

Sumter City-County Planning Commission

March 27, 2024

SD-05-02 (Revision 2), Williamsburg (City)

I. THE REQUEST

Applicant: Adrianna Bowley

Status of the Applicant: Representative for Property Owner/Developer

Request: A request for preliminary plat revisions for an existing 217 lot single family residential subdivision.

Location: Stamey Livestock Rd. and Cape Town Rd.

City Council Ward: Ward 1

Size of Property: +/- 16.98 acres and +/- 1.59 acres

Present Use/Zoning: Single Family Residential & Undeveloped /Residential-9 (R-9)

Proposed Use of Property: Single Family Residential

Tax Map Reference: 187-00-01-004; 187-14-02-003; 187-14-02-002

Adjacent Property Land Use and Zoning: North: Undeveloped / AC
South: Residential & Undeveloped / GC & R-15
East: Residential (Hunters Crossing SD) / PD & GR
West: Residential / Residential (Crowndale SD) / R-15

II. BACKGROUND

The applicant is requesting approval for preliminary plat revisions for the Williamsburg Subdivision (SD-05-02). This subdivision was originally approved in 1995, however, no action was taken regarding development until a new major subdivision application was submitted and approved by the Planning Commission in 2005. The total number of lots currently entitled, via the 2005 subdivision approval and a revision completed in 2020, is 221. To date, 176 of the 221 lots have received final plat approval.



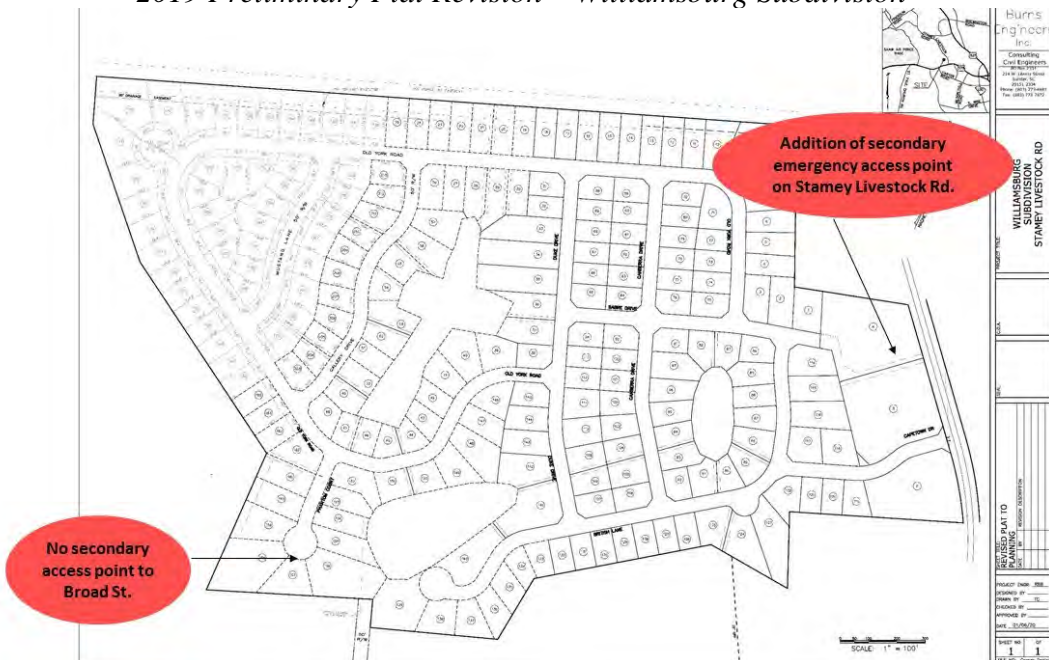
The applicant is requesting approval of a revised preliminary plat for the following items

- Conversion of the existing secondary emergency access to a full street connection between Sabre Dr. and Stamey Livestock Rd.
- Elimination of 4 single-family lots, bringing the new total lot count for the subdivision from 221 to 217.
- Construction of a stormwater retention pond in the rear corner of Phase 4, replacing the aforementioned lots.

