

Sumter City-County Planning Commission

March 24, 2021

MSP-21-09/HCPD-20-08, 3180 Broad St. (City)

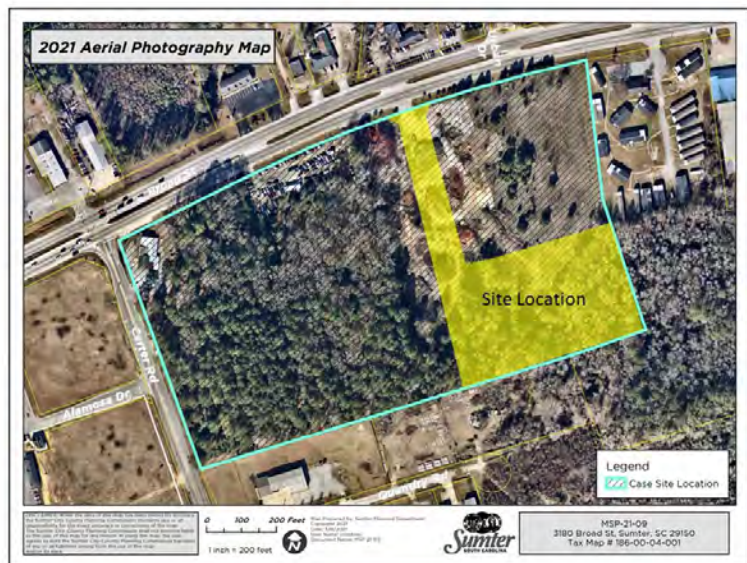
I. THE REQUEST

Applicant:	Sumter Healthcare Realty, LLC
Status of the Applicant:	Authorized Agent
Request:	Request for Major Site Plan Approval for a +/- 38,000 sq. ft. Behavioral Health Hospital.
Location:	3180 Broad St.
Size of Development:	+/- 5.15 acres portion of a +/-24.33 acres tract.
Present Use/Zoning:	Undeveloped / General Commercial (GC)
Proposed Use of Property:	Behavioral Health Hospital
Tax Map Reference:	186-00-04-001 (part)

