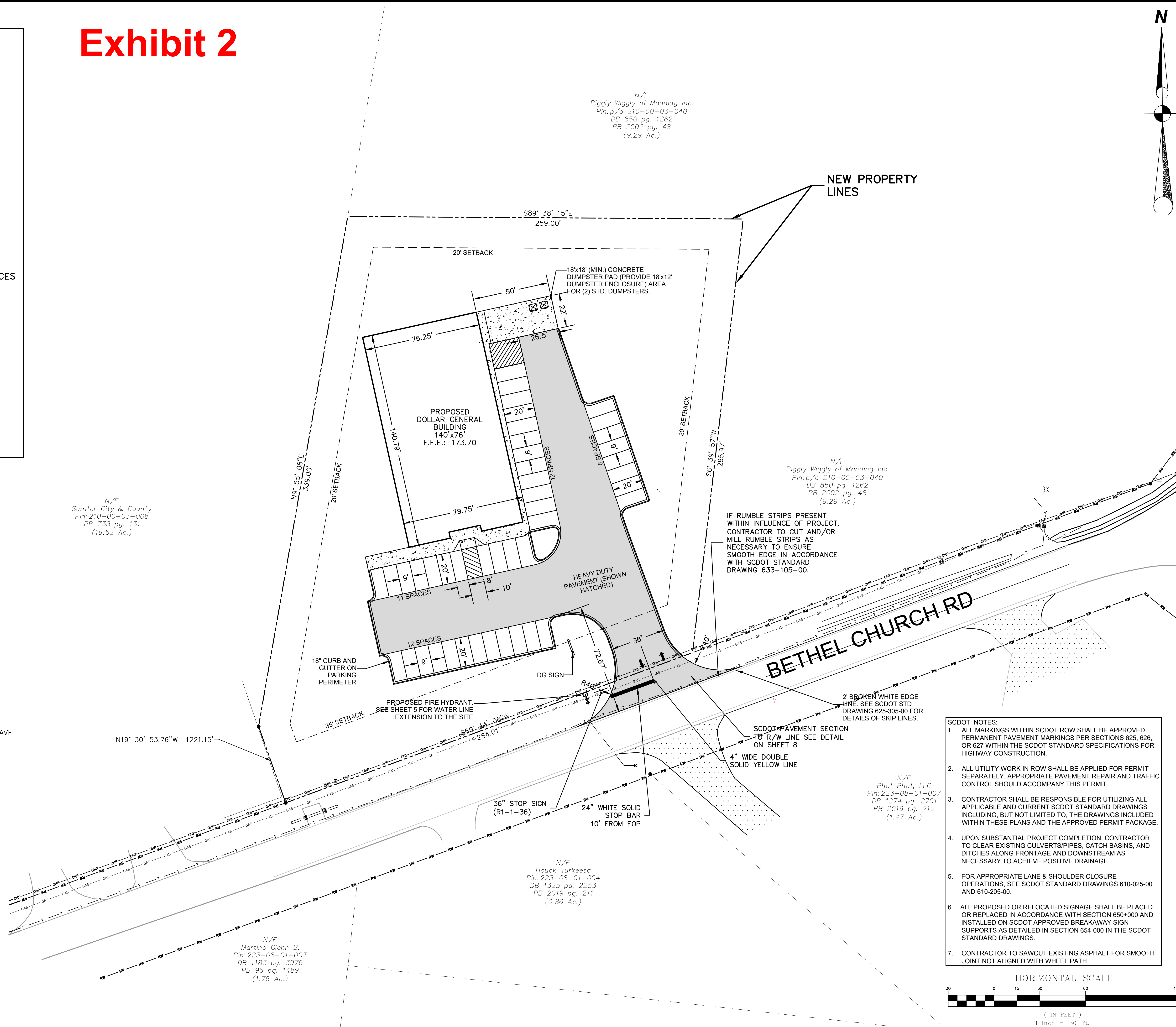
Applicant Signature

Date

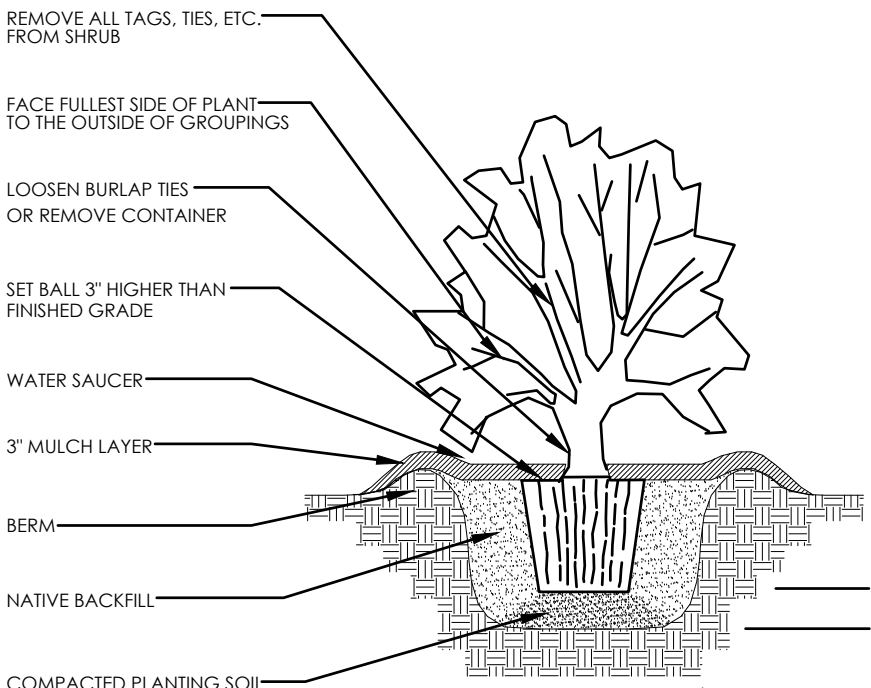
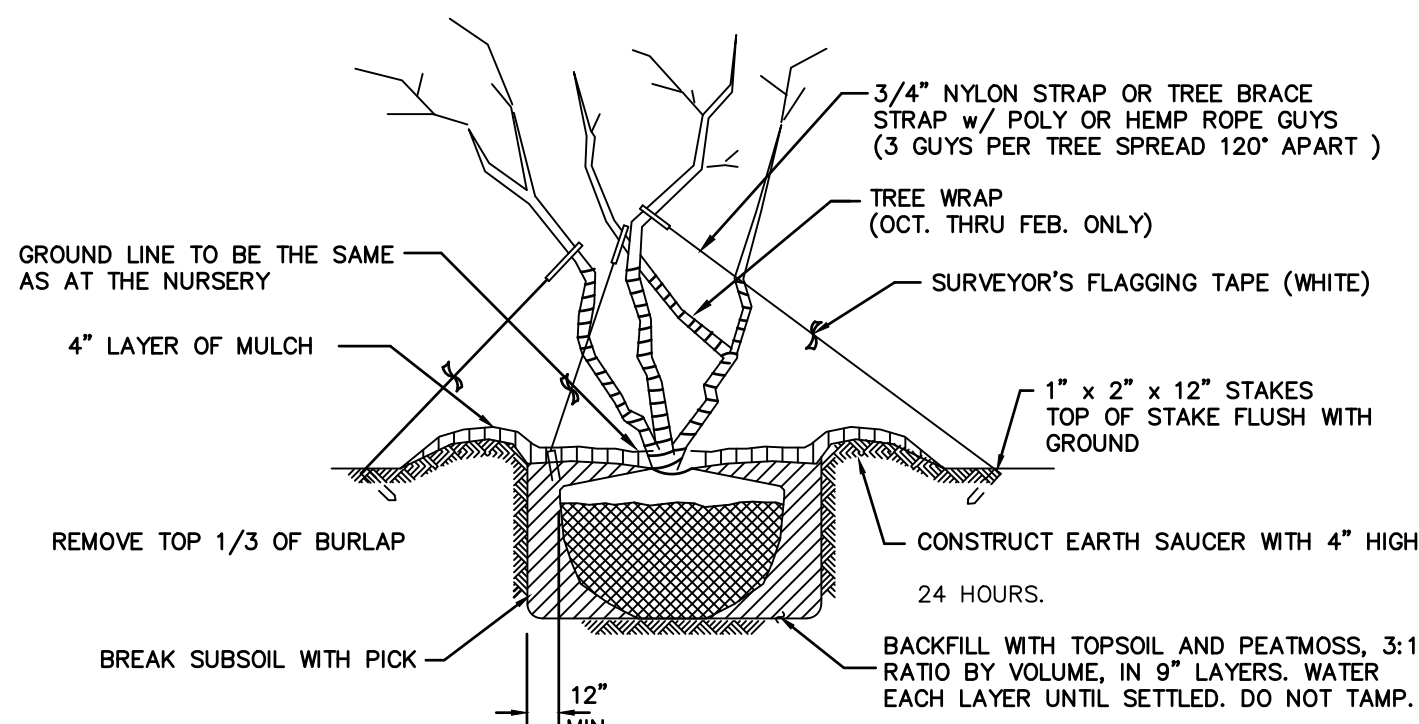
Exhibit 2

XII. FULL ZONING REVIEW OF ALL EXTERIOR SIGNS WILL OCCUR UPON FORMAL SIGN PERMIT SUBMISSION

CALL BEFORE YOU DIG !
1-888-721-7877
 PALMETTO UTILITY LOCATION SERVICES



THIS DRAWING AND THE DESIGN SHOWN THEREON ARE THE PROPERTY OF K. B. SELLARS ENGINEERING, LLC. THE REPRODUCTION, TRANSMISSION, OR ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.



SHRUB PLANTING DETAIL
SCALE: NOT TO SCALE

GENERAL NOTES:

- ALL TREES TO BE NURSERY GROWN, BURLAP AND BALL (B&B) PREFERRED.
- REMOVE ALL TREATED OR PLASTIC COATED BURLAP, STRAPPING, WIRE OR NYLON TWINE FROM ROOT BALL. AFTER SETTING IN HOLE CUT AWAY TOP 2/3 OF WIRE BASKET IF ANY.
- SOAK PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION. FOR MULCH, USE PINE NEEDLES OR SEASONED MULCH (4").
- WRAP TREES FROM GROUND TO LOWEST BRANCHES WITH BURLAP OR TREE WRAP PAPER (OPTIONAL). SECURE NEAR TOP AND BOTTOM WITH HEMP STRING ONLY.
- STAKING IS OPTIONAL. RUBBER HOSE AND ROPE OR WIRE FOR STAKING IS NOT RECOMMENDED. NO WIRE OR ROPE IS TO BE IN DIRECT CONTACT WITH TRUNK. REMOVE ALL TRUNK WRAP, TREE STRAPS, AND STAKING AFTER ONE GROWING SEASON.
- GUY WIRES ARE NOT PERMITTED IN STREET RIGHT-OF-WAY.
- ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI 1990, PART 1, "SHADE AND FLOWERING TREES).

PLANT SCHEDULE

TREES & SHRUBS

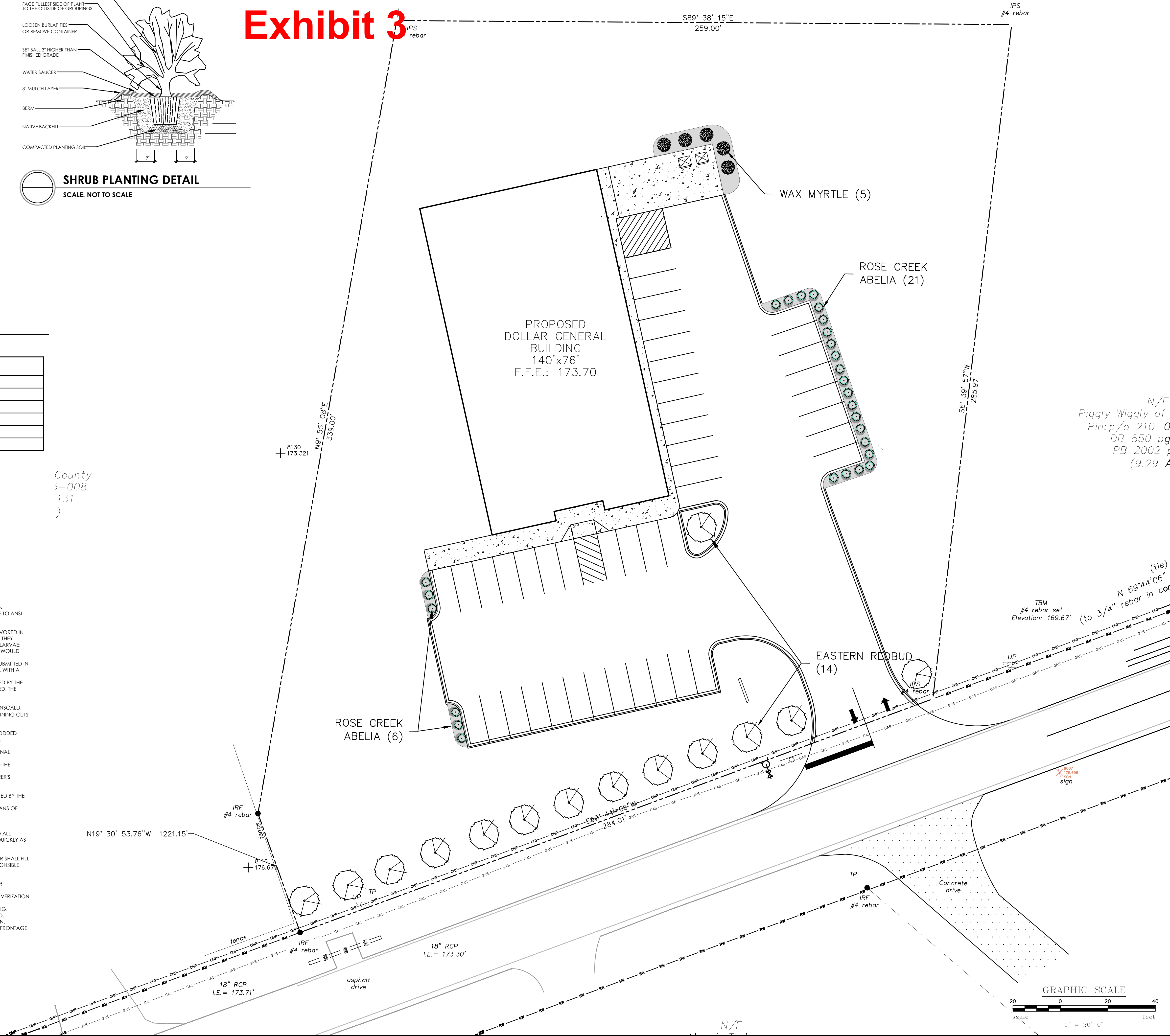
QTY.	ABBREVIATION	COMMON NAME	BOTANICAL NAME	NOTES
27	ABER02	Rose Creek Abelia	Abelia X Grandiflora	3 gallon
5	M-CER	Wax Myrtle	Myrica Cerifera	7 gallon
14	C-CAN	Eastern Redbud	Cercis canadensis	Minimum 2" caliper

PLANTING NOTES

- MATERIALS LIST WAS PREPARED FOR ESTIMATING PURPOSES. CONTRACTOR SHALL MAKE OWN QUANTITY TAKE-OFF USING DRAWINGS AND SPECIFICATIONS TO DETERMINE QUANTITIES TO HIS SATISFACTION. REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY EFFECT BIDDING.
- ROOT TYPES MAY BE FREELY SUBSTITUTED IN CASE OF BALLED AND BURLAPPED OR CONTAINER GROWN. ALL PLANT MATERIAL MUST ADHERE TO ANSI Z60.1-2004 (AMERICAN STANDARD FOR NURSERY STOCK) SPECIFICATIONS FOR ROOT BALLS AND CONTAINER SIZES.
- CONTRACTOR TO VERIFY THAT ALL PLANT MATERIALS ARE AVAILABLE AS SPECIFIED WHEN BID/PROPOSAL IS SUBMITTED.
- UNLESS SPECIFICALLY NOTED, ALL PLANTS SHALL BE OF SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, SYMMETRICAL, AND SO TRAINED OR FAVORED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY AND OUTSTANDINGLY SUPERIOR IN FORM, COMPACTNESS AND SYMMETRY. THEY SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF; FREE OF DISEASE AND INSECTS, EGGS OR LARVAE; AND SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS. THEY SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT VIGOROUS GROWTH.
- SUBSTITUTIONS OF PLANT MATERIALS WILL NOT BE PERMITTED UNLESS AUTHORIZED IN WRITING BY THE LANDSCAPE ARCHITECT. IF PROOF IS SUBMITTED IN WRITING THAT A PLANT SPECIFIED IS NOT OBTAINABLE, CONSIDERATION WILL BE GIVEN TO THE NEAREST AVAILABLE SIZE OR SIMILAR VARIETY, WITH A CORRESPONDING ADJUSTMENT OF THE CONTRACT PRICE.
- PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED, EXCEPT THAT PLANTS LARGER THAN THOSE SPECIFIED MAY BE USED IF APPROVED BY THE LANDSCAPE ARCHITECT IN WRITING. USE OF LARGER PLANTS SHALL NOT INCREASE THE CONTRACT PRICE. IF LARGER PLANTS ARE APPROVED, THE ROOT BALL SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.
- ROOT FLARE OF PLANT MATERIAL MUST BE AT OR SLIGHTLY HIGHER THAN EXISTING GRADE. PULL MULCH BACK 6 IN. FROM ROOT FLARE.
- TREES WITH MULTIPLE LEADERS, UNLESS SPECIFIED, WILL BE REJECTED. TREES WITH A DAMAGED OR CROOKED LEADER, BARK ABRASIONS, SUNSCALD, DISFIGURING KNOTS, INSECT DAMAGE, CUTS OF LIMBS OVER 20 MM (3/4 IN.) IN DIAMETER THAT ARE NOT COMPLETELY CLOSED OR FLUSH PRUNING CUTS THAT DO NOT PRESERVE THE COLLAR AT THE BRANCH WILL BE REJECTED.
- TREE PLANTING DETAILS AND SPECIAL PROVISIONS FOR PLANTING MUST BE FOLLOWED. DETAILS ARE PROVIDED ON SHEET 1.
- CONTRACTOR SHALL TEST SOIL pH AND CONDITIONS FOR ALL SOD AREAS TO INSURE THAT PROPER SOIL REQUIREMENTS ARE MET FOR THE SODDED LAWN. SOIL SHALL BE AMENDED BY CONTRACTOR AS INDICATED BY SOIL TEST AND SPECIFICATIONS TO ACHIEVE PROPER SOIL CONDITIONS.
- ALL PLANT BEDS TO RECEIVE 4" DEEP HARDWOOD MULCH.
- CONTRACTOR TO MAINTAIN THE PLANTINGS AND CONTROL WEEDS IN MULCH AREAS THROUGH THE DURATION OF CONSTRUCTION UNTIL FINAL ACCEPTANCE.
- IN THE PLANT SCHEDULE, PLANTS NOTED AS "SPECIMEN", SHALL BE SELECTED BY THE LANDSCAPE ARCHITECT AT THE NURSERY OR PHOTOS OF THE PLANTING STOCK SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
- PREEMERGENT HERBICIDE SHALL BE APPLIED TO PLANTING AREAS PRIOR TO LANDSCAPE INSTALLATION AND ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- PLANT BED SHALL BE TESTED FOR pH AND AMENDED PRIOR TO INSTALLATION.
- ALL PLANT MATERIAL SHALL CONFORM TO STANDARDS SET FORTH BY "AMERICAN STANDARDS FOR NURSERY STOCK" ANSI Z60.1-2004 PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL PLANT MATERIAL SHALL BE PROTECTED DURING TRANSPORT AND DELIVERY TO JOB SITE WITH SHADE CLOTH OR OTHER ACCEPTABLE MEANS OF WINDBURN PREVENTION.
- ANY SUBSTITUTIONS IN SIZE AND/OR PLANT MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE PLANTING CAN BEGIN.
- ALL TREES MUST BE STRAIGHT TRUNK, FULL HEADED, AND MEET ALL REQUIREMENTS SPECIFIED.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING CONSTRUCTION. SHOULD THE CONTRACTOR CAUSE DAMAGE TO ANY UTILITIES, NECESSARY REPAIRS SHALL BE MADE AS QUICKLY AS PRACTICABLE, AT CONTRACTOR'S EXPENSE.
- ALL ELEMENTS OF LANDSCAPING SHALL BE INSTALLED SO AS TO MEET ALL APPLICABLE ORDINANCES AND CODES REQUIREMENTS.
- CONTRACTOR SHALL ASSURE DRAINAGE AND PERCOLATION OF PLANTING PITS PRIOR TO INSTALLATION OF PLANT MATERIAL. CONTRACTOR SHALL FILL ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE THAT PROPER DRAINAGE AND PERCOLATION IS AVAILABLE. CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT OF ALL PLANTS LOST DUE TO INADEQUATE DRAINAGE CONDITIONS.
- BALLED AND BURLAP MATERIAL SHALL HAVE THE TOP ONE HALF (1/2) OF THE BURLAP AND STRAPS REMOVED.
- CONTRACTORS SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANTS LISTS, GENERAL NOTES AND THE PLANTING SPECIFICATIONS FOR COMPLETE LANDSCAPE PLANTING INSTRUCTIONS.
- TURF GRASS SHALL BE PLANTED AFTER ALL PLANTS ARE INSTALLED AND MULCHED. SEED AND/OR SOD BED PREPARATIONS BY MEANS OF PULVERIZATION TO LOOSEN SOIL, SMOOTH AND FINE GRADE AREA REMOVING ANY ROCKS, ROOTS, TRASH, AND CLODS OVER ENTIRE AREA.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING IN FULL ALL PLANTING AREAS (INCLUDING WATERING, SPRAYING, MULCHING, MOWING, FERTILIZING, ETC.) UNTIL THE OWNER AND LANDSCAPE ARCHITECT ACCEPT CONSTRUCTION IN FULL AT THE END OF THE ESTABLISHED PERIOD.
- CONTRACTOR TO GUARANTEE PLANT MATERIAL FOR 12 MONTHS ESTABLISHMENT PERIOD FOLLOWING DATE OF COMPLETED CONSTRUCTION.
- ALL REQUIRED PLANTING AREAS SHALL BE MECHANICALLY IRRIGATED. THIS SHALL INCLUDE ALL TREE ISLANDS AND ALL AREAS OF REQUIRED FRONTAGE LANDSCAPING BETWEEN THE PARKING LOT AND PUBLIC STREETS.