2005 Approved Preliminary Plat – Williamsburg Subdivision



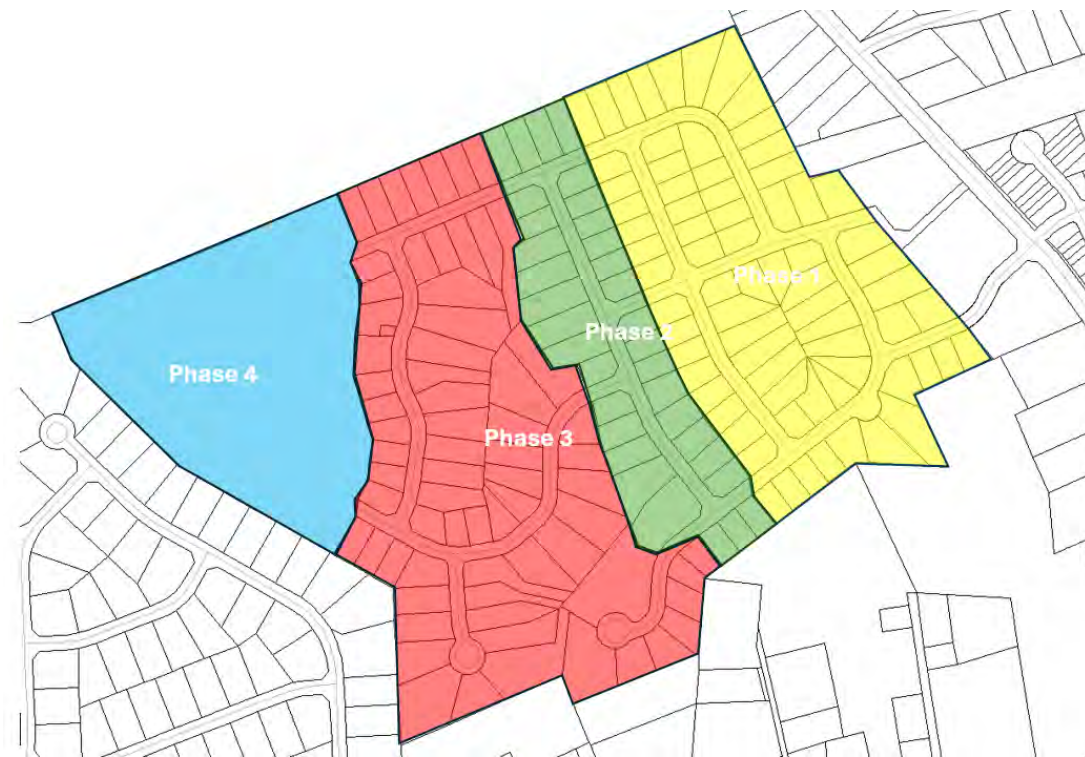
2019 Preliminary Plat Revision – Williamsburg Subdivision



Phasing was not an official part of the original 2005 plat approval. However, based on the timing of development to date, 4 distinct phases have been established. These phases are detailed below and discussed in other sections of this report.

Williamsburg Subdivision Phasing Status

Phase 1 – 72 Lots <i>Lots 1-14, 59-64, 70-97, 99-106, 114-129</i>	Infrastructure in place and accepted. Final plat approved in 2005.
Phase 2 – 34 Lots <i>Lots 15-18, 31-38, 58-65, 98, 107-113, 130-132, 141-145</i>	Infrastructure in place and accepted. Final plat approved in 2013.
Phase 3 – 70 Lots <i>Lots 19-57, 133-165, 203-213</i>	Infrastructure in place and accepted. Final plat approved in 2020.
Phase 4 – 41 Lots <i>Lots 166-202, 214-221</i>	Preliminary plat approval only. No infrastructure or construction activities to date.



IV. PRELIMINARY PLAT REVIEW

Approval of the preliminary plat constitutes approval of the subdivision as to its character, intensity of development, general layout, and the approximate dimensions of streets, lots and other planned features. This approval binds the developer to the general scheme of the subdivision and permits the developer to proceed with the installation of site improvements, subject to obtaining other necessary permits.

The following review is based upon the preliminary civil engineered plan titled “*Williamsburg Subdivision Phase 4*”, prepared by Michael E. Weatherly, P.E., Consulting Environmental & Civil Engineer, dated August 29, 2023, and the preliminary roadway diagram titled “*Stamey Livestock*”

Road Left Turn Lane, prepared by Dennis Corporation, and submitted to the Sumter City-County Planning Department on March 6, 2024.

