

Sumter City-County Planning Commission

March 27, 2024

HCPD-24-09, 347 Broad St. (City)

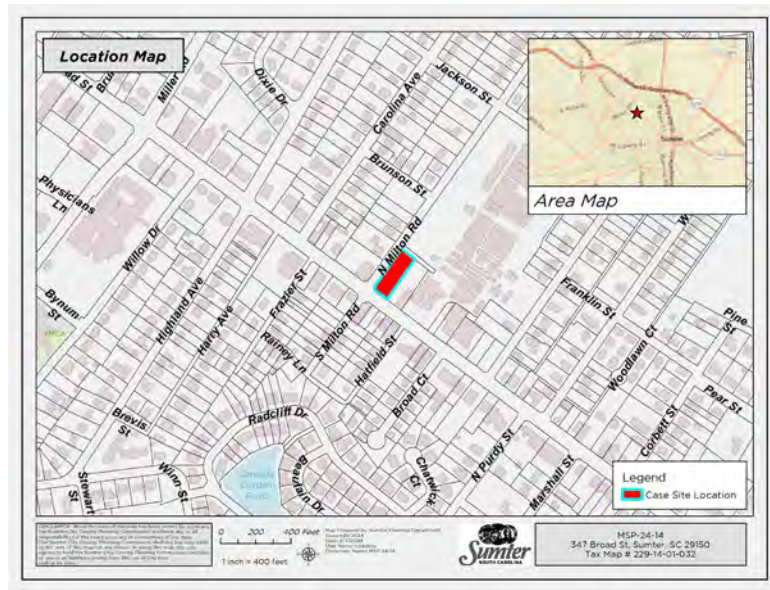
I. THE REQUEST

Applicant:	Paul Jones
Status of the Applicant:	Authorized Agent
Request:	Request for alternative construction materials for building façade in the highway Corridor.
City Council Ward	Ward 1
Location:	347 Broad St.
Size of Development:	+/- 0.63 acres
Present Use/Zoning:	Automobile Dealer / General Commercial (GC) with Highway Corridor Protection District (HCPD) Overlay.
Tax Map Reference:	229-14-01-032

II. BACKGROUND

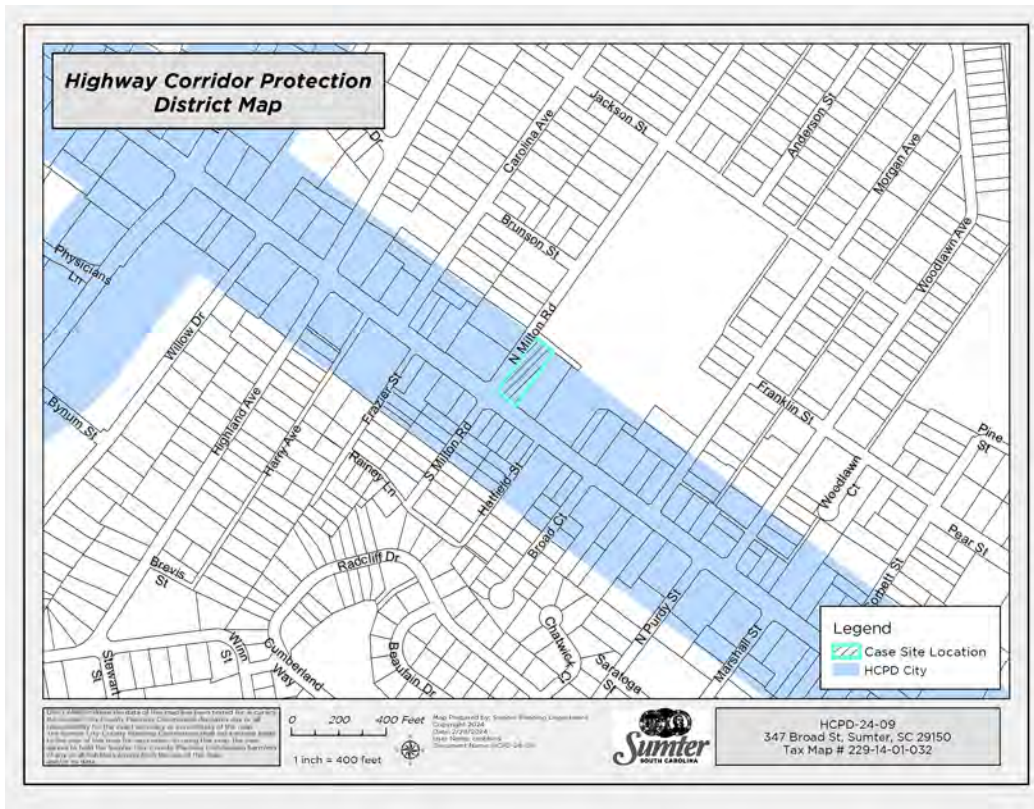
The applicant is requesting Planning Commission approval for the use of an alternate exterior building material in the Highway Corridor Protection District (HCPD) design overlay.