CALL BEFORE YOU DIG !
1-888-721-7877
PALMETTO UTILITY LOCATION SERVICES

Exhibit 3



KB SELLARS ENGINEERING
ENGINEERS & PLANNERS
PO BOX 161441
BOILING SPRINGS, SC 29316
(864) 699-5212 PHONE
(864) 699-5212 FAX
EMAIL: KELLY@KBSSELLARS.COM

Professional Seal
K. B. SELLARS
Professional Engineer
South Carolina
No. 00362
DATE: 03/04/25

NO.	DATE	DESCRIPTION	BY:
1	03/04/25	PERMIT	KBS

PROJECT TITLE:
DOLLAR GENERAL
SUMTER
DOLLAR GENERAL 31287

SHEET TITLE:
LANDSCAPE PLAN

SHEET NO.
L1
OF
L1
PROJECT NO.
24-874

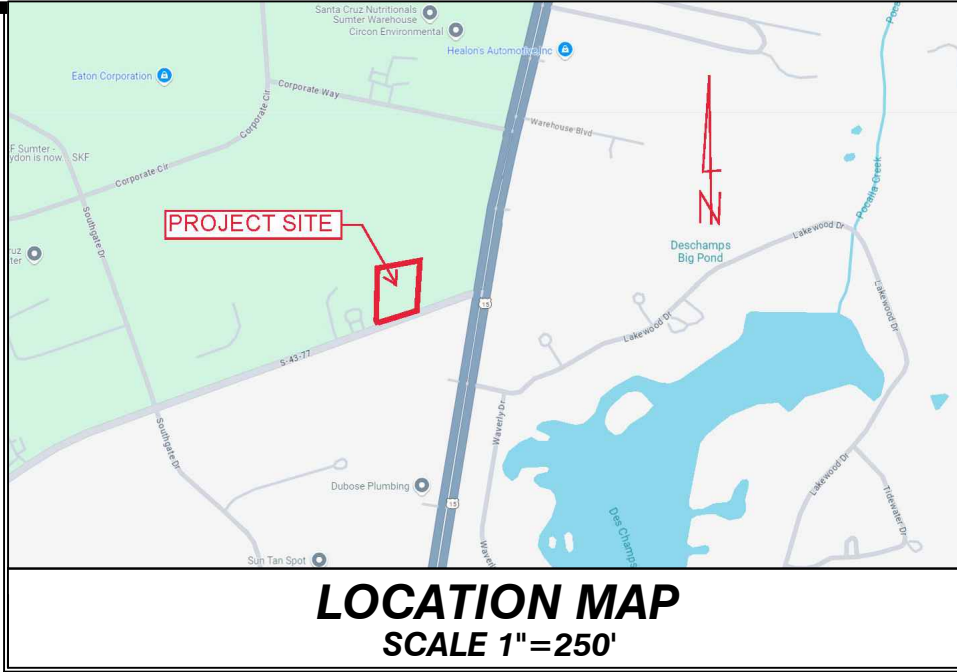
THIS DRAWING AND THE DESIGN SHOWN THEREON ARE THE PROPERTY OF K. B. SELLARS ENGINEERING, LLC. THE REPRODUCTION, COPIING, OR TRANSMISSION OF THIS DRAWING IN ANY MANNER IS PROHIBITED AND ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.

GENERAL SITEWORK NOTES

1. TOPOGRAPHIC AND BOUNDARY SURVEY FURNISHED BY MATHIS AND MULDROW
2. THE CONTRACTOR SHALL VERIFY THE LOCATION AND INVERT ELEVATION OF ALL UNDERGROUND UTILITIES, AND SHALL VERIFY THE PROPERTY CORNERS AND TOPO BEFORE ANY CONSTRUCTION IS BEGUN. THE CONTRACTOR SHALL CALL THE UTILITY COMPANIES BEFORE EXCAVATION IS STARTED TO VERIFY THE LOCATION OF ALL BURIED CABLES AND UNDERGROUND UTILITIES.
3. THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONSTRUCTION DOCUMENTS AND THE SITE CONDITIONS, AND SHALL AT ONCE REPORT TO THE ENGINEER ANY INCONSISTENCIES OR OMISSIONS DISCOVERED. THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS TO VERIFY THAT ALL LOCATIONS ARE CORRECT PRIOR TO COMMENCING CONSTRUCTION.
4. ALL DIMENSIONS SHOWN ARE MEASURED FROM THE OUTSIDE FACE OF THE BUILDING AND TO THE FACE OF THE CURB OR ASPHALT LINE.
5. THE CONTRACTOR SHALL VERIFY THE BENCHMARK LOCATION AND ELEVATION WITH THE SURVEYOR PRIOR TO BEGINNING CONSTRUCTION.
6. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EASEMENTS ON THE SITE PRIOR TO PROCEEDING WITH CONSTRUCTION.
7. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION OBSERVATIONS OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON, OR NEAR THE CONSTRUCTION SITE. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL BARRICADES, WARNING SIGNS, FLASHING LIGHTS, AND TRAFFIC CONTROL DEVICES DURING CONSTRUCTION. THE CONTRACTOR IS TO COMPLY WITH ALL OSHA REGULATIONS, REQUIREMENTS, AND SAFETY MEETING REQUIREMENTS.
8. EARTHWORK SHALL BE TO THE LINES AND GRADES SHOWN ON THE DRAWINGS. PROOF ROLLING AND COMPACTION TEST SHALL BE ACCOMPLISHED IN THE FIELD TO TEST ALL AREAS. THE OWNER SHALL RETAIN THE SERVICES OF A TESTING COMPANY TO TEST ALL AREAS.
9. TOPSOIL SHALL BE STRIPPED TO DEPTH AS REQUIRED AND STOCKPILED AS DIRECTED BY THE OWNER'S REPRESENTATIVE, OR SHALL BE LEGALLY REMOVED FROM THE SITE IF A STOCKPILE AREA IS NOT AVAILABLE ON THE SITE.
10. ALL NEW ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS.
11. THE GRADING CONTRACTOR SHALL PROOF-ROLL THE CONSTRUCTION AREA WITH A FULLY LOADED TANDEM-AXEL DUMP TRUCK, OR APPROVED EQUAL, BY MAKING TWO COMPLETE PASSES IN EACH OF TWO PERPENDICULAR DIRECTIONS. ALL SOFT SPOTS SHALL BE UNDERCUT AND RE-COMPACTED WITH SUITABLE STRUCTURAL FILL MATERIAL.
12. EARTHWORK SHALL BE TO THE LINES AND GRADES SHOWN. ALL FILL COMPACTION SHALL BE 95% OF MAXIMUM PER ASTM D-698 (STANDARD PROCTOR). ALL MATERIAL WITHIN 18 INCHES OF PAVEMENT AND BUILDING SUBGRADE SHALL BE COMPACTED TO 98% OF MAXIMUM. FILL MATERIAL SHALL NOT CONTAIN ORGANIC MATERIAL, DEBRIS OR ROCKS.
13. ALL FILL MATERIAL SHALL BE FROM A SOURCE APPROVED BY THE TESTING COMPANY AND SHALL BE FREE OF ROOTS, ORGANICS AND BOULDERS LARGER THAN 1 CUBIC FOOT. FILL SHALL BE PLACED IN 8 INCH LIFTS AND COMPACTED AS SPECIFIED.
14. THE GRADING CONTRACTOR SHALL INCLUDE IN HIS COST ALL CUT, FILL, AND OR BORROW, NECESSARY FOR THE COMPLETION OF THE GRADING OPERATION. THE CONTRACTOR SHALL INCLUDE IN HIS COST ALL WETTING AND OR DRYING OF SOILS THAT IS NECESSARY TO ACHIEVE COMPACTION AS PER THE SPECIFICATIONS.
15. THE GRADING CONTRACTOR SHALL CONFORM TO ELEVATIONS AND DIMENSIONS SHOWN WITHIN A TOLERANCE OF PLUS OR MINUS 0.10 FEET.
16. THE GRADING CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM THE BUILDINGS AT ALL TIMES. THE CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ENGINEER ANY AREAS THAT MAY NOT DRAIN PROPERLY DURING CONSTRUCTION.
17. THE SEQUENCE OF WORK SHALL CONFORM TO THE EROSION CONTROL NARRATIVE.
18. THE GRADING CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE WHEN INSTRUCTIONS FROM REGULATORY AGENCIES ARE RECEIVED AND SHALL COMPLY WITH THE INSTRUCTIONS AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
19. ALL AREAS NOT TO BE COVERED BY BUILDINGS, LANDSCAPING, AND OR PAVEMENT SHALL RECEIVE 4" TOPSOIL AND BE GRASSED IN ACCORDANCE WITH THE OWNER'S SPECIFICATIONS.
20. ALL REINFORCED CONCRETE PIPE (RCP) SHALL BE CLASS III, UNLESS NOTED ON THE DRAWINGS OTHERWISE, WITH BELL AND SPIGOT ENDS, AND SHALL CONFORM TO ALL REQUIREMENTS OF ASTM C-76, LATEST EDITION. IT SHALL BE INSTALLED WITH FLEXIBLE PLASTIC (BITUMEN) GASKETS AT ALL JOINTS. GASKETS SHALL COMPLY WITH AASHTO M-198, TYPE "B", AND SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE PIPE MANUFACTURER'S RECOMMENDATIONS.
21. ALL REFERENCE TO STANDARDS AND SPECIFICATIONS FOR PAVING CONSTRUCTION AND MATERIALS ARE MADE FROM THE LOCAL STATE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS.
22. CONCRETE CURB AND GUTTER SHALL BE 18 INCHES WIDE WITH A 6 INCH CURB AND SHALL BE CONSTRUCTED USING 3,000 PSI CONCRETE, WITH EXPANSION JOINTS AND CONTRACTION JOINTS INSTALLED TO COMPLY WITH THE LOCAL DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR MATERIALS AND CONSTRUCTION OF CURB AND GUTTER.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATING ANY EXISTING UTILITIES NECESSARY FOR THE SITE CONSTRUCTION, INCLUDING ALL PERMITS AND FEES.
24. ALL UTILITY TRENCHES SHALL BE THOROUGHLY COMPACTED AND TESTED TO PREVENT SETTLEMENT AND DAMAGE TO POSSIBLE FUTURE PAVING.

STANDARD NOTES

1. IF NECESSARY, SLOPES, WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
 - WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
 - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
2. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.
 - WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
 - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
3. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY, OR INCORRECTLY INSTALLED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
4. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
5. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
6. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAY(S) FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
7. RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C REG. 72-300 ET SEQ. AND SCR100000.
8. TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
9. ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN'T BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
10. LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
11. A COPY OF THE SWPPP, INSPECTION RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.
12. INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.
13. MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
14. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE;
15. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPS (SEDIMENT BASIN, FILTER BAG, ETC.).
16. THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:
 - WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL;
 - WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS;
 - FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE; AND
 - SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.
17. AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
18. IF EXISTING BMPS NEED TO BE MODIFIED OR IF ADDITIONAL BMPS ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPS MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
19. A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.



SUMTER DOLLAR GENERAL 31287

DRAWING INDEX

SHEET TITLE

SHEET NO.

COVER SHEET	1
EXISTING CONDITIONS	2
SITE PLAN	3
GRADING, DRAINAGE & EROSION CONTROL PLAN	4
UTILITY PLAN	5
SITE DETAILS	6
SITE DETAILS	7
SCDOT SIGHT DISTANCE, DRIVE SPACING AND PROFILE	8
LANDSCAPE PLAN	L1

OWNER:

CDP SUMTER 7, LLC

**101 N Pine St Ste 414E,
Spartanburg, SC 29302**

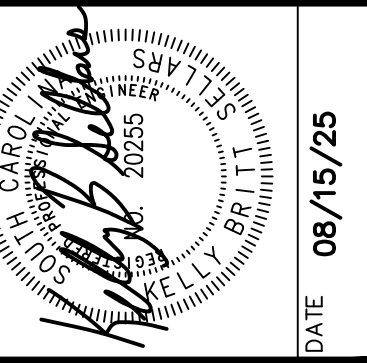
PHONE: 864-278-8585

FAX: 864-278-0185

SWPPP STATEMENT:

I have placed my signature and seal on the design documents submitted signifying that I accept responsibility for the design of the system. Further, I certify to the best of my knowledge and belief that the design is consistent with the requirements of Title 48, Chapter 14 of the Code of Laws of SC, 1976 as amended, pursuant to Regulation 72-300 et seq. (if applicable), and in accordance with the terms and conditions of SCR100000.

CALL BEFORE YOU DIG !
1-888-721-7877
PALMETTO UTILITY LOCATION SERVICES



REVISIONS		BY :	
NO.	DATE	DESCRIPTION	PERMIT
A	03/04/25	KBS	
B	08/15/25	KBS	

PROJECT TITLE:	DOLLAR GENERAL
	SUMTER DOLLAR GENERAL 31287
SHEET TITLE:	COVER SHEET

COVER SHEET

THIS DRAWING AND THE DESIGN SHOWN THEREON ARE THE PROPERTY OF K. B. SELLARS ENGINEERING, LLC. THE REPRODUCTION, IN WHOLE OR IN PART, WITHOUT THE WRITTEN PERMISSION OF K. B. SELLARS ENGINEERING, LLC, IS PROHIBITED AND ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.

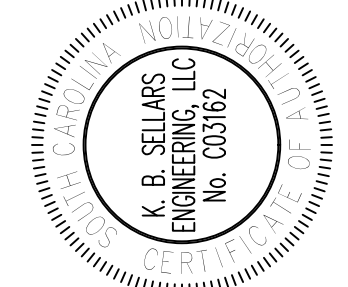
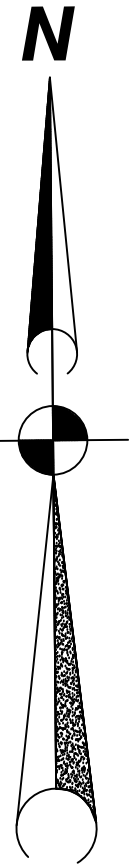
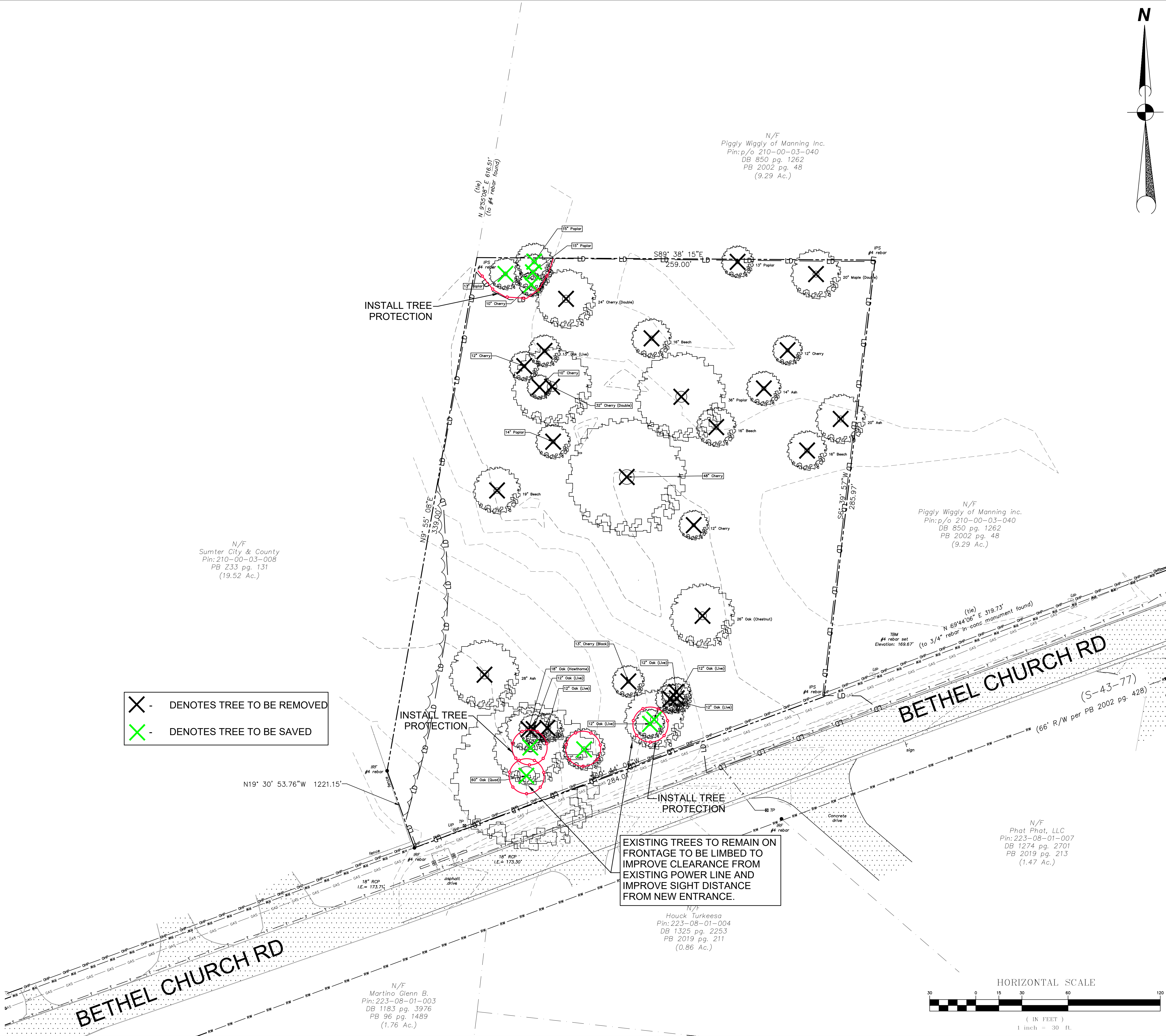
DEMOLITION NOTES