A copy of both preliminary plans has been attached to this report.

This proposal is for a revision to the preliminary plat for Williamsburg Subdivision originally approved in 2005. Revisions include:

- Conversion of the existing secondary emergency access to a full street connection between Sabre Dr. and Stamey Livestock Rd.
- Elimination of 4 single-family lots, bringing the new total lot count for the subdivision from 221 to 217.
- Construction of a stormwater retention pond in the rear corner of Phase 4, replacing the aforementioned lots.

Zoning District Requirements

The purpose of the Residential-9 (R-9) zoning district is to recognize the essential suburban living character of significant portions of the City of Sumter where low to medium density single-family residential development is the predominant living environment of the existing and future population. Residential permitted uses within the R-9 district include single-family detached dwellings, and accompanying residential accessory uses.

Minimum development standards in the R-9 District are contained in *Article 3, Exhibit 3-1(A)* of the City of Sumter Zoning and Development Standards Ordinance, as follows:

**EXHIBIT 3-1(A)
DEVELOPMENT STANDARDS FOR USES IN R-15 DISTRICT**

	Non-Residential Uses	Single Family Detached Dwellings
Minimum Lot Area Per Individual Unit ¹	N/A	15,000 sq. ft. (per structure)
Minimum Lot Width	100 ft.	100 ft.
Minimum Lot Depth ²	120 ft.	120 ft.
Minimum Yards, Per Structure:		
Front ³	35 ft. (local/collector) 45 ft. (arterial)	35 ft. (local/collector) 45 ft. (arterial)
Side	50 ft.	12 ft.
Rear	50 ft.	25 ft.
Maximum Impervious Surface Percentage	40%	40%
Maximum Density (units per gross acre)	N/A	2.9
Maximum Height of Buildings	45 ft.	35 ft.

Lots shown on the preliminary plat submittal generally meet the basic zoning ordinance requirements. There are deviations in lot width that are in general conformance with the 2005 approval.

Tree Protection, Buffering, Landscaping, & Open Space Plans:

No landscaping or Tree Protection plans have been submitted with this request. Since this is a revision to a 2005 approval that is already partially developed, revisiting tree protection, buffering, landscaping, and open space is not required for City of Sumter Zoning & Development Standards Ordinance compliance.

Environmental Issues:

The site is not within a FEMA special flood hazard area (SFHA).

While the subdivision contains some areas of land identified in the National Wetlands Inventory (NWI) as being potential wetlands, the areas subject to this revision are outside the area of potential wetlands. New residential subdivision development is required to account for wetland areas in the planning process. No documentation exists concerning wetland delineation activities related to the 2005 Williamsburg approval. Since this is a proposed revision to that approval that is already partially developed, revisiting wetland status is not required for City of Sumter Zoning & Development Standards Ordinance compliance.

Stormwater Management Plan:

The submitted preliminary plat revision shows four primary storm water retention ponds. Three of the four ponds have been constructed to date and serve Phase 1, Phase 2, and Phase 3. The fourth storm water pond will be constructed as a part of Phase 4.

Although not shown on the 2005 preliminary plat, the final plats for Phase 1 & 2 indicate that the ponds will be under co-ownership of the adjacent property owners and not under common ownership of an HOA. Tax parcel boundaries for the developed portion of the subdivision reflect this. Phase 3 and Phase 4 will continue this pattern.

Stormwater approval must be granted prior to issuance of any construction or land disturbance permits.

Public Safety:

The proposed plan was reviewed by the City of Sumter Fire Inspector. The Fire Inspector is comfortable with the upgrade of the existing secondary emergency access point to a full street connection to Stamey Livestock Rd.

V. UTILITIES

The following utilities currently serve the Williamsburg Subdivision. No changes in utility providers are anticipated:

Sewer – City of Sumter

Note: Preliminary plat approval does not constitute approval from the city to serve the development with water and sewer. Water and sewer permits to construct must be obtained prior to land disturbance permit approval for this project.