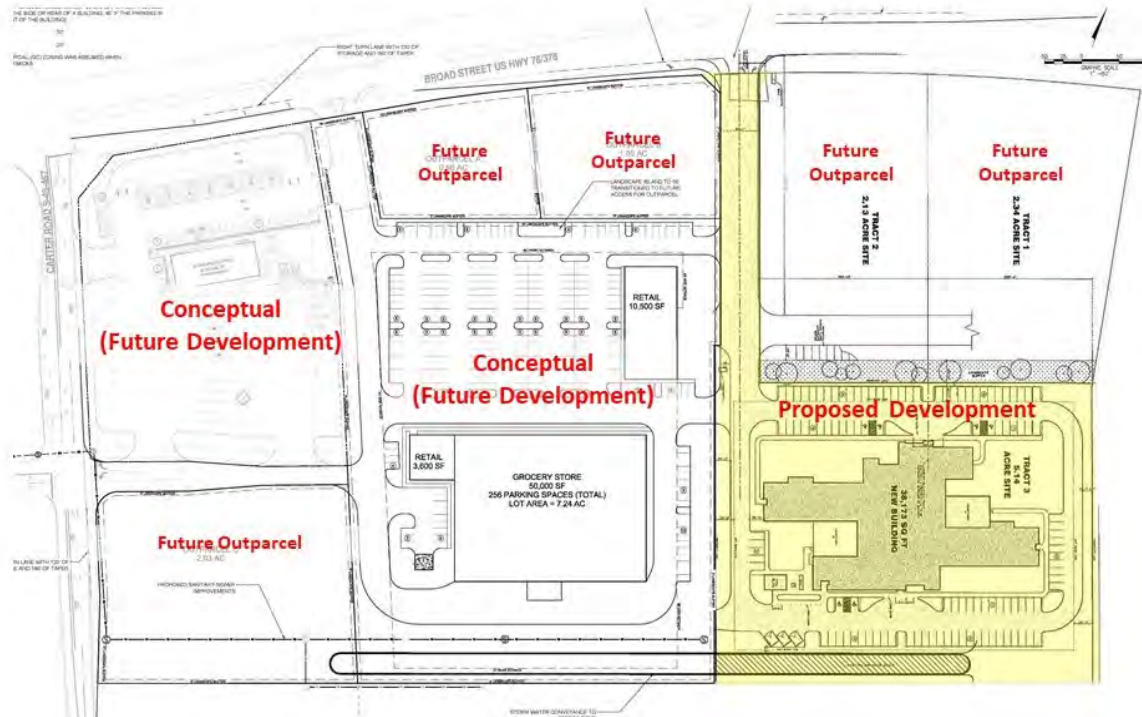
II. BACKGROUND

The applicant is requesting Major Site Plan & Highway Corridor Protection District Design approval in order to develop a +/- 38,000 sq. ft. behavioral health hospital on property located at 3180 Broad St. and further identified as TMS# 186-00-04-001 (part). The area designated for development is highlighted in yellow. The hospital will offer in-patient behavioral health services, with floorplans indicating that 60 patient beds will be provided.

As shown by the location map to the right, the site is situated on Broad St. near the intersection of Broad St. and Carter Rd. The site consists of a 5.15 acre parcel that is part of a larger 24.33 acre property.



Master planning has occurred for the larger site, with internal site circulation, transportation impacts, and infrastructure being considered for full site build out. A conceptual master plan for the entire site has been submitted and is shown below.



Above: Conceptual Master Site Plan

Sumter 2040 Comprehensive Plan:

Per the Sumter 2040 Comprehensive Plan, the property is influenced by the policies of the Suburban Development planning area and is within a designated Priority Commercial Corridor area.

The primary goal of the Suburban Development planning area is to scrutinize and manage existing development patterns, foster intentional mixed-use development, and identify new commercial and industrial locations where form and design are a focus, all in a more efficient manner.

The goal of all designated Priority Investment Areas is to identify, direct, and concentrate new development opportunities more acutely. Priority Commercial Corridor have been host to a diversity of uses from large, destination retail uses to more base industrial outdoor storage uses. Many areas within the Priority Commercial Corridor designation are visually uninviting, have higher levels of vacancy, or face outright abandonment. New quality commercial development and redevelopment is encouraged along designated corridors.

This project represents a new in-patient behavioral hospital use along a major arterial road. The use will be a part of an internally connected development consisting of a variety of commercial uses. However, the use will be setback at the rear of the site and will not be prominent feature

along Broad St. upon full build out of the larger tract. Staff finds that the project is in alignment with goals and policies of the Sumter 2040 Comprehensive Plan.

Zoning Compatibility:

The property is located within the General Commercial (GC) zoning district. Psychiatric hospitals under Standard Industrial Classification (SIC) Code 8063 are a permitted use in this zoning district. The property must be developed in accordance with standards and requirements of the *City of Sumter Zoning & Development Standards Ordinance* (the “Ordinance”).

Environmental

The subject property is within a Zone X area as shown on FEMA FIRM Panel 45085C0283E with an Effective Date of September 28, 2018. National Wetlands Inventory (NWI) data suggests that no wetlands are present on the site.

III. SITE PLAN REVIEW

Site Layout:

The applicant has submitted a set of site plans titled, “*Midlands Behavioral Health Facility Sumter, SC*”, prepared by Michael E. Weatherly, PE, dated March 14, 2021, a landscaping plan titled “*Midlands Behavioral Health Hospital Sumter, SC*” prepared by Jones & VanPatten, LLC dated January 22, 2021 and elevation renderings titled “*Midlands Behavioral Health Hospital 3180 Broad St., Sumter, South Carolina 29150*” prepared by Mark E. Bixler, AIA dated January 16, 2021.

Submitted site plan, landscaping plan, and elevation renderings are attached to this report as *Exhibit 2, Exhibit 3, and Exhibit 4.*

Site development is required to adhere to General Commercial (GC) zoning district standards found within *Article 3, Section 3.i.5* of the Ordinance.

- Setbacks:
 - Front (Arterial Rd. – parking in-front of building) – 45 ft.
 - Side – 0 ft.
 - Rear – 20 ft.
 - Maximum Building Height – 60 ft.
- Maximum Impervious Surface – 92 %

Based upon staff review, the proposed development meets these minimum standards and development criteria.

Parking Plan:

Based upon the criteria found in *Article 8, Exhibit 8-9* of the Ordinance, minimum off-street parking standards for hospital uses require 0.7 spaces per bed and therefore 42 total off-street parking spaces, including 2 handicapped accessible spaces, are required to accommodate the proposed behavioral health hospital. The proposed plan shows 110 total off-street spaces, of which 6 are handicapped accessible.