This request is associated with a minor site plan and HCPD review for a +/- 875 sq. ft. accessory building proposed on property located at 347 Broad St., at the intersection of N. Milton Rd. and Broad St. The property is shown in red on the location map to the right.



The applicant submitted an HCPD application with building elevation plans showing a proposed all metal warehouse building. Since the time of original plans submission, the applicant has proposed building modifications to achieve a greater degree of HCPD compliance. However, the proposal does not meet the 80% brick, stucco, stone, or masonry criteria required for staff level

approval, and in accordance with *Article 3, Section 3.t.4.c* of the City of Sumter Zoning & Development Standards Ordinance (the Ordinance), the Sumter City-County Planning Commission (PC) must approve alternate exterior materials.



Above: HCPD Map



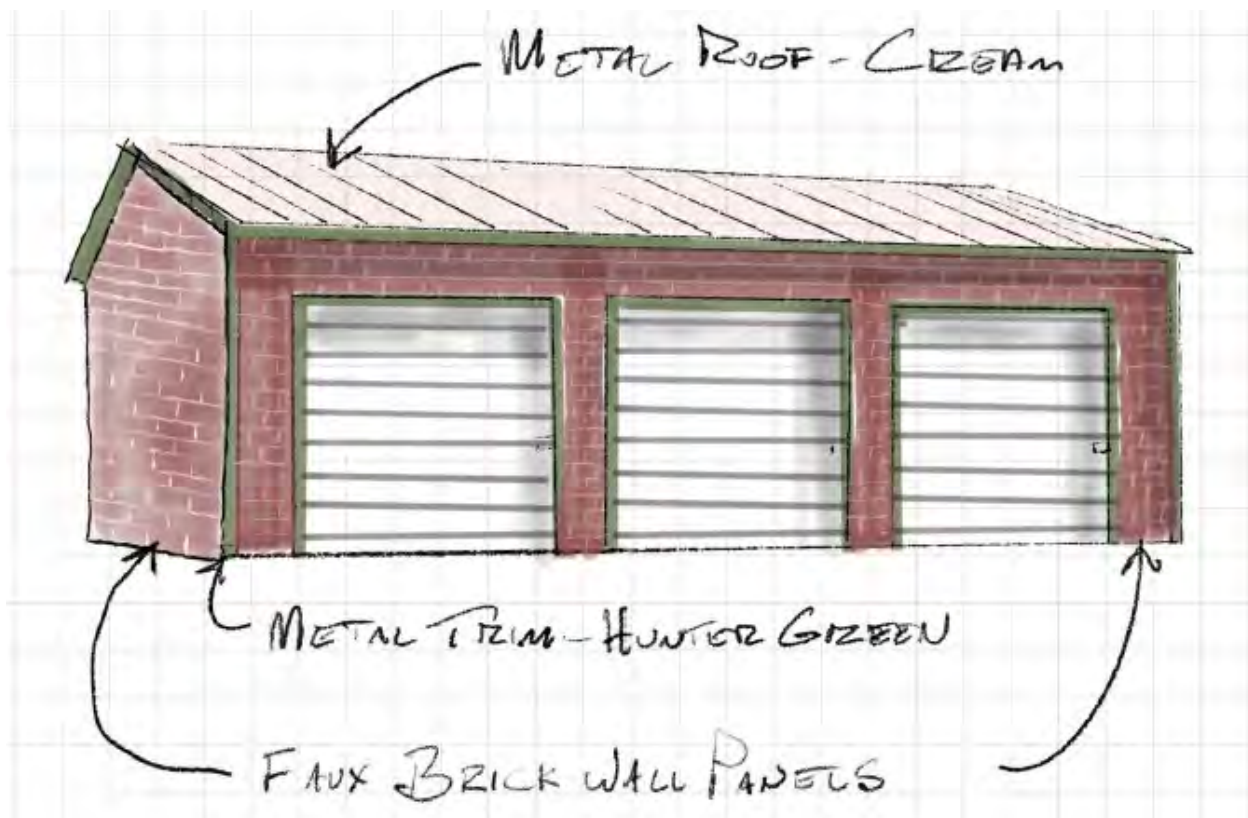
Above: Site Picture

III. Alternate Building Exterior Material Request

The applicant is requesting the PC approve alternate exterior materials for the building in accordance with *Article 3, Section 3.t.4.c* of the Ordinance.

3.t.4.c Architectural Standards: A minimum of eighty percent (80%) of the surface materials, excluding doors and windows, shall be brick, stucco, or stone masonry or materials approved by the Sumter City-County Planning Commission. Building sides clearly visible from the street or public view, shall be constructed of the above-mentioned materials or highly mitigated with landscaping and shown on the required landscaping plan as part of the application.

Staff Review: The applicant originally submitted plans showing an all-metal warehouse building. This was an outstanding comment concerning the review of the overall project. Based on correspondence with the project's representative, the owner is proposing to apply a polystyrene brick façade to the Broad St. facade and to the N. Milton Rd. facing facade while mitigating the rear of the building with landscaping, leaving the Southeast side of the building metal. Planning Commission approval for alternate exterior materials is required in accordance with the above requirement.



Staff is not supportive of the use of standard metal panel siding within the city HCPD. As such, staff recommends that the Planning Commission require application of the polystyrene brick façade on all building sides an overall minimum coverage rate of 80%, excluding door and window openings, if the Planning Commission makes the determination that such an exterior material is an acceptable alternative in this specific situation.

Staff notes that this request is for alternate HCPD building exterior materials only. Any other outstanding technical review issues are to be resolved at the staff level.

V. DRAFT MOTION

Motion #1:

I move the Sumter City-County Planning Commission **approve** HCPD-24-09 (alternate exterior material request) subject to the staff recommended conditions.

Motion #2:

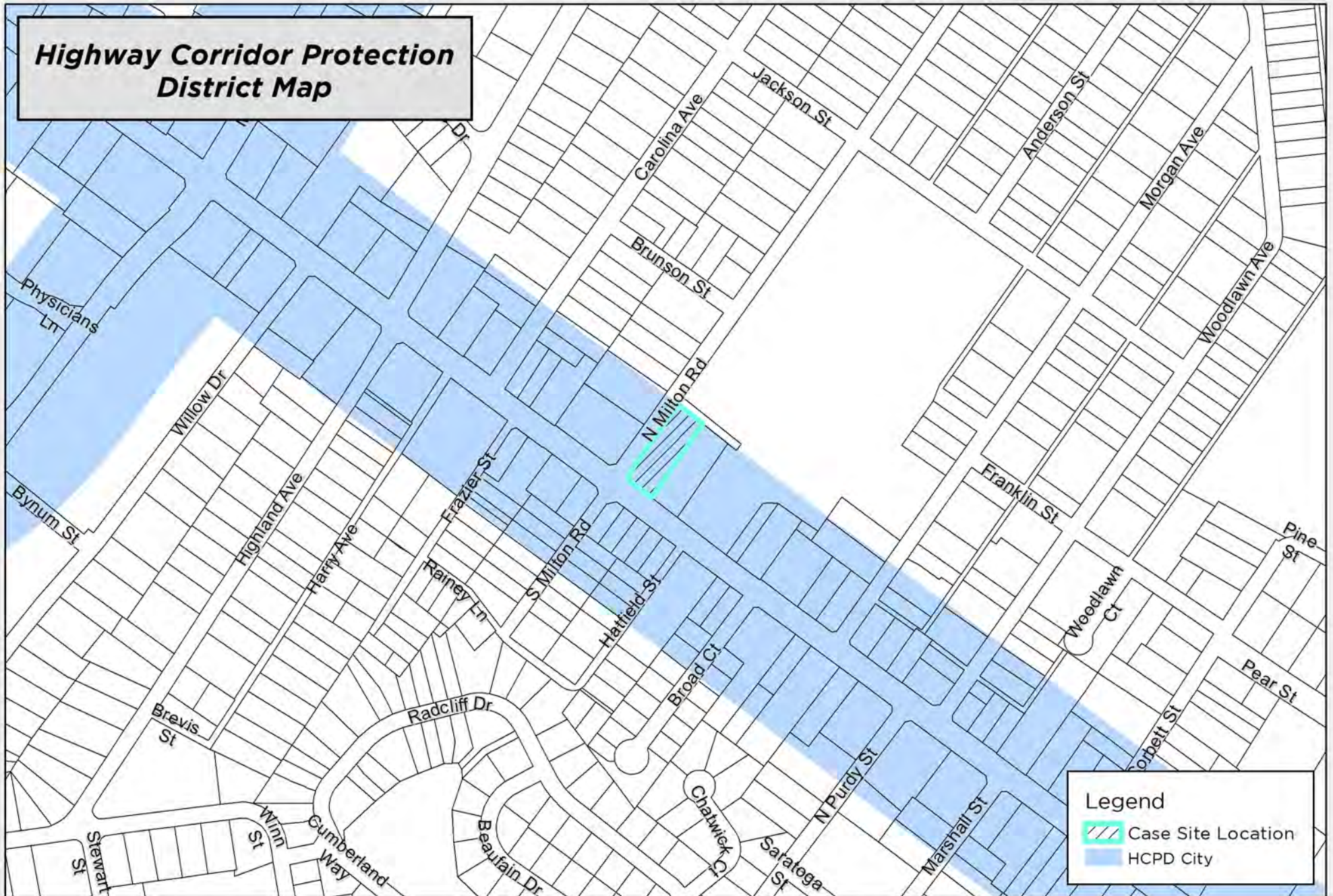
I move the Sumter City-County Planning Commission **deny** HCPD-24-09 (alternate exterior material request).

Motion #3:



I move an **alternate** motion.

VI. PLANNING COMMISSION – MARCH 27, 2024

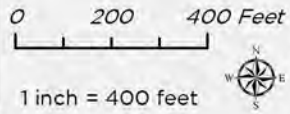
Highway Corridor Protection District Map



Legend

-  Case Site Location
-  HCPD City

DISCLAIMER: While the data of this map has been tested for accuracy, the Sumter City-County Planning Commission disclaims any or all responsibility for the exact accuracy or correctness of the map. The Sumter City-County Planning Commission shall not become liable to the user of this map for any reason. In using this map, the user agrees to hold the Sumter City-County Planning Commission harmless of any or all liabilities arising from the use of this map and/or its data.



Map Prepared by: Sumter Planning Department
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 Date: 2/28/2024
 User Name: crobbins
 Document Name: HCPD-24-09



HCPD-24-09
 347 Broad St, Sumter, SC 29150
 Tax Map # 229-14-01-032