Water – High Hills Rural Water Company
Electric – Black River Electrical Cooperative
Telephone – Farmers Telephone Cooperative

No concerns were raised during the Technical Review process concerning the proposed revisions.

VI. TRAFFIC REVIEW

The development is located along Stamey Livestock Road (S-43-91), an SCDOT-owned and maintained minor arterial roadway. The 2023 annual average daily traffic (AADT) volume for Stamey Livestock Road was 4,000, based on SCDOT count station #449. At the entrance to the subdivision, Stamey Livestock Road is a two-lane roadway, with one travel lane in each direction. The proposed subdivision is located in Traffic Analysis Zone (TAZ) #02022.

Updated plans for subdivision access include a second residential access street, with 1 entrance and 1 exit lane. Because Stamey Livestock Road is owned and maintained by SCDOT, an encroachment permit issued by SCDOT for construction of the second residential access street, effectively an extension of the existing Sabre Dr., is required.

For the proposed revised development plans, the applicant is proposing 25-ft two lane curb and gutter streets. The proposed roadways will be asphalt with curb and gutter configuration. The intensity of development based on average lot width as per *Article 8.e.3.b* is “medium” intensity. The proposed streets are considered residential access streets.

The applicant’s plans for the subdivision indicate sidewalk construction on 1 side of each street. Sidewalks are not required based on the intensity of development (medium intensity) and nature of proposed roadways as residential access streets; however, the applicant has installed a sidewalk on at least one side of all streets in previously completed phases.

Multimodal Transportation Factors

Bicycle and Pedestrian Network: There are no sidewalks or bicycle lanes on Stamey Livestock Road. No bicycle or pedestrian improvements are proposed for Stamey Livestock Road in the SUATS 2050 Long Range Transportation Plan.

Transit Accessibility: There are no fixed public transit routes operating on Stamey Livestock Road. The nearest route to the site is the Shaw Shuttle route between Downtown Sumter and Shaw Air Force Base, which operates on Carter Road and US-378 (Broad Street). The nearest stop is located approximately 1.3 miles away.

Rail: There is no rail use and no rail impacts are proposed.

Traffic Impact Study Requirements

At full build out, the proposed subdivision will result in more than 100 peak hour trips, therefore a Traffic Impact Study (TIS) was required. A Traffic Impact Study was completed in July 2005 which assumed 165 residential lots with 2 street connections to the existing road network (1 on Broad Street and 1 on Stamey Livestock Road).¹ Revision #1 to the Subdivision approval

¹ “Traffic Impact Study for the Proposed Williamsburg Subdivision Sumter, South Carolina”, prepared by Burns Engineers, Inc., and dated July 19, 2005

completed in 2020 increased the total number of lots to 221 and removed the Broad St. access. A condition of that approval was that the applicant provide an updated TIS that addresses all elements required by the Ordinance using the full-221-unit buildout and single street connection prior to final plat approval for lots in Phase 4.

This proposed revision #2 adjusts the total lot count from 221 to 217, and proposes to establish a second street connection. Staff is of the opinion that these revisions meet the intent of the original development plan, and no additional TIS update should be required at this time.



SUATS Long Range Transportation Plan Considerations:

The Stamey Livestock Rd. at Broad St. intersection is listed as the #18 priority for intersection improvements, and the Stamey Livestock Rd. corridor is listed as the #33 priority for road corridor improvements in the Sumter 2050 Long Range Transportation Plan (LRTP).

VII. TECHNICAL REVIEW

The Sumter Technical Review Committee (TRC) members have reviewed the submitted plans electronically. The following technical review items must be addressed:

- Planning Department – See the outstanding technical review items outlined in *Exhibit 2*.
- Engineering Department – The applicant must consult with the Engineering Department on required standards for city acceptance of streets and for water/sewer infrastructure permitting and acceptance.

VIII. STAFF RECOMMENDATION

Staff is supportive of SD-05-02, Revision #2 contingent on the “Conditions of Approval” included in this staff report as Exhibit 1.