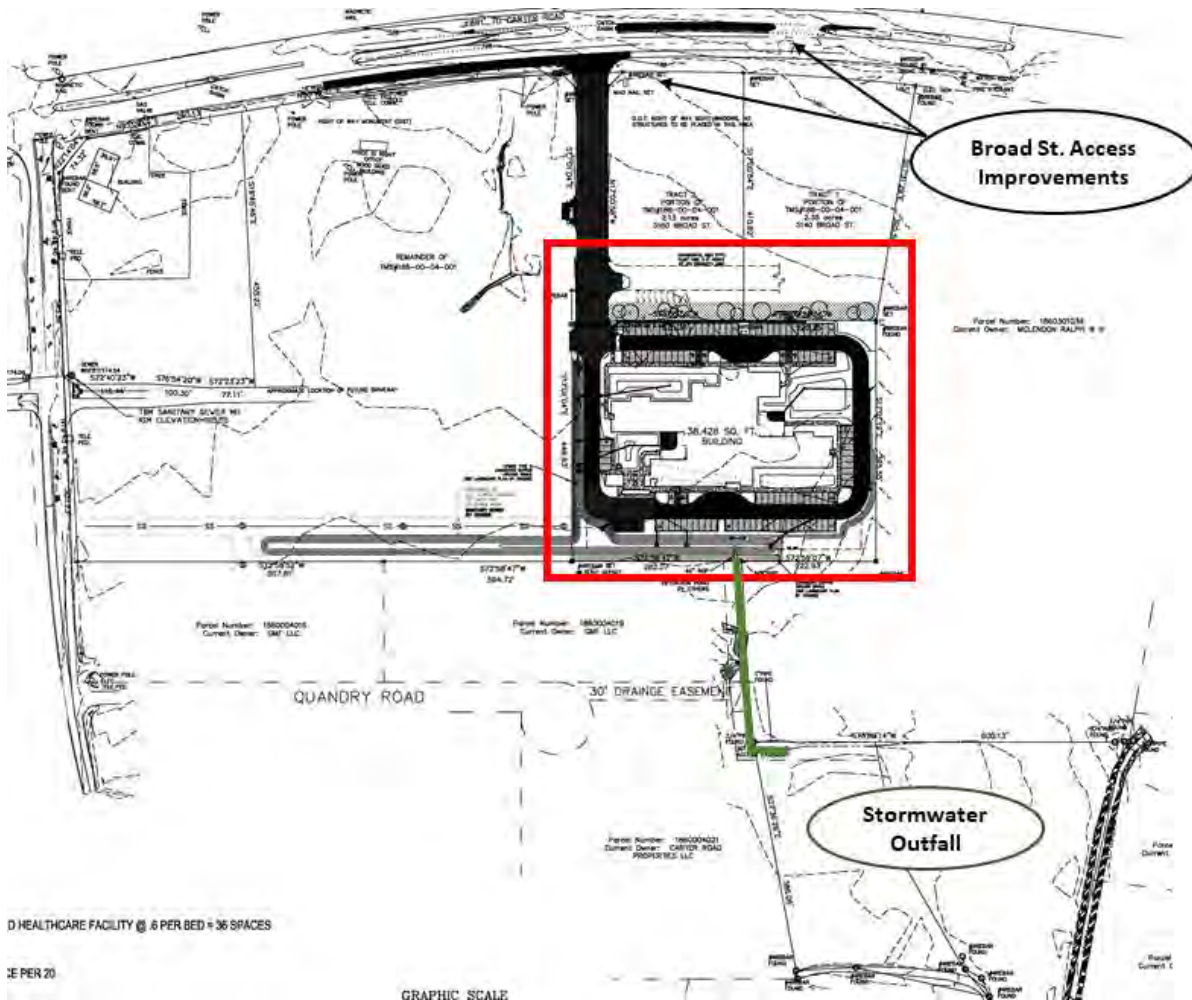
90-degree angle parking spaces are being proposed. Parking design standards found within *Article 8, Section I: Parking Regulations* of the Ordinance require 25 ft. aisle widths for 90-

degree angled parking spaces, concrete curb and gutter, concrete or asphalt pavement material, and parking spaces that have at least a 9 ft. x 19 ft. dimension.