- DEMOLITION INCLUDES THE COMPLETE WRECKING OF STRUCTURES AND THE REMOVAL AND DISPOSAL OF DEMOLISHED MATERIALS, AS SHOWN ON THE DRAWINGS AND HEREIN SPECIFIED.
- CONDITION OF STRUCTURES: THE OWNER ASSUMES NO RESPONSIBILITY FOR THE ACTUAL CONDITION OF STRUCTURES TO BE DEMOLISHED.
- CONDUCT DEMOLITION OPERATIONS AND THE REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
- DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION.
- ENSURE THE SAFE PASSAGE OF PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT OPERATIONS TO PREVENT INJURY TO ADJACENT BUILDINGS, STRUCTURES, OTHER FACILITIES, AND PERSONS.
- PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS AT NO COST TO THE OWNER.
- MAINTAIN EXISTING UTILITIES, INDICATED TO REMAIN, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE DURING EMOLITION
- DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED OR USED FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION.
- COMPLY WITH STATE, LOCAL, AND FEDERAL REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- DEMOLISH BUILDINGS AND IMPROVEMENTS COMPLETELY AND REMOVE FROM THE SITE. USE SUCH METHODS AS REQUIRED TO COMPLETE THE WORK WITHIN THE LIMITATIONS OF GOVERNING REGULATIONS.
- BREAK UP AND REMOVE CONCRETE SLABS-ON-GRADE, CURBS, AND ASPHALT PAVEMENT UNLESS OTHERWISE SHOWN TO REMAIN.
- REMOVE FROM THE SITE DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND LEGALLY DISPOSE OF DEBRIS "OFF-SITE"
- ALL PIPING, FENCING AND OTHER MATERIALS THAT INTERFERE WITH NEW CONSTRUCTION SHALL BE REMOVED OR ABANDONED AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- ALL SALVAGEABLE MATERIALS WILL REMAIN THE PROPERTY OF THE OWNER. THE CONTRACTOR SHALL REMOVE AND STORE THIS MATERIAL AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- TRANSPORT MATERIALS REMOVED FROM DEMOLISHED STRUCTURES AND DISPOSE OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL LAWS. NO DEBRIS SHALL BE DISPOSED OF ON-SITE. ALL DEMOLITION WORK SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL LAWS.
- THE CONTRACTOR MUST VISIT SITE PRIOR TO SUBMITTING BID AND INCLUDE IN HIS PRICE ALL DEMOLITION AND DISPOSAL COSTS TO REMOVE/RELOCATE ANY AND ALL ITEMS THAT MAY INTERFERE WITH NEW CONSTRUCTION.
- EXISTING UTILITIES SHOWN ON THESE DRAWINGS WERE TAKEN FROM BEST AVAILABLE INFORMATION. NO CLAIM IS MADE THAT ALL UTILITIES ARE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE LOCATION AND SIZE OF ALL UTILITIES. ALL EXISTING UTILITY INFORMATION SHOWN IS BASED ON INFORMATION PROVIDED BY OTHERS OR AS LOCATED IN FIELD AND ARE APPROXIMATE. CONTRACTOR SHALL CONFIRM LOCATIONS AND CONTACT LOCATION SERVICES PRIOR TO ANY DIGGING.
- THE CONTRACTOR SHALL CONTROL DUST AND DEBRIS DURING DEMOLITION AND CONSTRUCTION. THE CONTRACTOR SHALL NOT ALLOW DUST AND DEBRIS TO BECOME A NUISANCE DURING CONSTRUCTION AND DEMOLITION. ALL LOCAL ORDINANCES MUST BE OBEYED.

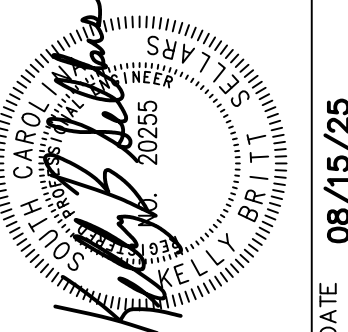
LEGEND

- ADJOINER
- SETBACK LINE
- H.D. PAVEMENT
- EXISTING CONCRETE
- NEW CONCRETE
- SLOPE FABRIC
- EXISTING STORM DRAINAGE AND STRUCTURE
- NEW STORM DRAINAGE AND STRUCTURE
- EXISTING CONTOUR LINE
- FINISHED CONTOUR LINE
- FINISHED SPOT GRADE, TOP OF SIDEWALK/PAVE
- EXISTING POWER POLE, OVERHEAD ELECTRIC LINE AND GUY WIRE
- FENCE LINE (WOOD OR CHAINLINK)
- EXISTING SEWER MAIN AND MANHOLE
- EXISTING WATER MAIN WITH VALVE
- EXISTING GAS MAIN
- EXISTING TELEPHONE LINE
- FIBER OPTIC CABLE
- FLOOD ZONE
- PROPERTY LINE & IRON PIN FOUND OR SET LIMITS OF DISTURBANCE
- SILT FENCE
- NEW SEWER SERVICE
- NEW WATER SERVICE

CALL BEFORE YOU DIG !
1-888-721-7877
PALMETTO UTILITY LOCATION SERVICES



KB SELLARS ENGINEERING
ENGINEERS & PLANNERS
PO BOX 161441
BOILING SPRINGS, SC 29316
(804) 699-5212 PHONE
(804) 699-5212 FAX
EMAIL: KELLY@KBSSELLARS.COM



REVISIONS		BY :
DESCRIPTION		KBS
PERMIT		KBS
PER PLANNING		KBS
NO.	DATE	
A	03/04/25	
B	08/15/25	

DOLLAR GENERAL
SUMTER
DOLLAR GENERAL 31287
SOUTH CAROLINA

EXISTING CONDITIONS

SHEET NO.	OF
2	8
PROJECT NO.	
24-874	

THIS DRAWING AND THE DESIGN SHOWN THEREON ARE THE PROPERTY OF K. B. SELLARS ENGINEERING, LLC. THE REPRODUCTION, COPYING OR USE OF THIS DRAWING WITHOUT WRITTEN CONSENT IS PROHIBITED AND ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.

SEQUENCE OF CONSTRUCTION

1. RECEIVE NPDES COVERAGE FROM DHEC
2. PRE-CONSTRUCTION MEETING (ON-SITE IF MORE THAN 10 DISTURBED ACRES AND NON-LINEAR)
3. NOTIFY DHEC AND SUMTER COUNTY OFFICE 48 HOURS PRIOR TO BEGINNING LAND-DISTURBING ACTIVITIES
4. INSTALLATION OF CONSTRUCTION ENTRANCE(S)
5. CLEARING & GRUBBING ONLY AS NECESSARY FOR INSTALLATION OF PERIMETER CONTROLS
6. INSTALLATION OF PERIMETER CONTROLS (E.G., SILT FENCE), INSTALL SODOT BYPASS PIPE
7. CLEARING & GRUBBING ONLY IN AREAS OF BASINS/ TRAPS/ PONDS
8. INSTALLATION OF BASINS/ TRAPS/ PONDS/ BAFFLES AND INSTALLATION OF DIVERSIONS TO THOSE STRUCTURES (OUTLET STRUCTURES MUST BE COMPLETELY INSTALLED AS SHOWN ON THE DETAILS BEFORE PROCEEDING TO NEXT STEP; AREAS DRAINING TO THESE STRUCTURES CANNOT BE DISTURBED UNTIL THE STRUCTURES AND DIVERSIONS TO THE STRUCTURES ARE COMPLETELY INSTALLED)
9. CLEARING & GRUBBING OF SITE OR DEMOLITION (SEDIMENT & EROSION CONTROL MEASURES FOR THESE AREAS MUST ALREADY BE INSTALLED AND MAINTENANCE OF THE BMPs ENTIRE THE DURATION OF THE PROJECT).
10. ROUGH GRADING
11. INSTALLATION OF CONCRETE FLUME AND PLACEMENT OF RIP-RAP PROTECTION.
12. FINE GRADING, PAVING, ETC. AND PLACEMENT OF POST INLET PROTECTION AS EACH INLET.
13. PERMANENT/ FINAL STABILIZATION
14. CLEAN-OUT OF DETENTION BASINS THAT WERE USED AS SEDIMENT CONTROL STRUCTURES AND RE-GRADING OF DETENTION POND BOTTOMS; IF NECESSARY, MODIFICATION OF SEDIMENT BASIN RISER TO CONVERT TO DETENTION BASIN OUTLET STRUCTURE.
15. REMOVAL OF TEMPORARY SEDIMENT & EROSION CONTROL MEASURES AND BAFFLES AFTER ENTIRE AREA DRAINING TO THE STRUCTURE IS FINALLY STABILIZED (THE DEPARTMENT RECOMMENDS THAT THE PROJECT OWNER/ OPERATOR HAVE THE SWPPP PREPARER OR REGISTRATION EQUIVALENT APPROVE THE REMOVAL OF TEMPORARY STRUCTURES.)
16. SUBMIT NOTICE OF TERMINATION (NOT) TO SCDEH AS APPROPRIATE

NOTE:

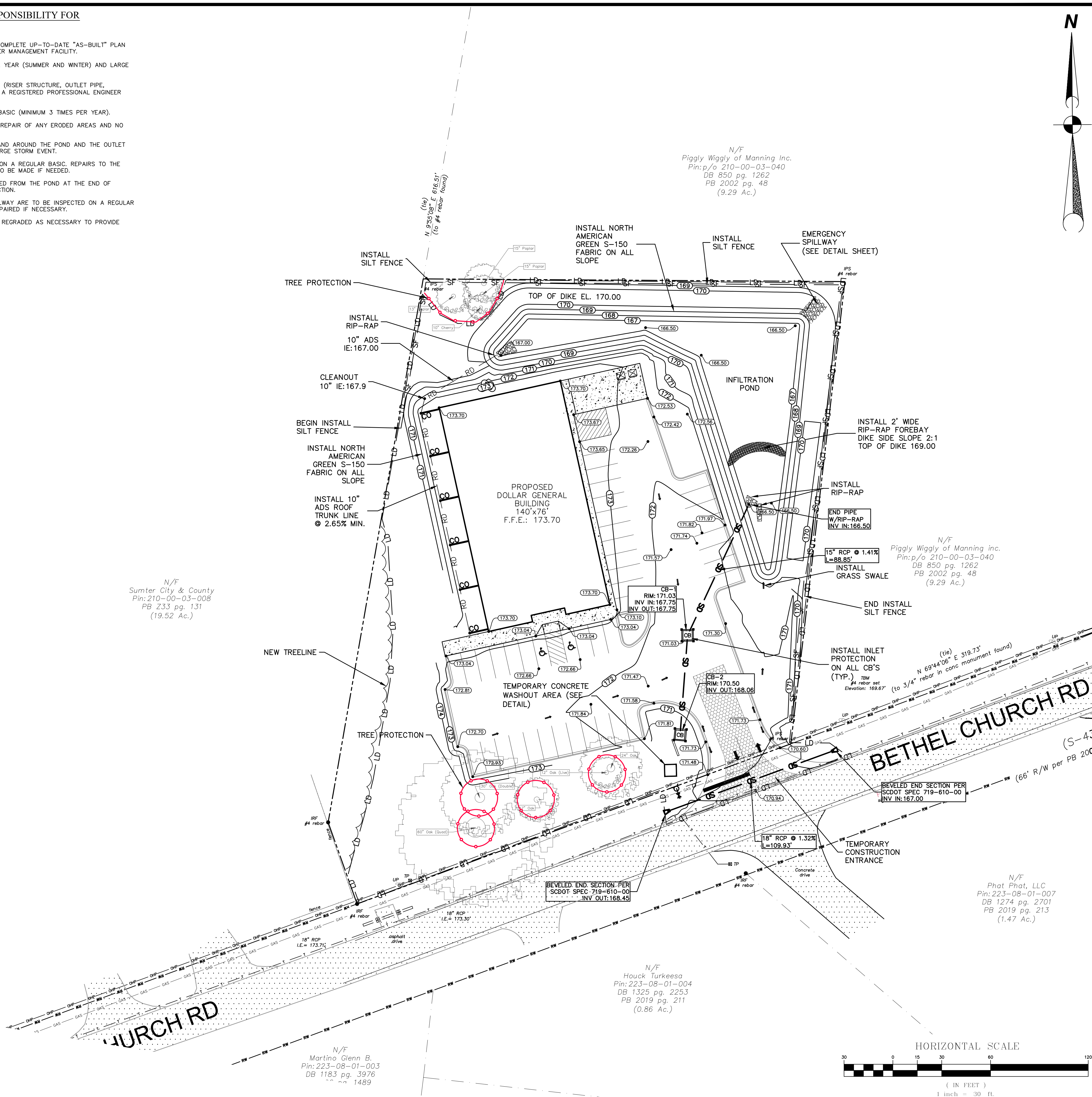
A summary report by the qualified person(s) performing the stormwater inspections shall be submitted to the SCSWU monthly. This report must contain at a minimum a certification that inspections are being performed and offsite areas have not been impacted. Items with significant potential for impacting offsite areas, water of the state, wetlands, and stormwater conveyance devices shall be listed if they have not been corrected. Report can be hard copy and mailed to the SCSWU or emailed to aconyers@sumtercountysc.org

The person responsible for the inspections shall maintain a record of inspections and the deficiencies identified. This record shall be stored at the location where the approved plan is maintained. **If the site is a part of a subdivision**, the inspector shall perform inspections relative to Individual Lot Plans (ILP). Individual lots that are not in compliance with the ILP shall be referenced on the inspection report along with the lot number and the responsible builder's name, address and telephone number.

LEGEND

- | | |
|--|---|
| | ADJOINER |
| | SETBACK LINE |
| | H.D. PAVEMENT |
| | EXISTING CONCRETE |
| | NEW CONCRETE |
| | SLOPE FABRIC |
| | EXISTING STORM DRAINAGE AND STRUCTURE |
| | NEW STORM DRAINAGE AND STRUCTURE |
| | EXISTING CONTOUR LINE |
| | FINISHED CONTOUR LINE |
| | FINISHED SPOT GRADE, TOP OF SIDEWALK/PAVE |
| | EXISTING POWER POLE, OVERHEAD ELECTRIC LINE AND GUY WIRE |
| | FENCE LINE (WOOD OR CHAINLINK) |
| | EXISTING SEWER MAIN AND MANHOLE |
| | EXISTING WATER MAIN WITH VALVE |
| | EXISTING GAS MAIN |
| | EXISTING TELEPHONE LINE |
| | FIBER OPTIC CABLE |
| | FLOOD ZONE |
| | PROPERTY LINE & IRON PIN FOUND OR SET LIMITS OF DISTURBANCE |
| | SILT FENCE |
| | NEW SEWER SERVICE |
| | NEW WATER SERVICE |

N/F
Sumter City & County
Pin: 210-00-03-008
PB Z33 pg. 131
(19.52 Ac.)



CALL BEFORE YOU DIG !
1-888-721-7877
 PALMETTO UTILITY LOCATION SERVICES

KB SELLARS
ENGINEERING

ENGINEERS & PLANNERS

10000 BOILING SPRINGS RD.
BOILING SPRINGS, SC 29316
(864) 699-9512 PHONE
(864) 670-5264 FAX
EMAIL: KELLY@KBSSELLARS.COM



DATE 08/15/25

NO.	DATE	DESCRIPTION	BY:
A	03/04/25	PERMIT	KBS
B	08/15/25	PER PLANNING	KBS

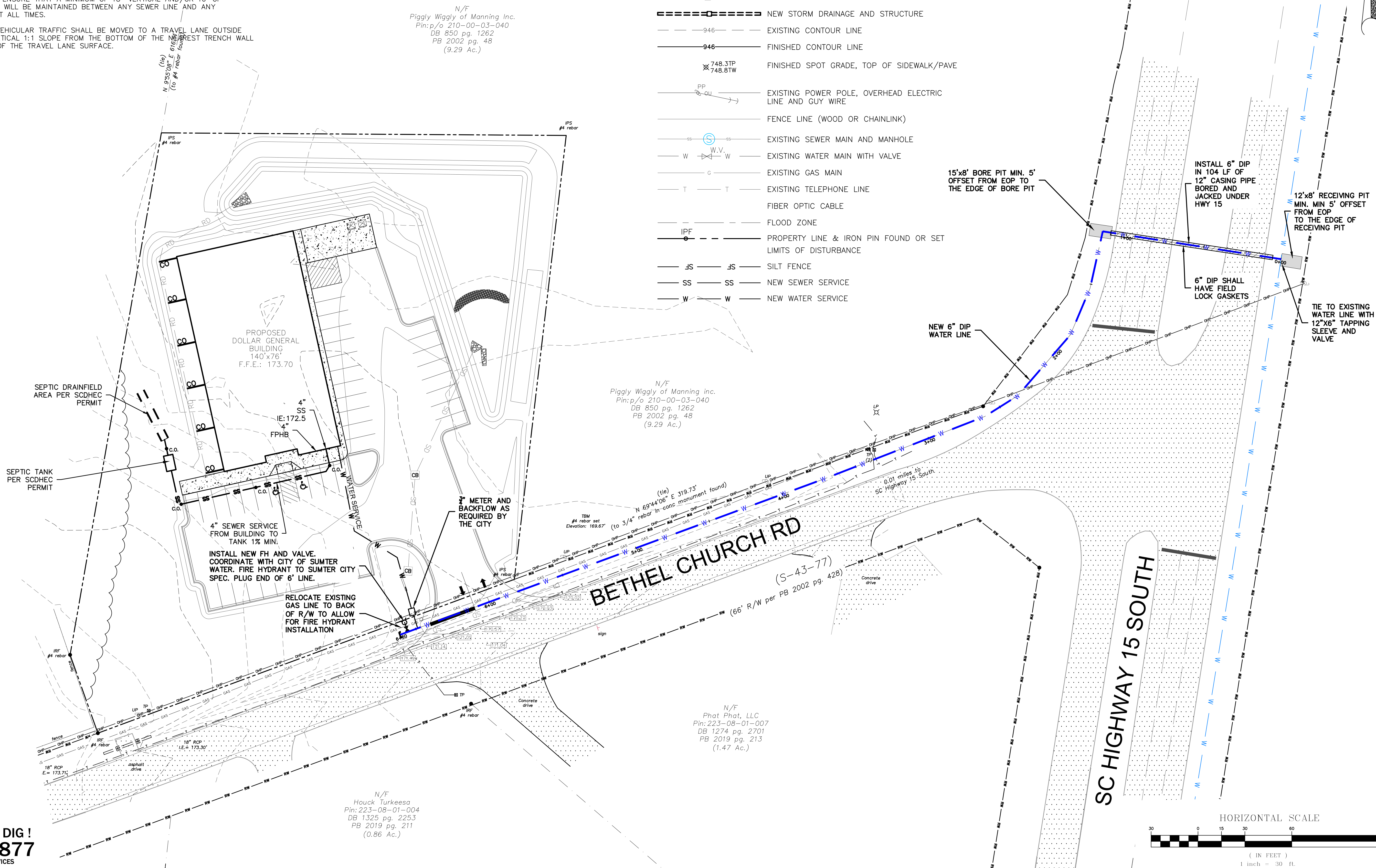
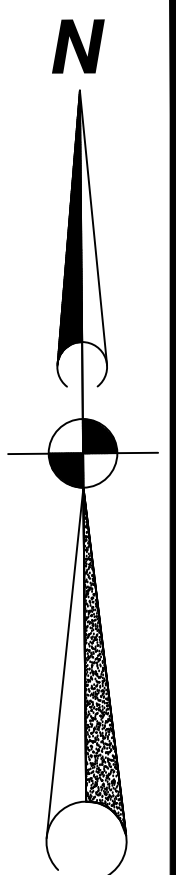
DOLLAR GENERAL
SUMTER
DOLLAR GENERAL 31287
SUMTER COUNTY
SOUTH CAROLINA