IX. DRAFT MOTION

- 1) I move that the Planning Commission **approve** SD-05-02 (Revision 2) subject to the preliminary civil engineered plan titled “*Williamsburg Subdivision Phase 4*”, prepared by Michael E. Weatherly, P.E., Consulting Environmental & Civil Engineer, dated August 29, 2023, and the preliminary roadway diagram titled “*Stamey Livestock Road Left Turn Lane*”, prepared by Dennis Corporation, and submitted to the Sumter City-County Planning Department on March 6, 2024.
- 2) I move that the Planning Commission **deny** SD-05-02 (Revision 2).
- 3) I move an alternate motion.

X. PLANNING COMMISSION – March 27, 2024

Exhibit 1:
SD-05-02 (Revision #2), Williamsburg Subdivision (City)
Proposed Conditions of Approval

1. The subdivision shall be developed in substantial conformance with the preliminary civil engineered plan titled “Williamsburg Subdivision Phase 4”, prepared by Michael E. Weatherly, P.E., Consulting Environmental & Civil Engineer, dated August 29, 2023, and the preliminary roadway diagram titled “Stamey Livestock Road Left Turn Lane, prepared by Dennis Corporation, and submitted to the Sumter City-County Planning Department on March 6, 2024.

Approval of the preliminary plat constitutes approval of the subdivision as to its character, intensity of development, general layout, and the approximate dimensions of streets, lots and other planned features. This approval binds the developer to the general scheme of the subdivision and permits the developer to proceed with the installation of site improvements, subject to obtaining other necessary permits.

2. Prior to issuance of land disturbance permit(s), the following items must be addressed:
 - a. 1 copy of full civil engineered development plans for the subdivision Phase 4 revisions, showing the latest revision date, with all outstanding technical review issues resolved, must be submitted to the Sumter City-County Planning Department.
 - b. 1 copy of full civil engineered development plans for the Sabre Rd. extension, showing the latest revision date, with all outstanding technical review issues resolved, must be submitted to the Sumter City-County Planning Department.
 - c. Stormwater permit approval from the City Stormwater Utility must be submitted to the Sumter City-County Planning Department.
3. Final plat approval for the revised development is contingent upon the following:
 - a. Road Infrastructure: installation and acceptance of roadway infrastructure by the City of Sumter for each section of development is required prior to final plat approval for any new lots in each section, respectively.
 - b. Issuance of SCDOT Encroachment Permit
 - c. Sewer Utility Infrastructure: installation and acceptance of all sewer infrastructure by the City of Sumter for each section of development (in its entirety) is required prior to final plat approval for any new lots in each section, respectively.
 - d. Stormwater Detention Area Ownership & Maintenance:
 - i. Final executed Conditions, Covenants and Restrictions (CCR) documentation detailing stormwater pond maintenance responsibilities and ownership shall be provided to the Planning Department prior to issuance of the 1st Certificate of Occupancy.
5. Timeline for installation of landscaping and open space:
 - a. *Subdivision Entrance Landscaping* – All required subdivision entrance landscaping must be complete and pass zoning inspection prior to issuance of any building permits for Phase 4 of the subdivision.
 - b. *Stormwater Pond Buffer* – All required stormwater pond buffering must be complete and pass zoning inspection prior to final plat approval for any lot in the subdivision.

6. Timeline for Sidewalk Installation:

- a. Sidewalks shall be installed at time of construction for each unit. Final Certificate of Occupancy shall not be granted on any lot where a sidewalk is required but has not been installed.

Agreed:

Dean Gainey, Gainey Construction

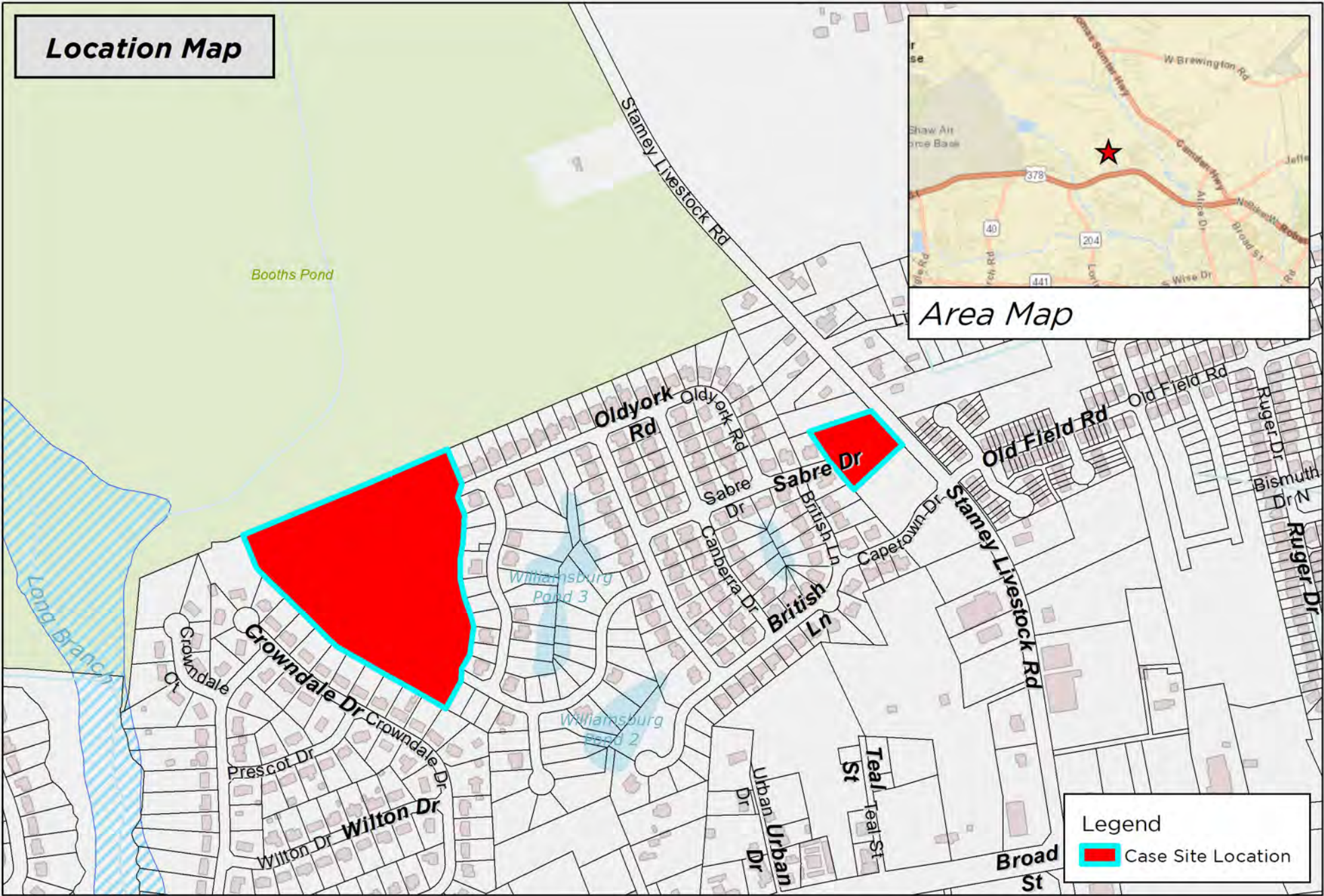
Date

Exhibit 2:
SD-05-02 (Revision #2), Williamsburg Subdivision (City)
Outstanding Technical Review Items

The following technical review issues must be resolved as a condition of approval and prior to approval of any land disturbance activity on the property.

1. Applicant must provide SCDOT encroachment plan sheet detailing all proposed work within right-of-way of Stamey Livestock Rd.
2. Subdivision Entrance Landscaping: All entrances to subdivisions must be planted with a minimum of 2 canopy trees, 6 understory trees, and 14 shrubs, placed outside the sight-distance triangle area of the intersection. Please provide a landscaping plan for the new subdivision entrance that corresponds to these minimum requirements, along with the location of any proposed subdivision entrance signage. Please note that signage must be set back at least 10 ft. from all existing and proposed property lines.