GRADING & EROSION CONTROL PLAN

SHEET NO.	OF
4	8
PROJECT NO.	
24-874	

1. EXISTING UTILITIES SHOWN ON THESE DRAWINGS WERE TAKEN FROM BEST AVAILABLE INFORMATION. NO CLAIM IS MADE THAT ALL UTILITIES ARE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE LOCATION AND SIZE OF ALL UTILITIES.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE HIS WORK WITH ANY WORK TO BE PERFORMED BY THE UTILITY OWNERS OR OTHERS IN AN EASEMENT CLEARANCE AND ARRANGE A SCHEDULE OF OPERATIONS THAT WILL ALLOW FOR COMPLETION OF THE PROJECT WITHOUT ANY UNDUE DELAY.
3. DRAINAGE SYSTEM WILL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION OF THIS PROJECT.
4. TRAFFIC WILL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION BY PERMITTING AT LEAST ONE LANE TO MOVE THROUGH THE CONSTRUCTION SITE. ALL FLAGMEN, WARNING SIGNS, BARRICADES & LIGHTS NECESSARY TO CONTROL THE TRAFFIC AND PROTECT THE PUBLIC SHALL BE FURNISHED BY THE CONTRACTOR IN ACCORDANCE WITH ALL SC DOT STANDARDS.
5. THE CONTRACTOR SHALL ENSURE THAT A MINIMUM OF 18" VERTICAL AND/OR 10' OF HORIZONTAL SEPARATION WILL BE MAINTAINED BETWEEN ANY SEWER LINE AND ANY EXISTING WATER LINES AT ALL TIMES.
6. STREET AND DRIVEWAY VEHICULAR TRAFFIC SHALL BE MOVED TO A TRAVEL LANE OUTSIDE THE LIMITS OF A THEORETICAL 1:1 SLOPE FROM THE BOTTOM OF THE NEAREST TRENCH WALL TO THE NEAREST EDGE OF THE TRAVEL LANE SURFACE.

	ADJOINER
	SETBACK LINE
	H.D. PAVEMENT
	EXISTING CONCRETE
	NEW CONCRETE
	SLOPE FABRIC
	EXISTING STORM DRAINAGE AND STRUCTURE
	NEW STORM DRAINAGE AND STRUCTURE
	EXISTING CONTOUR LINE
	FINISHED CONTOUR LINE
	FINISHED SPOT GRADE, TOP OF SIDEWALK/PAVE
	EXISTING POWER POLE, OVERHEAD ELECTRIC LINE AND GUY WIRE
	FENCE LINE (WOOD OR CHAINLINK)
	EXISTING SEWER MAIN AND MANHOLE
	EXISTING WATER MAIN WITH VALVE
	EXISTING GAS MAIN
	EXISTING TELEPHONE LINE
	FIBER OPTIC CABLE
	FLOOD ZONE
	PROPERTY LINE & IRON PIN FOUND OR SET LIMITS OF DISTURBANCE
	SILT FENCE
	NEW SEWER SERVICE
	NEW WATER SERVICE



CALL BEFORE YOU DIG !
1-888-721-7877
 PALMETTO UTILITY LOCATION SERVICES



**KB SELLARS
ENGINEERING
ENGINEERS & PLANNERS**

DATE 08/15/25

REVISIONS				BY :
NO.	DATE	DESCRIPTION		KBS
A	03/04/25	PERMIT		KBS
B	08/15/25	PER PLANNING		

PROJECT TITLE: **DOLLAR GENERAL**

SUMTER

DOLLAR GENERAL 31287

SHEET TITLE:
UTILITY PLAN

SHEET NO. 5	OF 8
PROJECT NO. 24-874	

SOUTH CAROLINA
SUMTER COUNTY

[illegible][illegible]

1.25 LB./LINEAR FT. STEEL POSTS

FILTER FABRIC WITH WIRE BACKING

MAXIMUM SPACING = 6 FT.

BACKFILL TRENCH WITH COMPACTED EARTH

RUNOFF

USE EITHER FLAT-BOTTOM OR V-BOTTOM TRENCH SEE DETAILS

HEAVY DUTY PLASTIC TIE FOR STEEL POSTS (RESTRICT TO TOP 8-INCHES OF FABRIC)

BURY FABRIC

PLAN SYMBOL

—SF —SF —

1. Do place sill fence across channels or in other areas subject to concentrated flows. Sill fence should not be used as a velocity control BMP. Concentrated flows are any flows greater than 0.5 cfs.
2. Maximum sheet or overland flow path length to the sill fence shall be 100-feet.
3. Maximum slope steepness (normal [perpendicular] to the fence line) shall be 2:1.
4. Sill fence joints, when necessary, shall be completed by one of the following options:
 - Wrap each fabric together at a support post with both ends fastened to the post, with a 1-foot minimum overlap.
 - Overlap sill fabric by installing 3-foot pessed the support post to which the new sill fence roll is attached. Attach old roll to new roll with heavy-duty plastic ties, or,
 - Attach entire width of each sill fence to each support post with heavy-duty plastic ties to the next support post.
5. Attach filter fabric to the steel posts using heavy-duty plastic ties that are evenly spaced within the top 8-inches of the fabric.
6. Install the sill fence perpendicular to the direction of the stormwater flow and place the sill fence the proper distance from the toe of steep slopes to provide sediment storage and access for maintenance and cleanout.
7. Install Sill Fence Fences (Tie-Backs) every 50-100 feet, dependent on slope, along sill fence that is installed with slope and where concentrated flows are expected or are documented along the proposed/installed sill fence.

1. Silt Fence Posts must be 48-inch long steel posts that meet, at a minimum, the following physical characteristics:
 - Diameter of 1 1/2 inches of steel with a minimum yield strength of 50,000 psi.
 - Include a standard "T" section with a nominal face width of 1.38-inches and a nominal "T" length of 14-inches.
 - Weigh 1.25 pounds per foot. (A 85)
2. Posts shall be equipped with projections to aid in fastening of filter fabric.
3. Steel posts may need to have a metal soil stabilization plate welded near the top of the post. The plate should be 12-inches wide and 1/2-inch thick. The plate should have a minimum cross section of 17-square inches and be composed of steel with a minimum yield strength of 50,000 psi. The metal soil stabilization plate should be completely buried.
4. Install posts to a minimum of 24-inches. A minimum height of 1- to 2-feet above the ground surface is required, and a maximum height of 3 feet shall be maintained above the ground.
5. Post spacing shall be at a maximum of 6-feet on center.

1. Silf membrane must be composed of woven geotextile filter fabric that consists of the following requirements:
 - The fabric must consist of a mesh of consisting of long chain synthetic polymers of at least 85% by weight of polyethylene, polyesters, or polyamides that are formulated to provide high tensile strength, high modulus, and high resistance to stability relative to each other.
 - Free of any treatment or coating which might adversely affect its physical properties upon installation.
 - Free of any defects or flaws that significantly affect its physical and/or filter properties.
 - Have a minimum width of 36-inches.
2. Use only fabric appearing on SC DOT's Qualified Products Listing (QPL), Approval Sheet #34, meeting the requirements of the most current edition of the SC DOT Standard Specifications for Highway Construction.
3. 12-inches of the fabric should be placed within excavated trench and tied in when trench is backfilled.
4. Filter Fabric shall be purchased in continuous rolls and cut to the length of the barrier to avoid joints.
5. Filter Fabric shall be installed at a minimum of 24-inches above the ground.

The diagram illustrates a trench installation for erosion control. It shows a cross-section of a trench with a filter fabric lining the bottom and sides. The filter fabric is secured with heavy-duty plastic ties. The trench is filled with compacted earth. The width of the trench is indicated as 18-IN. TO 24-IN. The depth of the trench is indicated as 24-IN. (MINIMUM). The filter fabric is shown extending 6-IN. from the edge of the trench. Runoff is shown entering the trench from the left.

A cross-sectional diagram of a trench installation for a filter fabric. The diagram shows a trench with a sloped side and a vertical wall. A filter fabric is laid along the bottom and up the vertical wall, secured by heavy-duty plastic ties. The filter fabric is labeled 'BURY FILTER FABRIC AT LEAST 12-INCHES'. The trench is filled with compacted earth, labeled 'COMPACTED EARTH'. The top of the trench is covered with filter fabric, labeled 'FILTER FABRIC'. The vertical wall height is labeled '18-IN. TO 24-IN.'. The bottom of the trench is labeled '24-IN. (MINIMUM)'. The width of the trench at the top is labeled '6-IN.'. An arrow points to the sloped side of the trench, labeled 'RUNOFF'.

SILT FENCE	
STANDARD DRAWING NO. SC-03	Page 1 of 2
NOT TO SCALE	
FEBRUARY 2014 DATE _____	

1. The key to functional silt fence is weekly inspections, routine maintenance, and regular sediment removal.
2. Regular inspections of silt fence should be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
3. Attention to sediment accumulations along the silt fence is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
4. Remove accumulated sediment when it reaches 1/3 the height of the silt fence.
5. Removed sediment should be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
6. Check for areas where stormwater runoff has eroded a channel beneath the silt fence, or where the fence is sagged or collapsed due to runoff overtopping the silt fence. Install checks/fill-bars and/or reinstall silt fence, as necessary.
7. Check for tears within the silt fence, areas where silt fence has begun to decompose, and for any other circumstances that may render the silt fence ineffective. Promptly remove damaged silt fence and reinstall new silt fence immediately.
8. Silt fence should be removed within 30 days after final stabilization is achieved and once it is removed, the resulting disturbed area should be permanently stabilized.

SILT FENCE
STANDARD DRAWING NO. SC-03 PAGE 2 of 2
GENERAL NOTES FEBRUARY 2014
DATE

1. AREAS TO BE GRASSED SHALL BE DEFINED AS ALL AREAS OF SITE WITHIN THE GRADING LIMITS AND NOT OCCUPIED BY PAVING, CRUSHED STONE, SURFACING OR STRUCTURES. GRASSING SHALL INCLUDE FINAL GRASSING, PLANTING, LIMING, FERTILIZING AND MULCHING.
2. LIMB SHALL BE AGRICULTURAL GRADE, GROUND LIMESTONE, GROUND LIMESTONE SHALL CONTAIN NOT LESS THAN 85% OF CALCIUM CARBONATE CONTENT EQUIVALENT AND SHALL BE SUCH A FINENESS THAT 90% WILL PASS THROUGH A NO. 10 SIEVE AND NOT LESS THAN 50% THROUGH A NO. 50 SIEVE.
3. FERTILIZER SHALL BE GRADE 10-10-10 COMPLETE FERTILIZER OF UNIFORM COMPOSITION, FREE-FLOWING AND SUITABLE FOR APPLICATION WITH EQUIPMENT, DELIVERED TO SITE IN BAGS LABELED WITH MANUFACTURER'S GUARANTEED ANALYSIS, AND SHALL CONFORM TO ALL STATE AND FEDERAL REGULATIONS.
4. SEEDS SHALL BE MIXTURE AS APPROVED BY THE ENGINEER AND SHALL MEET THE REQUIREMENTS OF THE STATE AND THE FEDERAL DEPARTMENT OF AGRICULTURE RULES AND REGULATIONS UNDER FEDERAL SEED ACT IN EFFECT ON DATE BIDS ARE RECEIVED. SEED SHALL BE KEPT IN Airtight Containers, AND SHALL NOT BE EXPOSED TO WET, MOLDY OR DAMAGED IN TRANSIT OR STORAGE WILL NOT BE ACCEPTABLE.
5. MULCH SHALL CONSIST OF SMALL GRASS STRAW OF GOOD QUALITY, CLEAN, FREE OF NOXIOUS WEEDS, AND REASONABLY FREE OF OTHER WEEDS SPREAD MULCH AT A RATE OF 1 TON PER ACRE ON SLOPES UP TO 8.0 % AND AT A RATE OF 1-1/2 TONS PER ACRE FROM 8.0 % UP TO A SLOPE OF 12.0 %.

7. FERTILIZER SHALL BE DISTRIBUTED UNIFORMLY AT A RATE OF 100 LBS. PER ACRE AND SHALL BE INCORPORATED INTO SOIL TO A DEPTH OF AT LEAST 2" BY DISKING AND HARROWING.
8. SPREAD SEED AT A RATE AS NOTED ON THE DRAWINGS.
9. IMMEDIATELY AFTER FERTILIZING AND SEEDING HAVE BEEN COMPLETED, ENTIRE AREA SHALL BE COMPACTED BY MEANS OF A CLOSING, ROLLER, OR APPROVED EQUIPMENT WEIGHING APPROXIMATELY 90 LBS. PER LINEAR FOOT OF ROLLER. USE OF SPECIFIED MULCH, OR OTHER TYPE OF 1/2" TO 1" TONS (USE THE HIGHER RATE FOR 3 TO 4 TONS OR GREATER), WHEAT STRAW, OR OTHER TYPE OF MS-2, RS-1, OR RS-2, SHALL BE USED TO PROTECT SITE AGAINST EROSION.
10. AREAS THAT REQUIRE RE-FERTILIZATION AND/OR RE-SEEDING WILL BE DESIGNATED BY THE ENGINEER. WHEN ANY PORTION OF SURFACE BECOMES GULLED OR OTHERWISE DAMAGED FOLLOWING SEEDING, OR WHEN SEEDING HAS BEEN COMPLETED AND OTHERWISE DESTROYED, AFFECTED PORTION SHALL BE REPAIRED TO RE-ESTABLISH CONDITION AND GRADE OF SOIL PRIOR TO SEEDING AND SHALL BE RE-SEED AS SPECIFIED ABOVE.
11. ALL DISTURBED AREAS ARE TO BE GRASSED IMMEDIATELY AFTER COMPLETION OF THE AREA. AT NO TIME WILL AN AREA BE LEFT BARE FOR MORE THAN 14 DAYS AFTER COMPLETION OF CONSTRUCTION.

PLAN SYMBOL

STANDARD DRAWING NO. SC-06 PAGE 1 of 2

NOT TO SCALE

FEBRUARY 2014
DATE

1. Stabilized construction entrances should be used at all points where traffic will express/ingress a construction site onto a public road or any impervious surface, such as parking lots.
2. Install a non-woven geotextile fabric prior to placing any stone.
3. Install a culvert pipe across the entrance when needed to provide positive drainage.
4. The entrance shall consist of 2-inch to 3-inch D50 stone placed at a minimum depth of 6-inches.
5. Minimum dimensions of the entrance shall be 24-feet wide by 100-feet long, and may be modified as necessary to accommodate site constraints.
6. The edges of the entrance shall be tapered out towards the road to prevent tracking at the edge of the entrance.
7. Divert all surface runoff and drainage from the stone pad to a sediment trap or basin or other sediment trapping structure.
8. Limestone may not be used for the stone pad.
9. The key to functional construction entrances is weekly inspections, routine maintenance, and regular sediment removal.
10. Regular inspections of construction entrances shall be conducted once each calendar week and, as recommended, within 24-hours after each rainfall event that produces 0.5-inch or more of precipitation.
11. During regular inspections, check for mud and sediment buildup and pad integrity. Inspection frequencies may need to be increased during long periods of wet weather.
12. Reshape the stone pad as necessary for drainage and runoff control.
13. Wash or replace stones as needed and as directed by site supervisor. The stone in the entrance should be washed or replaced whenever the entrance fails to reduce the amount of mud being carried off-site by vehicles. Frequent washing will extend the use of stone pad.
14. Immediately remove mud and sediment tracked or washed onto the entrance impervious surface. Sediment trapping structures should only be used when the water can be discharged to a sediment trap or basin.
15. During maintenance activities, any broken pavement should be repaired immediately.

1. The key to functional construction entrances is weekly inspections, routine maintenance, and regular sediment removal.
2. Regular inspections of construction entrances should be conducted once every week or more often if recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
3. During regular inspections, check for mud and sediment buildup and inspect for blockages. Inspections need to be more frequent during long periods of wet weather.
4. Reshape the stone pad as necessary for drainage and runoff control.
5. Wash or replace stones as needed and as directed by site manager. The stone in the entrance should be washed or replaced whenever the entrance fails to reduce the amount of mud being carried into the facility. Regular washing will extend the useful life of stone pad.
6. Immediately remove mud and sediment tracked or washed onto adjacent impervious surfaces by brushing or sweeping. Flushing with water can be used when the broken pavement is directed to a sediment trap or basin.
7. During maintenance activities, any water pavement should be repaired immediately.
8. Construction entrances should be removed after the site has been stabilized. Permanent vegetation should replace areas from which construction entrances have been removed, unless area will be converted to an impervious surface to serve public.

CONSTRUCTION ENTRANCE

POST INSTALLATION DETAIL

SEDIMENT TUBE BURIAL DETAIL

SEDIMENT TUBE INSTALLATION DETAIL

Type A

SEDIMENT TUBE INLET PROTECTION
STANDARD DRAWING NO. SC-07A PAGE 1 of 2
NOT TO SCALE FEBRUARY 2014
DATE

GENERAL NOTES

- curled exterior wood, natural coconut fiber, or hardwood mulch, plastic pipe, and least mulch-filled sediment tubes are not permitted.
2. The outer netting of the sediment tube should consist of seamless, high-density polyethylene photodegradable materials treated with ultraviolet stabilizers. Sediment tubes, high-density polyethylene non-degradable material.
3. Sediment tube diameters shall range from 18-inches to 24-inches. Sediment tubes with smaller diameters are prohibited when used as inlet protection.
4. Curled exterior wood, or natural coconut products that are rolled up to create a sediment tube are not allowed.
5. Sediment tubes should be stored using wooden coil stakes (2-inches X 2-inches) or steel pipe (2-inches diameter) in sections with a minimum weight of 1.25 pounds per foot) at a distance of 18-inches from the sediment tubes.
6. Install all sediment tubes to ensure that no gaps exist between the soil and the bottom of the tube. Manufacturer's recommendations should always be consulted before installation.
7. The ends of adjacent sediment tubes should be overlapped 6-inches to prevent flow and sediment from passing through the feed joint.
8. Sediment tubes should not be stacked on top of one another.
9. Each sediment tube should be installed in a trench with a depth equal to 1/5 the diameter of the sediment tube.
10. Install stakes at a diagonal facing incoming runoff.
11. Routine maintenance, and regular sediment removal.
12. 2. Regular inspections of sediment tube inlet protection shall be conducted prior and after each rain event. Inspections recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
13. Attention to sediment accumulations in front of the sediment tube is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
14. 3. Remove accumulated sediment when it reaches 1/3" the height of the sediment tube. When a sump is installed in front of the inlet protection, sediment shall be removed when it fills approximately 1/3" the depth of the sump.
15. 4. Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed areas. Stabilize the removed sediment if it is relocated.
16. 5. Large debris, trash, and leaves should be removed from in front of tubes when they are present.
17. 6. Inlet protection structures should be removed after the disturbed areas are permanently stabilized. Remove all construction material and sediment, and dispose of them properly. Graze the disturbed area to the distance of the drop inlet structure crest. Stabilize all bare areas immediately.

1. The key to functional inlet protection is weekly inspections, routine maintenance, and regular sediment removal.
2. Regular inspections of sediment tube inlet protection shall be performed once every 7 days, or more often if warranted, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
3. Attention to sediment accumulations in front of the sediment tube is extremely important. Accumulated sediment must be continually monitored and removed when necessary.
4. Remove accumulated sediment when it reaches 1/3 the height of the sediment tube. When a pump is installed in front of the inlet protection, sediment shall be removed when it fills approximately 1/3 of the inlet protection.
5. Removed sediment shall be placed in stockpile storage areas or spread thin across disturbed area. Stabilize the removed sediment after it is relocated.
6. Large debris, trash, and leaves should be removed from in front of tubes when found.
7. Inlet protection structures should be removed after the disturbed areas are permanently stabilized. Remove all construction material and sediment, and dispose of them properly. Gravel or crushed area to the elevation of the drop inlet. Stabilize the crest. Stabilize the area immediately.

Type A
 SEDIMENT TYPE INLET PROTECTION

1

DOLLAR GENERAL

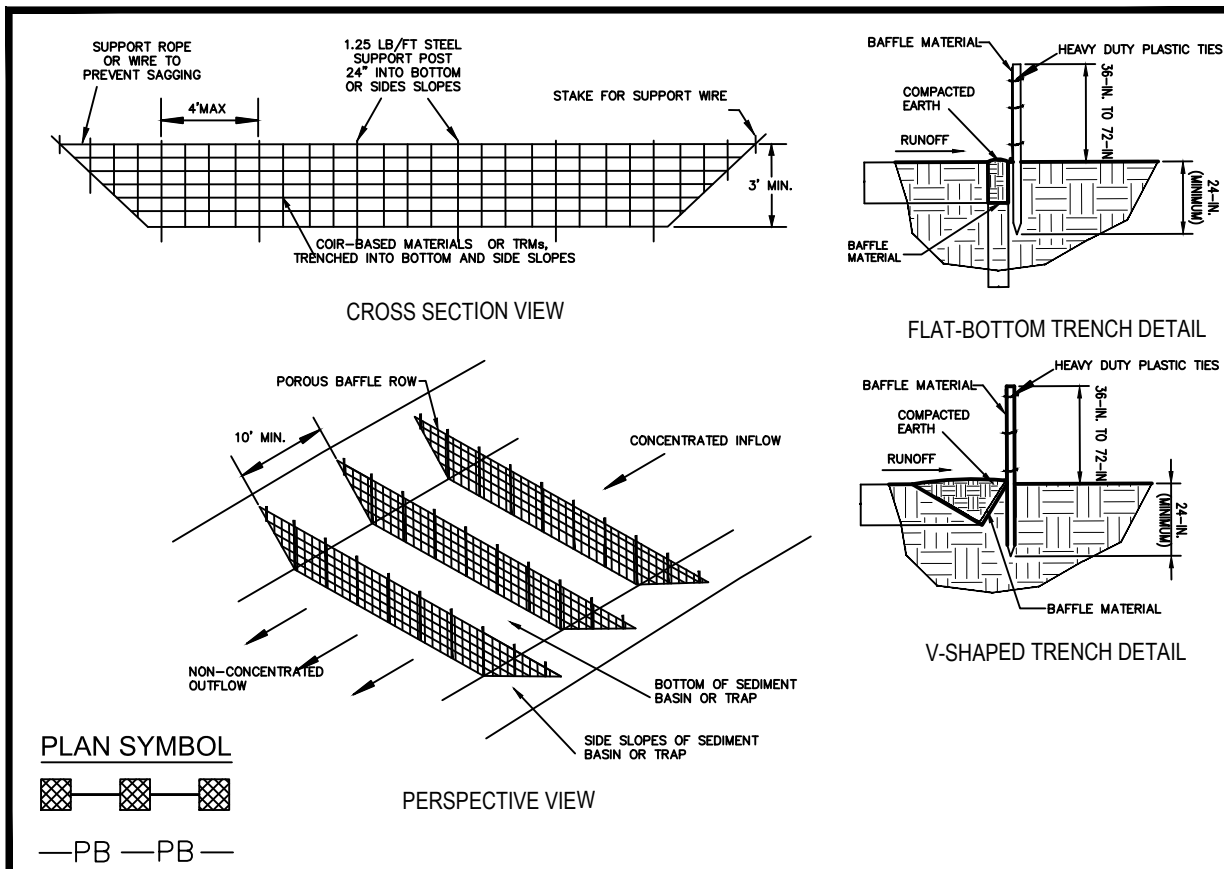
SUMTER
DOLLAR GENERAL 31287

SITE DETAILS

SHEET NO.	OF
6	9

PROJECT NO.
24-874

THIS DRAWING AND THE DESIGN SHOWN THEREON ARE THE PROPERTY OF K. B. SELLARS ENGINEERING, L.L.C. THE REPRODUCTION, TRANSMISSION, OR ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.



BAFFLES — POST REQUIREMENTS

1. Porous baffle posts must be 24-inch to 36-inch long steel posts that meet, at a minimum, the following physical characteristics:
 - a. Composed of a high strength steel with a minimum yield strength of 50,000 psi.
 - b. Include a standard "T" section with a nominal face width of 1.38-inches and a nominal "T" length of 1.48-inches.
 - c. Weigh 1.25 pounds per foot (6 lbs).
 - d. Posts shall be installed with projections to aid in fastening of baffle material.
2. Posts shall be installed with projections to aid in fastening of baffle material.
3. Posts shall be installed with projections to aid in fastening of baffle material.
4. Posts shall be installed with projections to aid in fastening of baffle material.

BAFFLES — MATERIAL REQUIREMENTS

1. Baffle material must be composed of soil-based materials or turf reinforcement matting (TRM) that consists of the following requirements:
 - a. Have a light penetration (5 openings) between 10-35%.
 - b. Free of stone filler materials.
 - c. Have a minimum weight of 140 lb/ft² and.
 - d. Have a minimum width of 48-inches.
2. 12-inches of the fabric should be placed with second trench and laid in when the trench is installed or baffle material may be applied into ground by using 12-inch spacers with a maximum spacing of 12-inches.
3. Baffle material shall be purchased by continuous rolls and cut to the width of the sediment basin or trap to avoid joints.

BAFFLES — GENERAL NOTES

1. Attach baffle to the steel posts using heavy-duty plastic ties that are evenly spaced along the above ground portion of each post.
2. Install the baffle rows perpendicular to the direction of the downstream flow and space each baffle the proper distance from that and outlets to allow access for maintenance and clean-out.

BAFFLES — INSPECTION & MAINTENANCE

1. The key to functional porous baffles is weekly inspection, routine maintenance, and regular sediment removal.
2. Regular inspections of porous baffles shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
3. Attention to sediment accumulations along each row of baffles is extremely important. Accumulated sediment should be continuously monitored and removed when necessary.
4. Remove accumulated sediment when it reaches 1/2 the height of the baffle row or when it reaches the clean-out height of the sediment basin or trap.
5. Removed sediment shall be placed in a suitable storage area or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
6. Check for cracks where sediment runoff has eroded a channel through each row of baffles, or where the baffle has sagged or collapsed due to runoff overtopping the baffles.
7. Check for holes/rips within the baffles, areas where the baffles have begun to deteriorate. For any other circumstances that may render the baffles ineffective. Remove damaged baffles and install new baffles immediately.
8. Porous baffles should be removed within 30 days after final installation is confirmed and once it is removed, the resulting disturbed area shall be permanently stabilized.

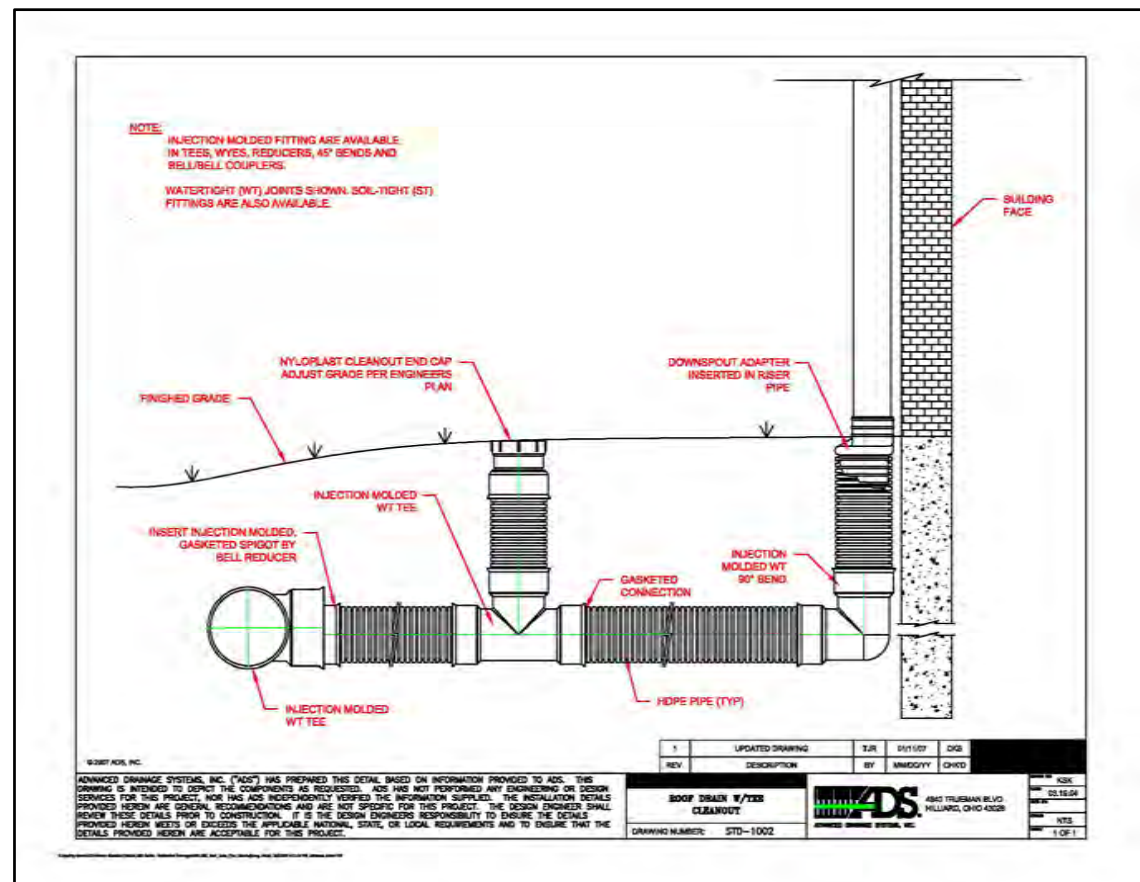
South Carolina Department of Health and Environmental Control

POROUS BAFFLES

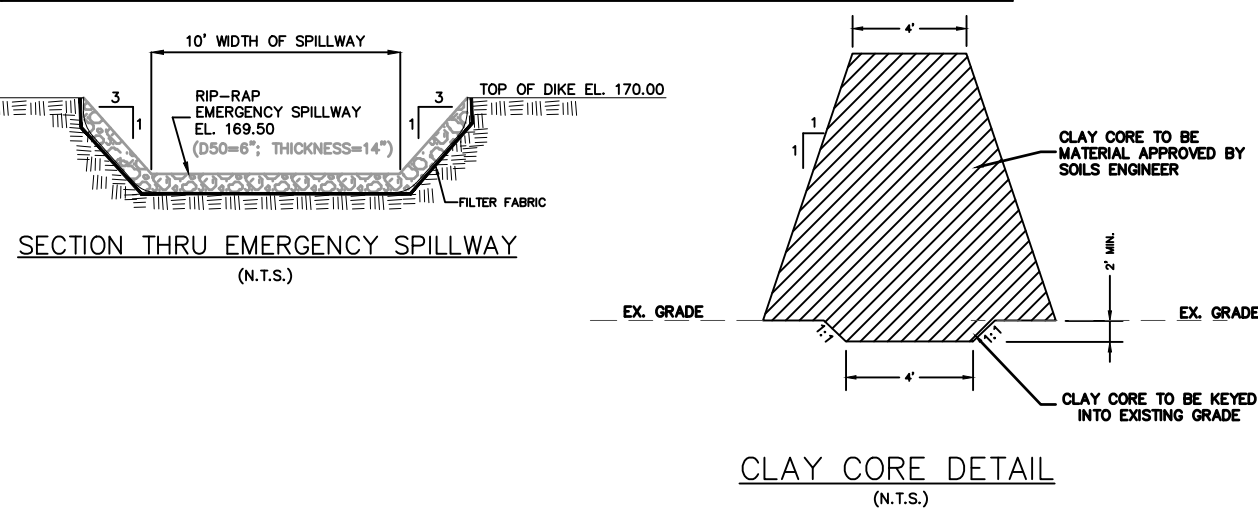
SC-13

GENERAL NOTES

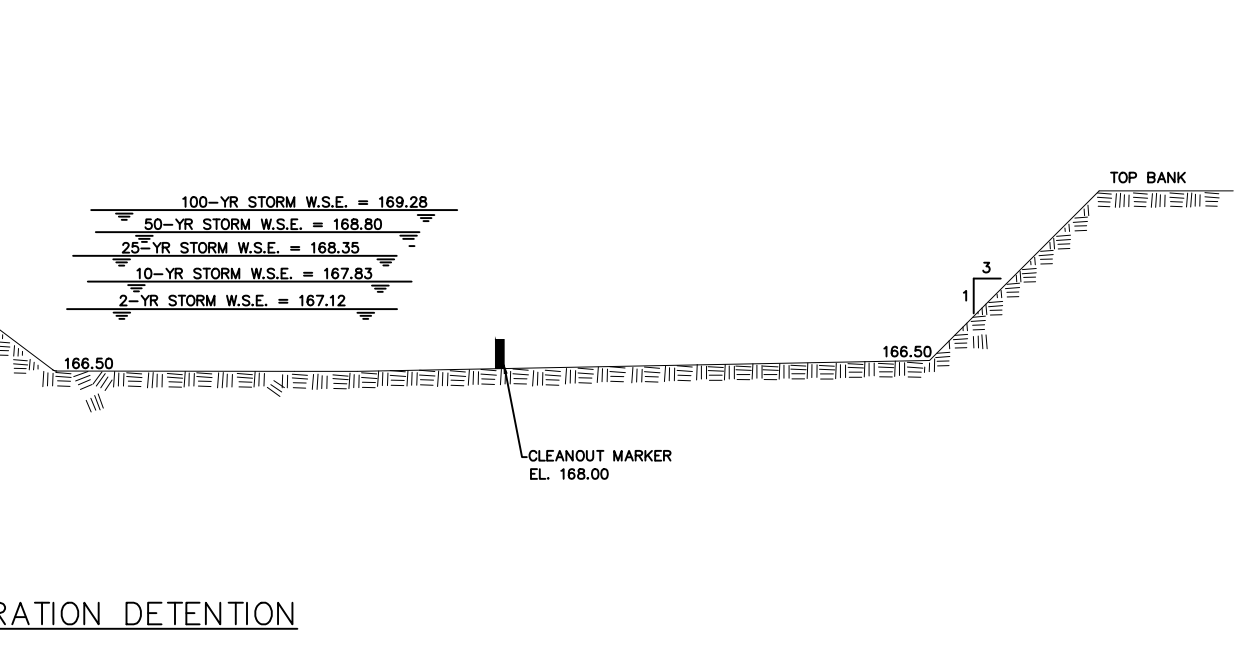
DATE



RIP RAP FOREBAY (N.T.S.)

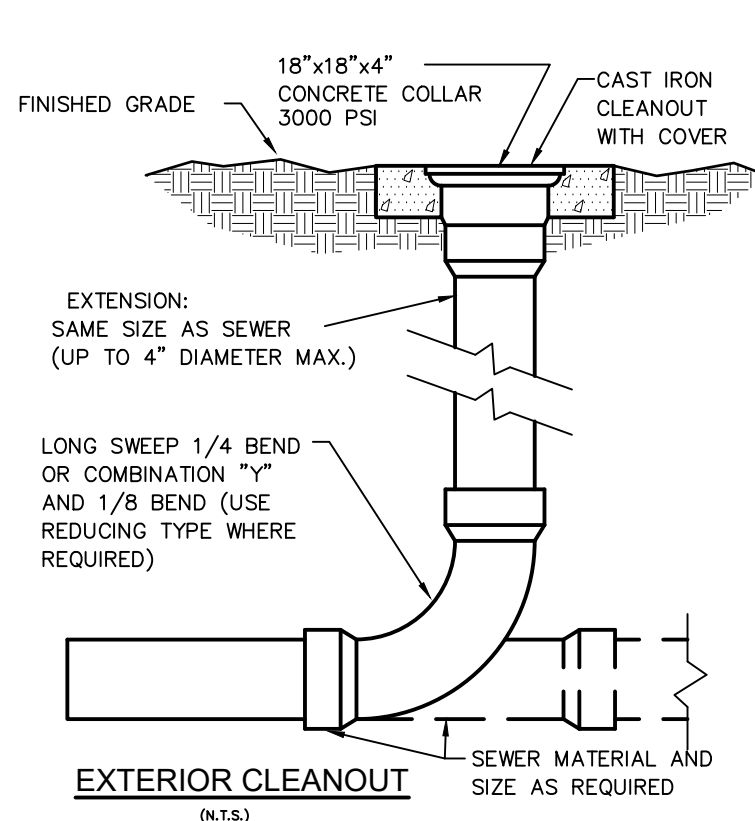


CLAY CORE DETAIL (N.T.S.)