Location Map




Area Map

Legend

 Case Site Location

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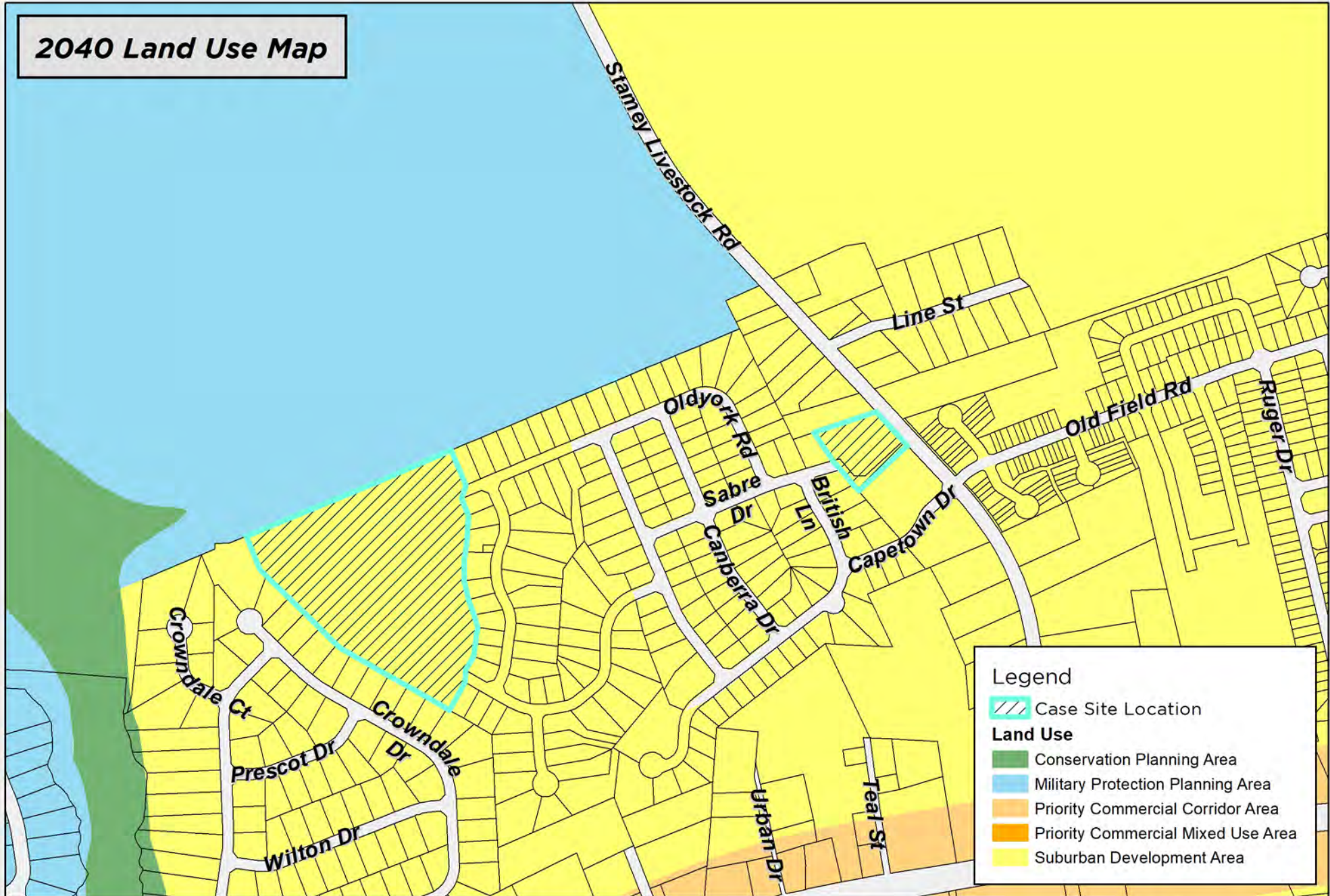


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






SD-05-02 Rev2
1814 Stamey Livestock Rd, Sumter, SC 29153
Tax Map # 187-14-02-003, 187-00-01-004,
& 187-14-02-002


2040 Land Use Map



Legend

-  Case Site Location
- Land Use**
-  Conservation Planning Area
-  Military Protection Planning Area
-  Priority Commercial Corridor Area
-  Priority Commercial Mixed Use Area
-  Suburban Development Area

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SD-05-02 Rev2
1814 Stamey Livestock Rd, Sumter, SC 29153
Tax Map # 187-14-02-003, 187-00-01-004,
& 187-14-02-002