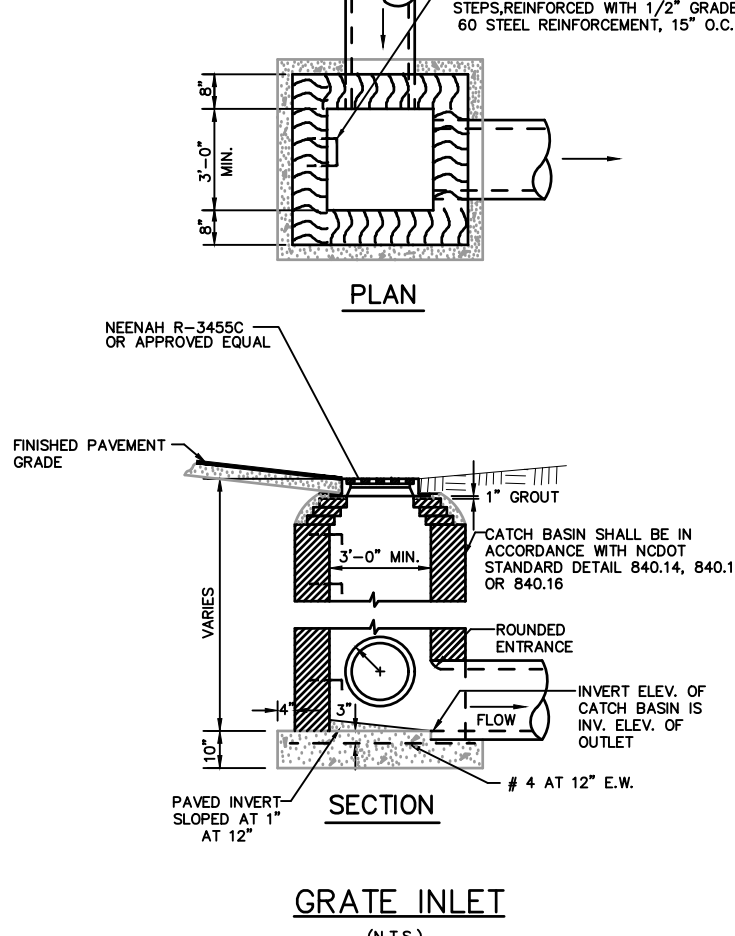


SECTION THRU INFILTRATION DETENTION (N.T.S.)

CALL BEFORE YOU DIG !
1-888-721-7877
PALMETTO UTILITY LOCATION SERVICES

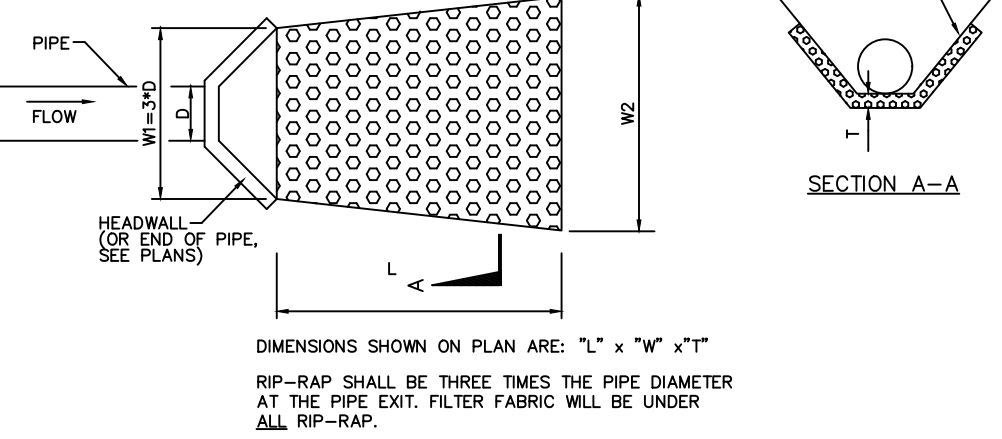


EXTERIOR CLEANOUT (N.T.S.)



GRATE INLET (N.T.S.)

RIP-RAP OUTLET LABEL	L (FT.)	W1 (FT.)	W2 (FT.)	T (IN.)	Do (IN.)
END OF OUTFALL PIPES	9	4	11	8	3

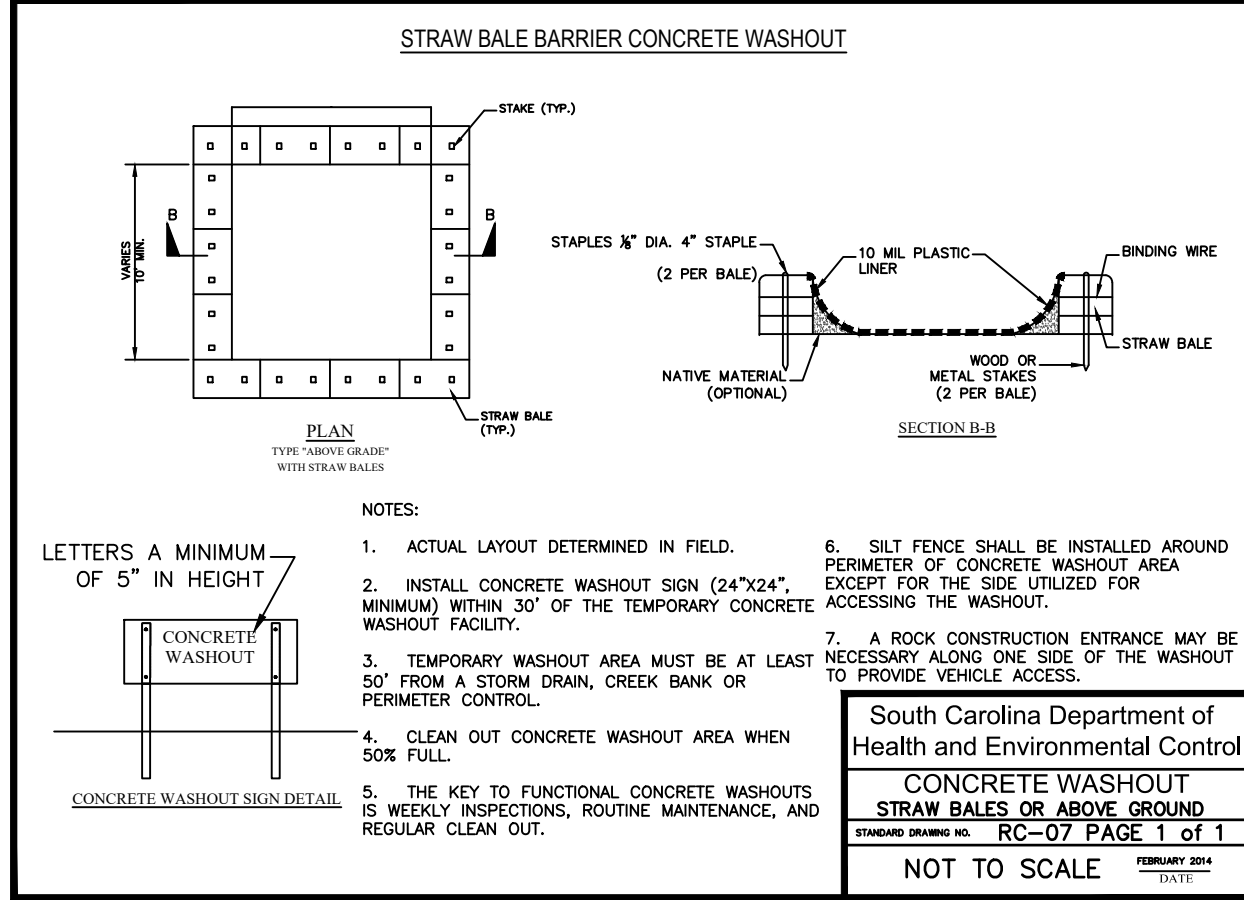


RIP RAP OUTLET DETAIL (N.T.S.)

Inspection and Maintenance:

- Periodically check of outlet protection, aprons, plunge pools, and structural outlets for damage. Immediately make all needed repairs to prevent further damage.
- If any evidence of erosion or scouring is apparent, modify the design as needed to provide long term protection.
- Inspection outlet structures after heavy rains to see if any erosion has taken place around or below the structure.

RIP RAP OUTLET DETAIL (N.T.S.)



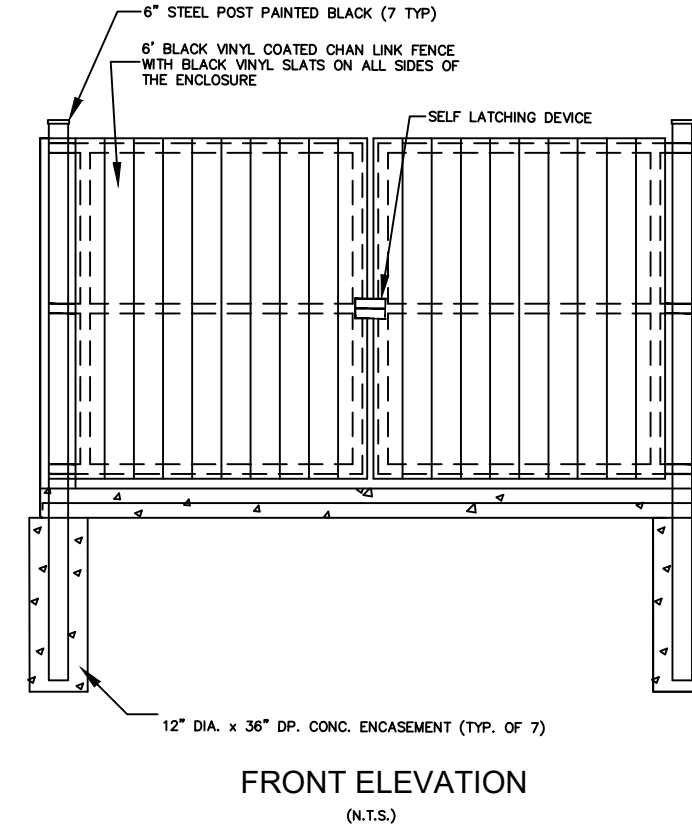
South Carolina Department of Health and Environmental Control

CONCRETE WASHOUT

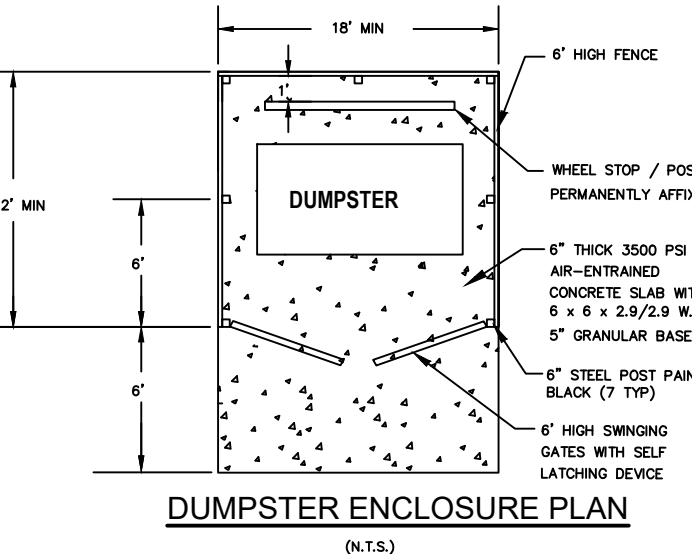
STRAW BALES OR ABOVE GROUND

STANDARD DRAWING NO. RC-07 PAGE 1 OF 1

NOT TO SCALE



DUMPSTER ENCLOSURE PLAN (N.T.S.)



DUMPSTER ENCLOSURE PLAN (N.T.S.)

PAVEMENT DETAILS

1. DETAILS ARE FOR PAVEMENT CONSTRUCTION. THE KEY REQUIREMENTS WITH VARIOUS TIES, CONCRETE, A GEOTECHNICAL INVESTIGATION WITH PAVEMENT DESIGN RECOMMENDATIONS SHALL BE COMPLETED FOR EACH DESIGN. BATTLE CREEK STANDARD MATERIALS AND METHODS. THEY SHALL BE REVIEWED AND REPLACED WITH COMPACTED SELECT MATERIAL IN ACCORDANCE WITH GEOTECHNICAL RECOMMENDATIONS.
2. THE SUBGRADE MATERIALS SHALL BE PROOF ROLLED AND/OR SHAPED AND COMPACTED PRIOR TO PLACEMENT OF BASE MATERIAL. BATTLE CREEK STANDARD MATERIALS AND METHODS. THEY SHALL BE REVIEWED AND REPLACED WITH COMPACTED SELECT MATERIAL IN ACCORDANCE WITH GEOTECHNICAL RECOMMENDATIONS.
3. HEAVY DUTY CONCRETE PAVEMENT AND STANDARD DUTY CONCRETE PAVEMENT (AS RECOMMENDED BY THE GEOTECHNICAL INVESTIGATION) SHALL BE CONSTRUCTED WITH 1/2\"/>
4. CONCRETE PAVEMENT PLAN SHALL BE PROVIDED TO DOLLAR GENERAL FOR REVIEW. APPROVAL, ALL DETAILS SHALL BE REVIEWED WITH AN APPROVED PLAN. 1/2\"/>

STANDARD DUTY ASPHALT DETAIL

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

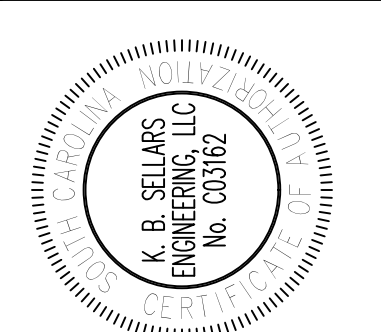
STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

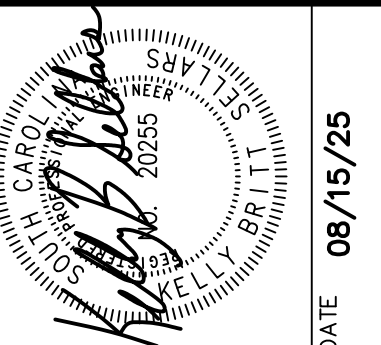
STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)

STANDARD DUTY ASPHALT DETAIL (N.T.S.)



KB SELLARS ENGINEERING
ENGINEERS & PLANNERS
PO BOX 161441
BOILING SPRINGS, SC 29316
(803) 699-5241 PHONE
(803) 699-5242 FAX
EMAIL: KELL@KBSSELLARS.COM



NO.	DATE	DESCRIPTION	BY :
A	03/04/25	PERMIT	KBS
B	08/15/25	PER PLANNING	KBS

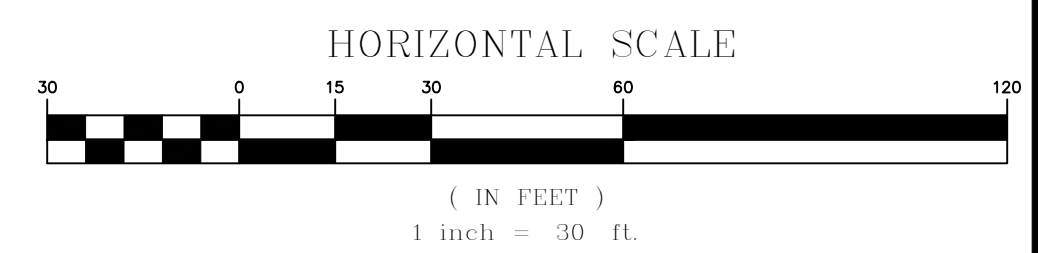
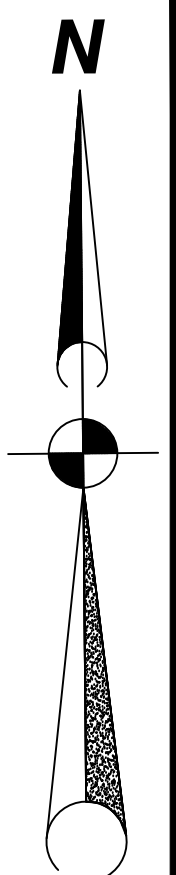
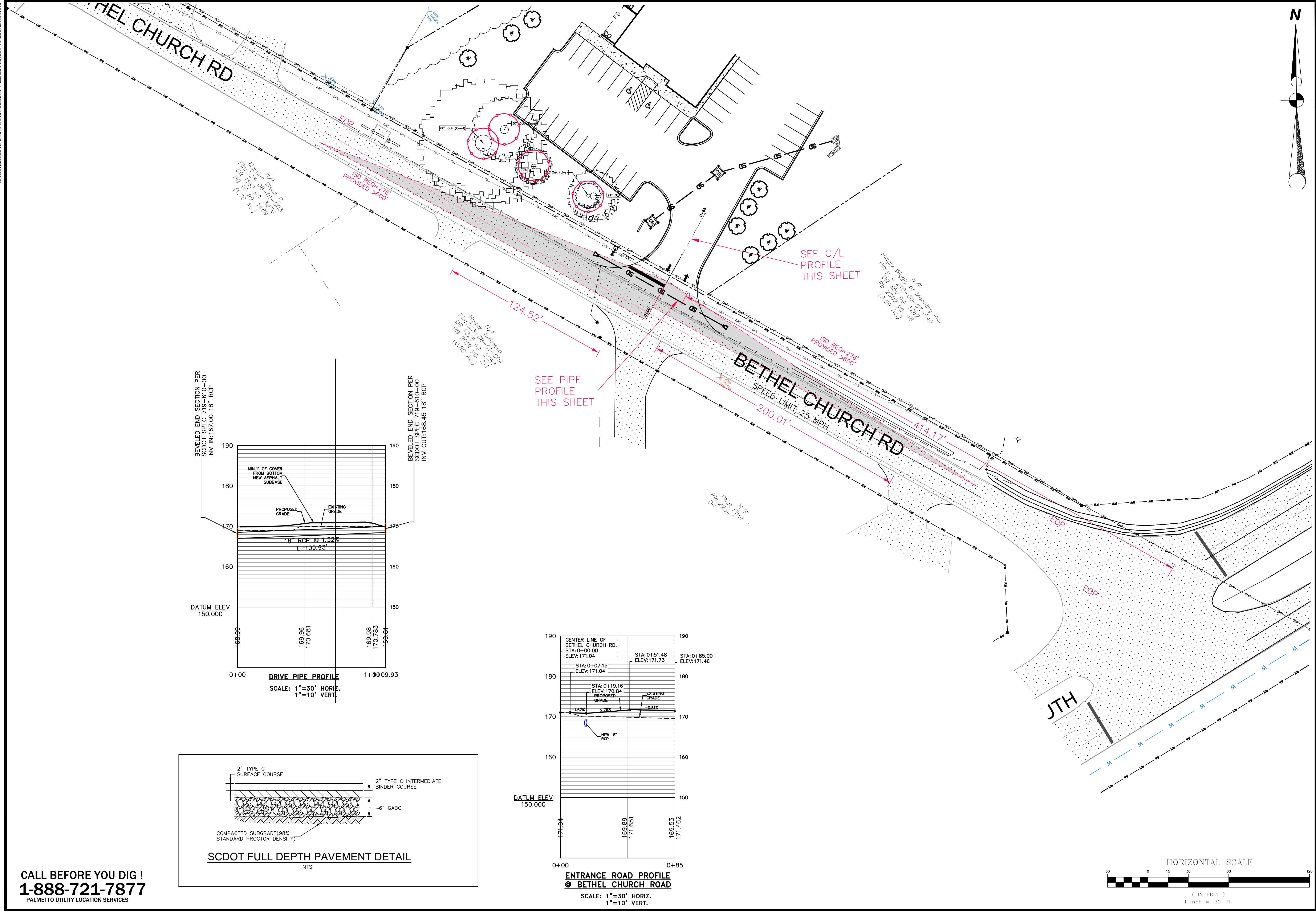
DOLLAR GENERAL
SUMTER
DOLLAR GENERAL 31287

SITE DETAILS

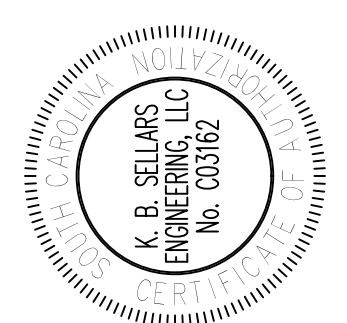
SHEET NO.	OF
7	8

PROJECT NO.
24-874

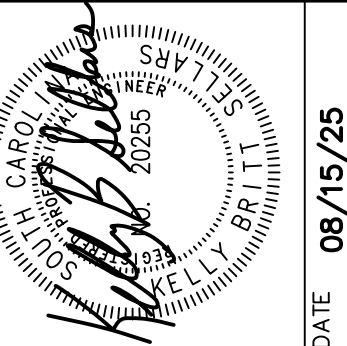
THIS DRAWING AND THE DESIGN SHOWN THEREON ARE THE PROPERTY OF K. B. SELLARS ENGINEERING, LLC. THE REPRODUCTION, IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF K. B. SELLARS ENGINEERING, LLC, IS PROHIBITED AND ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.



CALL BEFORE YOU DIG !
1-888-721-7877
PALMETTO UTILITY LOCATION SERVICES



KB SELLARS ENGINEERING
ENGINEERS & PLANNERS
PO BOX 161441
BOILING SPRINGS, SC 29316
(804) 699-5212 PHONE
(804) 699-5213 FAX
EMAIL: KELLY@KBSSELLARS.COM



REVISIONS		BY :
NO.	DATE	DESCRIPTION
A	03/04/25	PERMIT
B	08/15/25	PER PLANNING

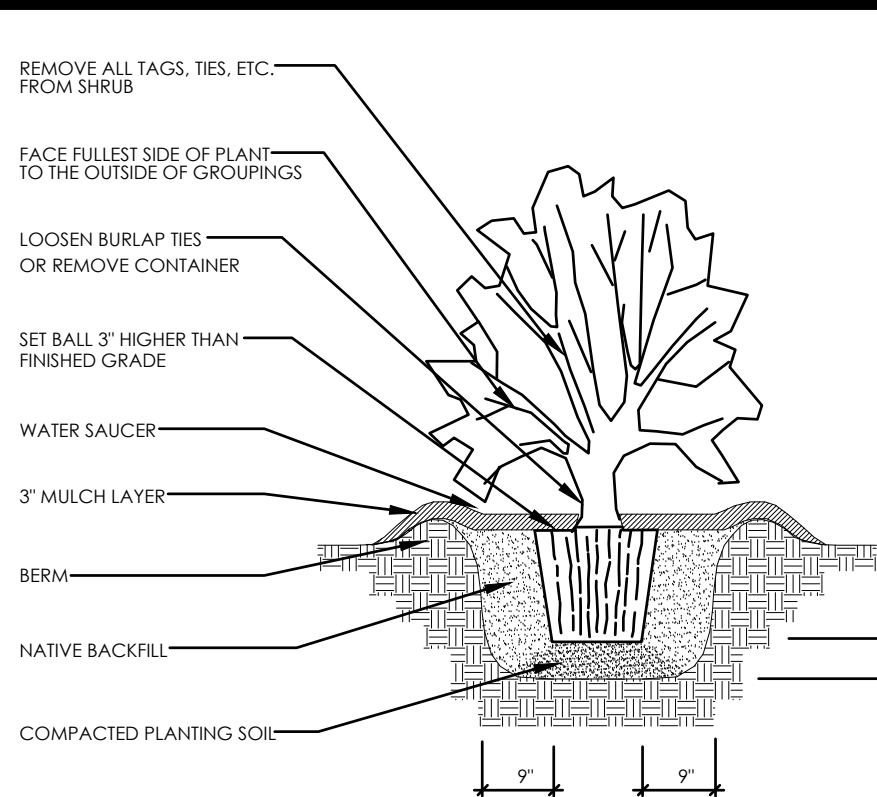
DOLLAR GENERAL
SUMTER
DOLLAR GENERAL 31287

SHEET TITLE:
SCDOT ENCROACHMENT,
SIGHT DISTANCE, SPACING,
& DRIVE PROFILE PLAN

SHEET NO.	OF
8	8
PROJECT NO.	24-874

Diagram illustrating the components and instructions for a tree planting site:

- GROUND LINE TO BE THE SAME AS AT THE NURSERY
- 4" LAYER OF MULCH
- REMOVE TOP 1/3 OF BURLAP
- BREAK SUBSOIL WITH PICK
- 12" MIN.
- 3/4" NYLON STRAP OR TREE BRACE STRAP w/ POLY OR HEMP ROPE GUYS (3 GUYS PER TREE SPREAD 120° APART)
- TREE WRAP (OCT. THRU FEB. ONLY)
- SURVEYOR'S FLAGGING TAPE (WHITE)
- 1" x 2" x 12" STAKES TOP OF STAKE FLUSH WITH GROUND
- CONSTRUCT EARTH SAUCER WITH 4" HIGH 24 HOURS.
- BACKFILL WITH TOPSOIL AND PEATMOSS, 3:1 RATIO BY VOLUME, IN 9" LAYERS. WATER EACH LAYER UNTIL SETTLED. DO NOT TAMP.



SCALE: NOT TO SCALE

1. ALL TREES TO BE NURSERY GROWN, BURLAP AND BALL (8&B) PREFERRED.
2. REMOVE ALL TREATED OR PLASTIC COATED BURLAP, STRAPPING, WIRE OR NYLON TWINE FROM ROOT BALL. AFTER SETTING IN HOLE CUT AWAY TOP 2/3 OF WIRE BASKET IF ANY.
3. SOAK PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION. FOR MULCH, USE PINE NEEDLES OR SEASONED MULCH (4").
4. WRAP TREES FROM GROUND TO LOWEST BRANCHES WITH BURLAP OR TREE WRAP PAPER (OPTIONAL). SECURE NEAR TOP AND BOTTOM WITH HEMP STRING ONLY.
5. STAKING IS OPTIONAL. RUBBER HOSE AND ROPE OR WIRE FOR STAKING IS NOT RECOMMENDED. NO WIRE OR ROPE IS TO BE IN DIRECT CONTACT WITH TRUNK. REMOVE ALL TRUNK WRAP, TREE STRAPS, AND STAKING AFTER ONE GROWING SEASON.
6. GUY WIRES ARE NOT PERMITTED IN STREET RIGHT-OF-WAY.
7. ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI 1990, PART 1, "SHADE AND FLOWERING TREES).

TREES & SHRUBS

County
3-008
131
)

1. MATERIALS LIST WAS PREPARED ESTIMATING PURPOSES. CONTRACTOR SHALL MAKE OWN QUANTITY TAKE-OFF USING DRAWINGS AND SPECIFICATIONS TO DETERMINE QUANTITIES TO HIS SATISFACTION. REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY EFFECT BIDDING. CONTRACTOR MAY BE REQUIRED TO SUBSTITUTE MATERIALS NOT LISTED OR NOT SPECIFIED OR CONTAINER GROWN. ALL PLANT MATERIAL MUST ADHERE TO ANSI Z60.1-2004 (AMERICAN STANDARD FOR NURSERY STOCK) SPECIFICATIONS FOR ROOT BALLS AND CONTAINER SIZES.

2. CONTRACTOR TO VERIFY THAT ALL PLANT MATERIALS ARE AVAILABLE AS SPECIFIED WHEN BID/PROPOSAL IS SUBMITTED.

3. CONTRACTOR TO VERIFY THAT ALL PLANT MATERIALS ARE WELL TRAINED AND WELL DEVELOPED TO BE TRAINED OR FAVORED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY AND OUTSTANDINGLY SUPERIOR IN FORM, COMPACTNESS AND SYMMETRY. THEY SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF; FREE OF DISEASE AND INSECTS, EGGS OR LARVAE; AND SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS. THEY SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREJUDICE PROGRESSIVE GROWTH.

4. SUBSTITUTIONS OF PLANT MATERIALS WILL NOT BE PERMITTED UNLESS AUTHORIZED IN WRITING BY THE LANDSCAPE ARCHITECT. IF PROOF IS SUBMITTED IN WRITING THAT A PLANT SPECIFIED IS NOT OBTAINABLE, CONSIDERATION WILL BE GIVEN TO THE NEAREST AVAILABLE SIZE OR SIMILAR VARIETY, WITH A REASONABLE EXPLANATION.

5. PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED, EXCEPT THAT PLANTS LARGER THAN THOSE SPECIFIED MAY BE USED IF APPROVED BY THE LANDSCAPE ARCHITECT IN WRITING. USE OF LARGER PLANTS SHALL NOT INCREASE THE CONTRACT PRICE. IF LARGER PLANTS ARE APPROVED, THE CONTRACTOR SHALL BE INDEMNIFIED FOR ANY DAMAGE TO EXISTING PLANTS OR SOIL.

6. ROOT FLARE OF PLANT MATERIAL MUST BE AT OR SLIGHTLY HIGHER THAN EXISTING GRADE. PULL MULCH BACK 6 IN. FROM ROOT FLARE.

7. TREES WITH MULTIPLE LEADERS, UNLESS SPECIFIED, WILL BE REJECTED. TREES WITH A DAMAGE OR CROOKED LEADER, BARK ABRASIONS, SUNSCALD, DISFIGURING KNOTS, INSECT DAMAGE, CUTS OF LIMBS OVER 20 MM (3/4 IN.) IN DIAMETER THAT ARE NOT COMPLETELY CLOSED OR FLUSH PRUNING CUTS WILL BE REJECTED.

8. CONTRACTOR SHALL PRESERVE THE COLLAR OF PLANTS TO BE PLANTED. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING TREES, PLANTING DETAILS AND SPECIAL PROVISIONS FOR PLANTING MUST BE FOLLOWED. DETAILS ARE PROVIDED ON SHEET 1.

9. CONTRACTOR SHALL TEST SOIL pH AND CONDITIONS FOR ALL SOIL AREAS TO INSURE THAT PROPER SOIL REQUIREMENTS ARE MET FOR THE SODDED AREAS. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTIONS INDICATED BY SOIL TEST AND SPECIFICATIONS TO ACHIEVE PROPER SOIL CONDITIONS. ALL PLANT BEDS TO RECEIVE 4" DEEP HARDWOOD MULCH.

10. CONTRACTOR TO MAINTAIN THE PLANTINGS AND CONTROL WEEDS IN MULCH AREAS THROUGH THE DURATION OF CONSTRUCTION UNTIL FINAL ACCEPTANCE.

11. PLANT SCHEDULE, PLANTS NOTED AS "SPECIMEN", SHALL BE SELECTED BY THE LANDSCAPE ARCHITECT AT THE NURSERY OR PHOTOS OF THE PLANTING STOCK SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL.

12. PREEMBED BURLAP MUST BE APPLIED TO PLANTING AREAS PRIOR TO LANDSCAPE INSTALLATION AND ACCORDING TO MANUFACTURER'S INSTRUCTIONS.

13. PLANT BED SHALL BE TESTED FOR pH AND AMENDED PRIOR TO INSTALLATION.

14. ALL PLANT MATERIAL SHALL CONFORM TO STANDARD SET FORTH BY "AMERICAN STANDARDS FOR NURSERY STOCK" ANSI Z60.1-2004. BY THE USE OF THE NURSERY AND LANDSCAPE ARCHITECT'S SPECIFICATIONS.

15. ALL PLANT MATERIAL SHALL BE PROTECTED DURING TRANSPORT AND DELIVERY TO JOB SITE WITH SHADE CLOTH OR OTHER ACCEPTABLE MEANS OF WINDBURN PREVENTION.

16. ANY SUBSTITUTIONS IN SIZE AND/OR PLANT MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE PLANTING CAN BEGIN.

17. ALL TREES MUST BE STRAIGHT TRUNK, FULL HEADED, AND MEET ALL REQUIREMENTS SPECIFIED.

18. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING CONSTRUCTION. SHOULD THE CONTRACTOR CAUSE DAMAGE TO ANY UTILITIES, NECESSARY REPAIRS SHALL BE MADE AS QUICKLY AS POSSIBLE, AT CONTRACTOR'S EXPENSE.

19. ALL ELEMENTS OF LANDSCAPING SHALL BE INSTALLED SO AS TO MEET ALL APPLICABLE ORDINANCES AND CODES REQUIREMENTS.

20. CONTRACTOR SHALL ASSURE DRAINAGE AND PERCOLATION OF PLANTING PITS PRIOR TO INSTALLATION OF PLANT MATERIAL. CONTRACTOR SHALL FILL ALL PLANTING PITS WITH THE SAME TYPE OF PLANTING MATERIAL AS SPECIFIED. IF PLANTING MATERIAL IS AVAILABLE, CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT OF ALL PLANTS LOST DUE TO INADEQUATE DRAINAGE CONDITIONS.

21. BALLED AND BURLAP MATERIAL SHALL HAVE THE TOP ONE HALF (1/2) OF THE BURLAP AND STRAPS REMOVED.

22. CONTRACTORS SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANTS LISTS, GENERAL NOTES AND THE PLANTING SPECIFICATIONS FOR COMPLETE LANDSCAPE PLANTING INSTRUCTIONS.

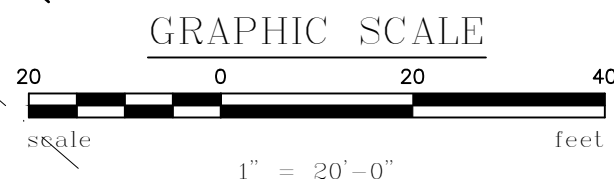
23. TURF GRASS SHALL BE PLANTED AFTER ALL PLANTS ARE INSTALLED AND MULCHED. SEED AND/OR SO BED PREPARATIONS BY MEANS OF PULVERIZATION TO LOOSEN SOIL. SMOOTH AND FINE GRADE AREA REMOVING ANY ROCKS, ROOTS, TRASH, AND CLODS OVER ENTIRE AREA.

24. CONTRACTOR SHALL MAINTAIN ALL PLANTING AREAS FREE OF WEEDS, GRASS, AND UNDESIRABLE PLANTS THROUGHOUT THE ENTIRE PERIOD OF WEEDING, MOOWING, FERTILIZING, ETC. UNTIL THE OWNER AND LANDSCAPE ARCHITECT ACCEPT CONSTRUCTION IN FULL AT THE END FOR THE ESTABLISHED PERIOD.

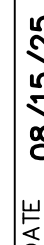
25. CONTRACTOR TO GUARANTEE PLANT MATERIAL FOR 12 MONTHS ESTABLISHMENT PER FOLLOWING DATE OF COMPLETED CONSTRUCTION.

26. CONTRACTOR TO MAINTAIN ALL PLANTING AREAS FREE OF WEEDS, GRASS, AND UNDESIRABLE PLANTS THROUGHOUT THE ENTIRE PERIOD OF WEEDING, MOOWING, FERTILIZING, ETC. UNTIL THE OWNER AND LANDSCAPE ARCHITECT ACCEPT CONSTRUCTION IN FULL AT THE END FOR THE ESTABLISHED PERIOD.

27. LANDSCAPING BETWEEN THE PARKING LOT AND PUBLIC STREETS.



PALMETTO UTILITY LOCATION SERVICES

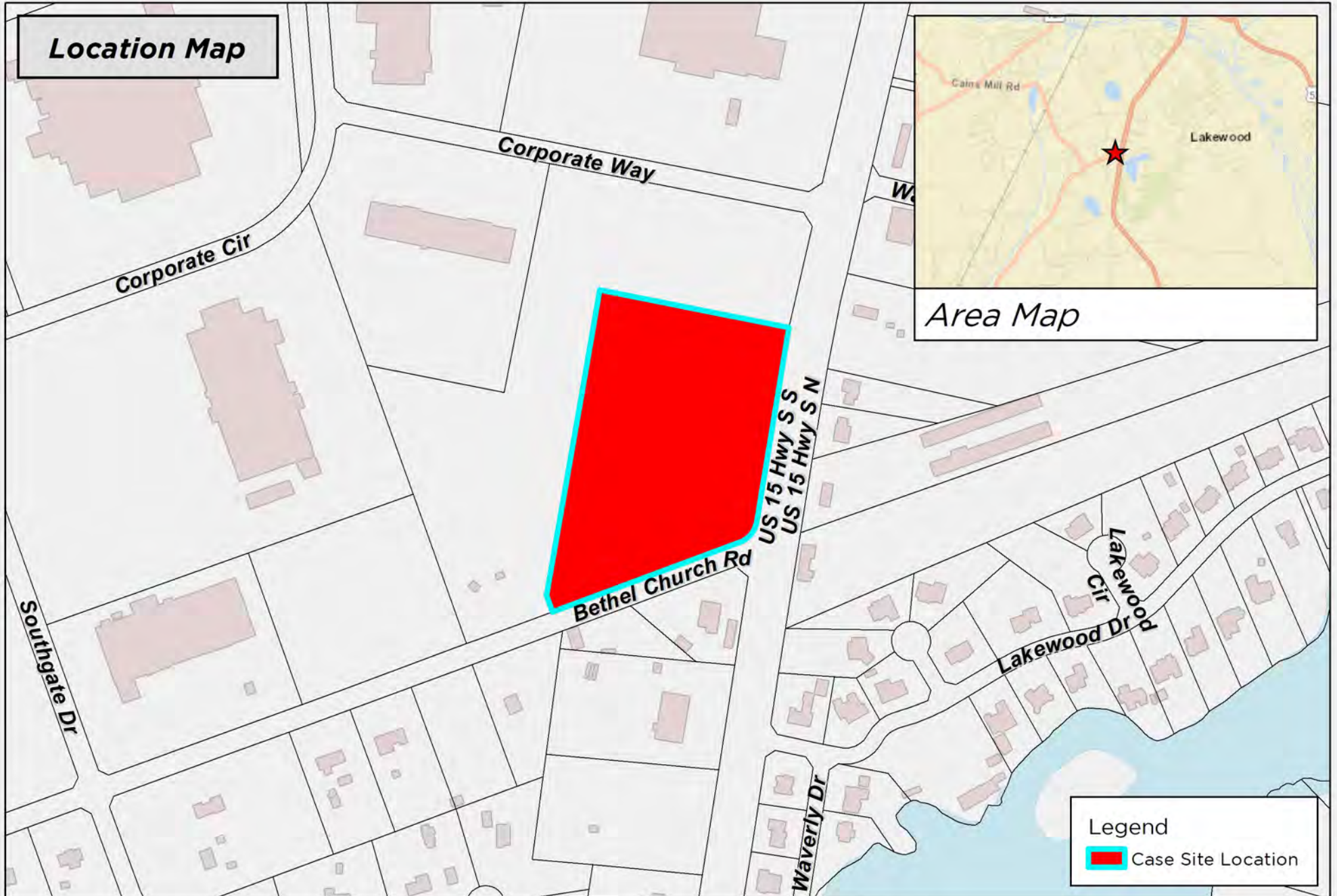


DOLLAR GENERAL
SUMTER
DOLLAR GENERAL 31287

LANDSCAPE PLAN

PROJECT NO.
24-874

Location Map

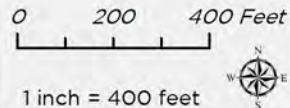


Area Map

Legend

 Case Site Location

DISCLAIMER: While the data of this map has been tested for accuracy, the Sumter City-County Planning Commission disclaims any or all responsibility for the exact accuracy or correctness of the map. The Sumter City-County Planning Commission shall not become liable to the user of this map for any reason. In using this map, the user agrees to hold the Sumter City-County Planning Commission harmless of any or all liabilities arising from the use of this map and/or its data.