2024 Aerial Photography Map



Legend
 Case Site Location

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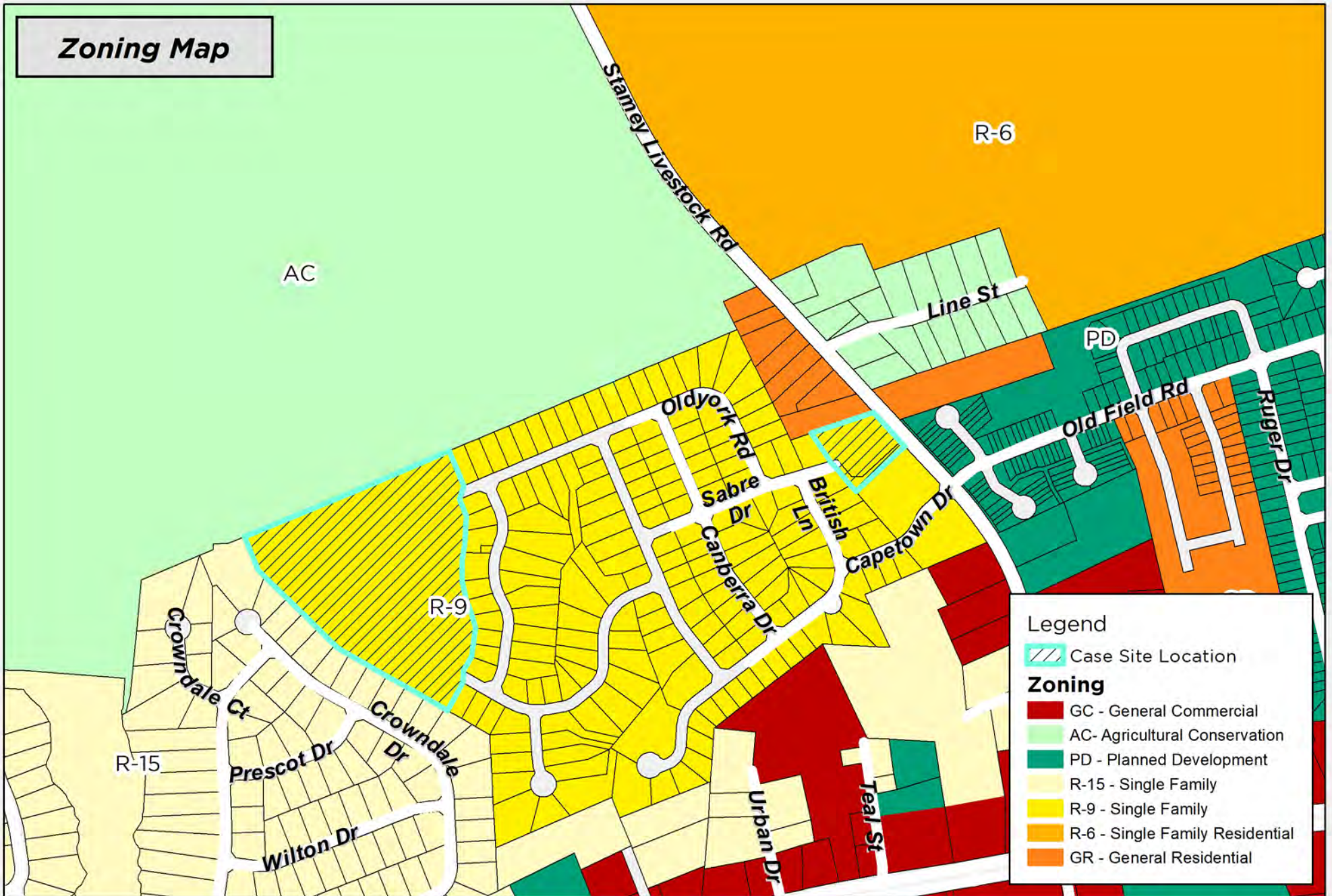


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 Tax Map # 187-14-02-003, 187-00-01-004,
 & 187-14-02-002

Zoning Map



Legend

- Case Site Location

Zoning

- GC - General Commercial
- AC- Agricultural Conservation
- PD - Planned Development
- R-15 - Single Family
- R-9 - Single Family
- R-6 - Single Family Residential
- GR - General Residential

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