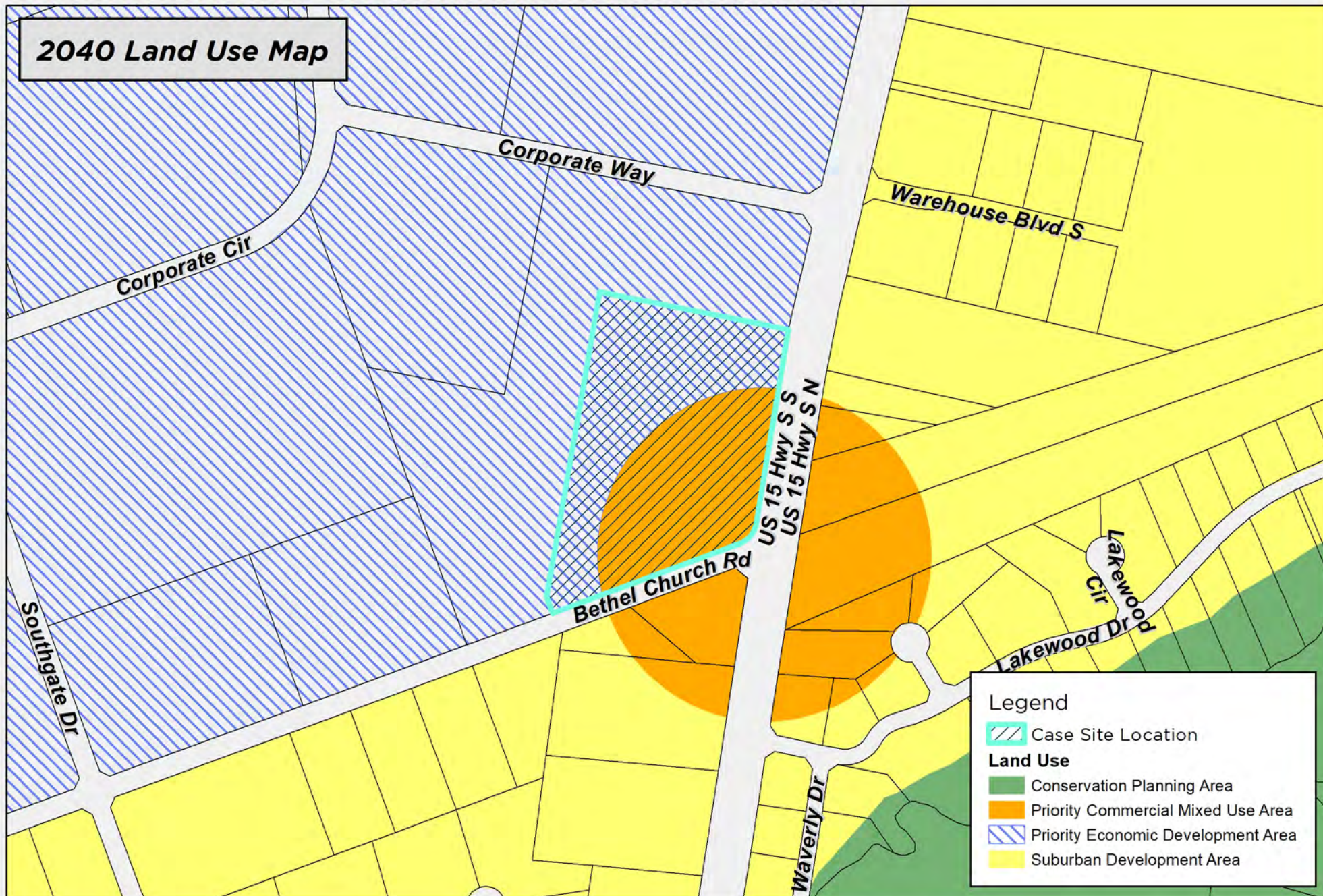


Map Prepared by: Sumter Planning Department
Copyright 2025
Date: 8/14/2025
User Name: crobbs
Document Name: MSP-25-38



MSP-25-38
811 Bethel Church Rd, Sumter, SC 29154
Tax Map # 210-00-03-040

2040 Land Use Map



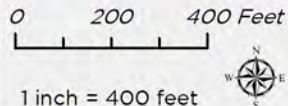
Legend

Case Site Location

Land Use

- Conservation Planning Area
- Priority Commercial Mixed Use Area
- Priority Economic Development Area
- Suburban Development Area

DISCLAIMER: While the data of this map has been tested for accuracy, the Sumter-City County Planning Commission disclaims any or all responsibility for the exact accuracy or correctness of the map. The Sumter-City County Planning Commission shall not become liable to the user of this map for any reason. In using this map, the user agrees to hold the Sumter-City County Planning Commission harmless of any or all liabilities arising from the use of this map and/or its data.

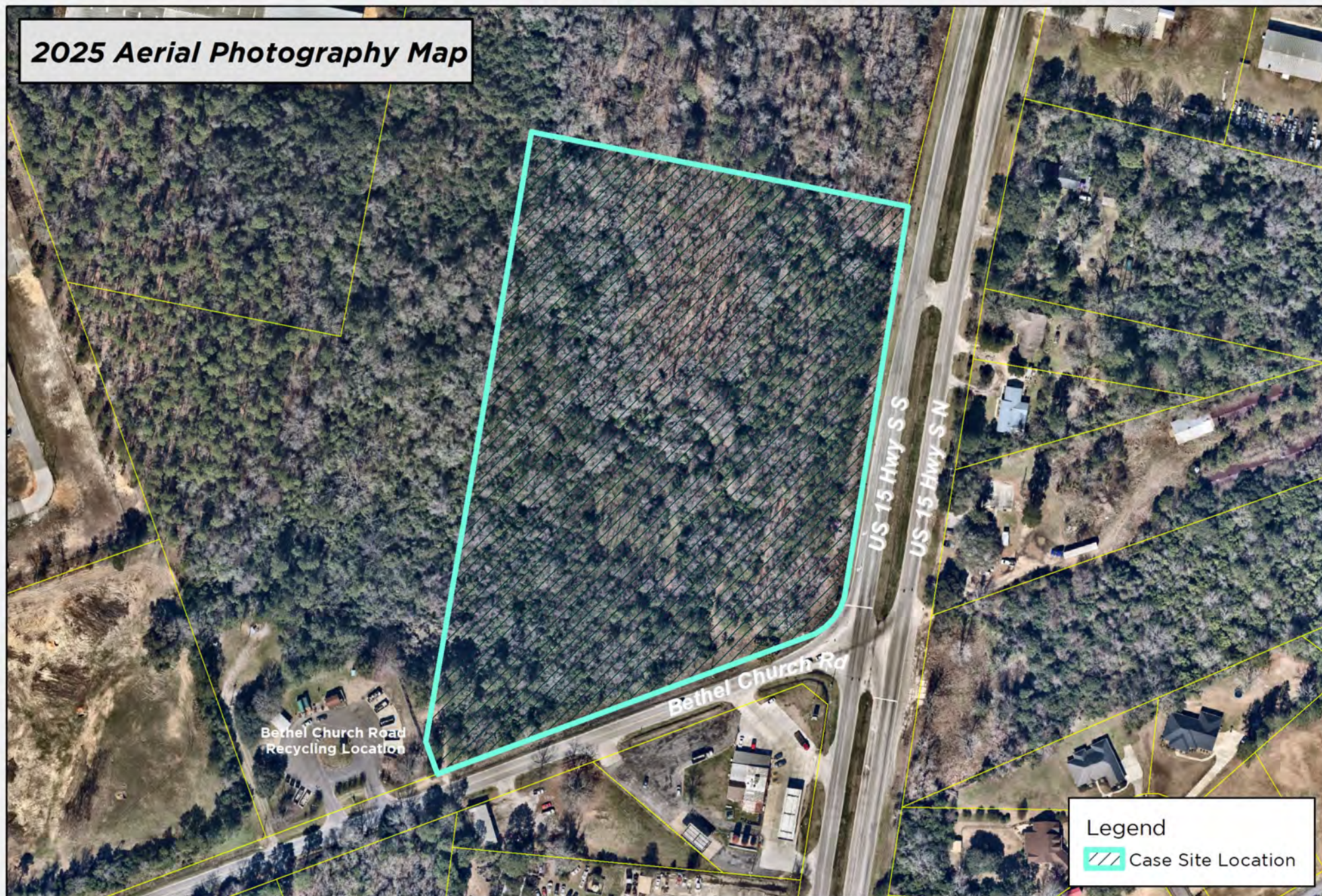


Map Prepared by: Sumter Planning Department
Copyright 2025
Date: 8/14/2025
User Name: crobbins
Document Name: MSP-25-38



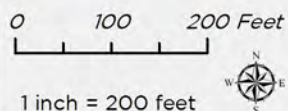
MSP-25-38
811 Bethel Church Rd, Sumter, SC 29154
Tax Map # 210-00-03-040

2025 Aerial Photography Map



Legend
 Case Site Location

DISCLAIMER: While the data of this map has been tested for accuracy, the Sumter City-County Planning Commission disclaims any or all responsibility for the exact accuracy or correctness of the map. The Sumter City-County Planning Commission shall not become liable to the user of this map for any reason. In using this map, the user agrees to hold the Sumter City-County Planning Commission harmless of any or all liabilities arising from the use of this map and/or its data.

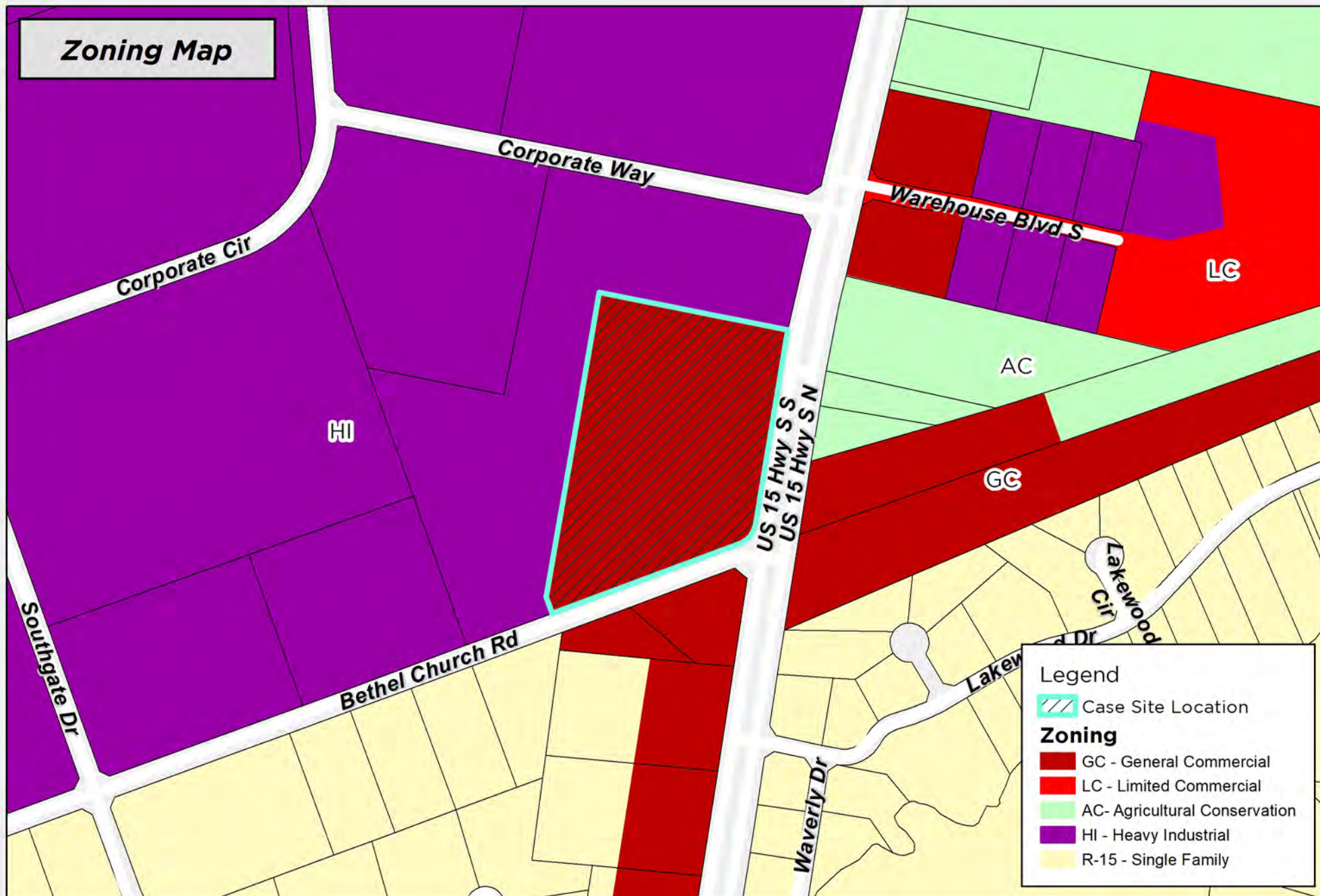


Map Prepared by: Sumter Planning Department
 Copyright 2025
 Date: 8/14/2025
 User Name: crobbins
 Document Name: MSP-25-38



MSP-25-38
 811 Bethel Church Rd, Sumter, SC 29154
 Tax Map # 210-00-03-040

Zoning Map



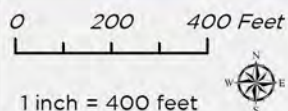
Legend

Case Site Location

Zoning

- GC - General Commercial
- LC - Limited Commercial
- AC- Agricultural Conservation
- HI - Heavy Industrial
- R-15 - Single Family

DISCLAIMER: While the data of this map has been tested for accuracy, the Sumter City-County Planning Commission disclaims any or all responsibility for the exact accuracy or correctness of the map. The Sumter City-County Planning Commission shall not become liable to the user of this map for any reason. In using this map, the user agrees to hold the Sumter City-County Planning Commission harmless of any or all liabilities arising from the use of this map and/or its data.

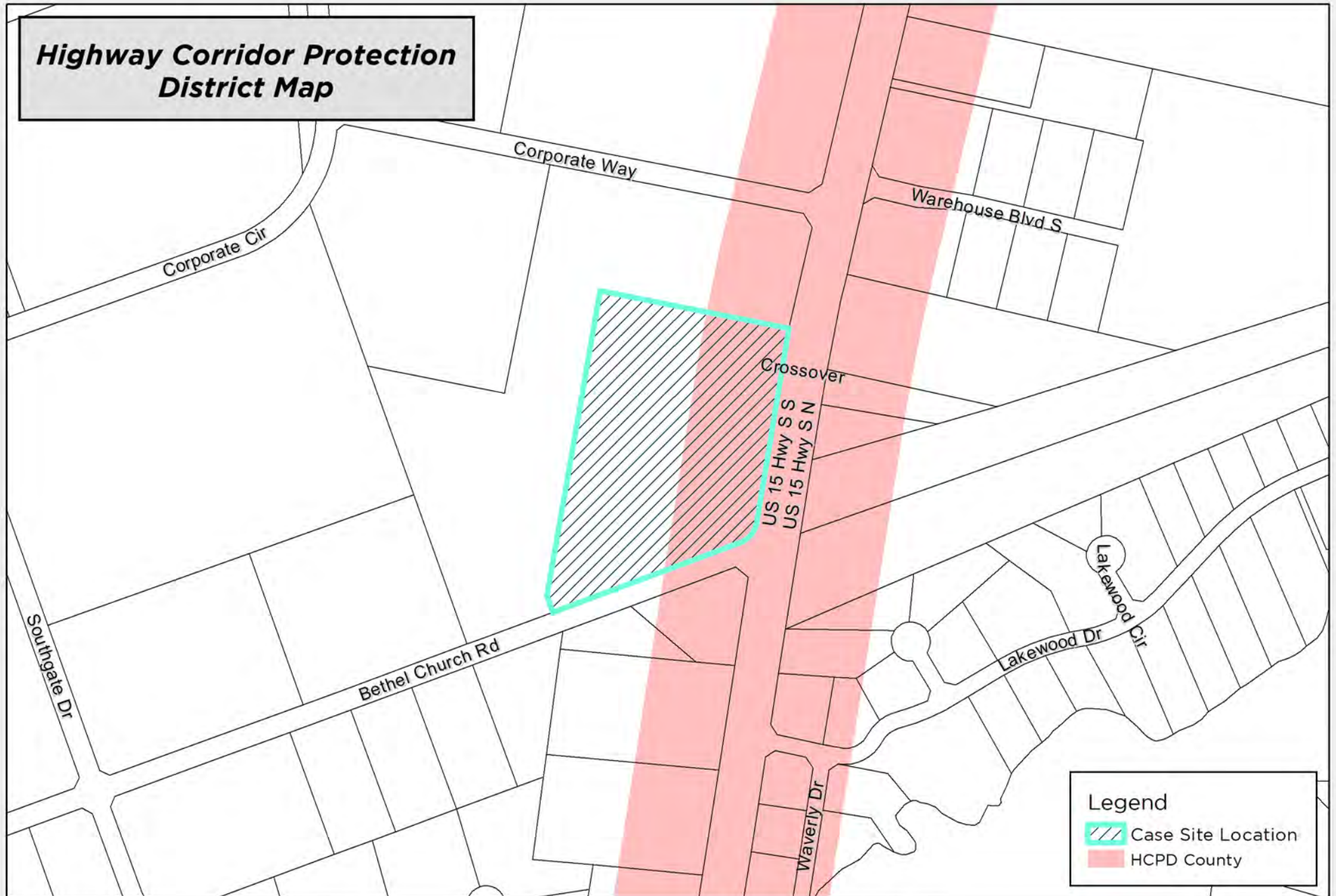


Map Prepared by: Sumter Planning Department
 Copyright 2025
 Date: 8/14/2025
 User Name: crobbins
 Document Name: MSP-25-38



MSP-25-38
 811 Bethel Church Rd, Sumter, SC 29154
 Tax Map # 210-00-03-040

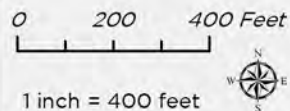
Highway Corridor Protection District Map



Legend

- Case Site Location
- HCPD County

DISCLAIMER: While the data of this map has been tested for accuracy, the Sumter-City County Planning Commission disclaims any or all responsibility for the exact accuracy or correctness of the map. The Sumter-City-County Planning Commission shall not become liable to the user of this map for any reason. In using this map, the user agrees to hold the Sumter-City-County Planning Commission harmless of any or all liabilities arising from the use of this map and/or its data.



Map Prepared by: Sumter Planning Department
 Copyright 2025
 Date: 8/14/2025
 User Name: crobbins
 Document Name: MSP-25-38



MSP-25-38
 811 Bethel Church Rd, Sumter, SC 29154
 Tax Map # 210-00-03-040