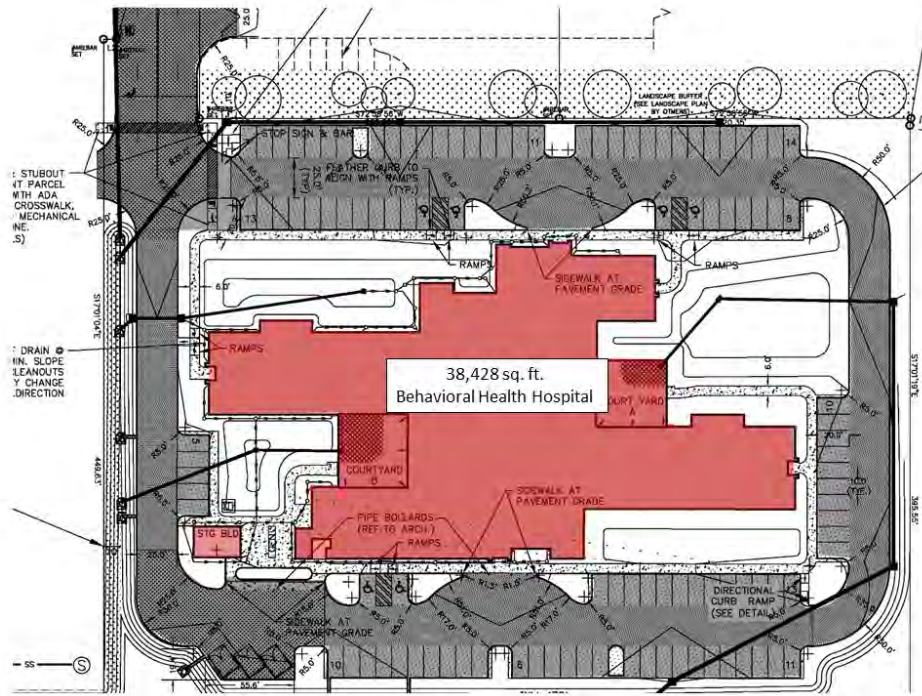
The proposed plan shows the following in compliance with applicable standards:

Off-Street Parking Areas

- 183 total parking spaces (9 ft. x 19 ft.)
 - 165 – 90-degree angled spaces
 - 18 dedicated handicapped spaces
- 25 ft. drive aisle widths
- Concrete Curb & gutter
- Asphalt paving surface material



Above: Large Site Plan Graphic



Above: Focused Site Plan Graphic

Landscape & Tree Protection Plan:

The submitted landscape plan was reviewed against the requirements of *Article 9, Landscaping, Buffer, and Tree Protection Requirements* of the Ordinance. The applicant is proposing the following landscape improvements for this development:

- **Type A Buffer Landscaping (Front, Sides, & Rear)** – *3 canopy trees and 20 shrubs per 100 LF are required.* The proposed plan provides the required number of plantings along each bufferyard. The proposed canopy tree species will be Willow Oak and Nutall Oak. The proposed understory tree species will be Crepe Myrtle. The proposed shrub species will be Privet and Ruby Loropetalum.
- **Interior Parking Lot Landscaping** – Parking lot islands are required every 15 parking spaces and at the end of each row not abutting a required landscape buffer. Parking lot islands are required to have 1 canopy tree and three shrubs. The proposal landscaping plan meets these specific standards. Bosque Elms and Princeton Ginkgo’s are the proposed canopy trees for parking lot islands within the proposed development.

The proposed plan also includes Bald Cypress within the stormwater swale at the rear of the site. Staff finds that these additional canopy trees within the swale meet the intent of the Type B bufferyard requirement since the swale is located at the rear of the development and additional water tolerant tree species are being provided. The proposed plan also includes additional tree plantings and building foundation plantings that are above minimum planting requirements.

Per a letter from Black River Land Surveying, LLC dated March 12, 2021, there are no significant or historic trees within the development area.

Staff recommends approval of the proposed landscaping plan as it exceeds the minimum requirements and meets the overall intent of *Article 9, Landscaping Requirements*. A full plant schedule is included with *Exhibit 3*.



Above: Landscape Plan Graphic

	SYMBOL	KEY	SIZE AT PLANTING *	COMMON NAME	BOTANICAL NAME	QTY
OVERSTORY TREES		WO	2" CALIPER 7' HEIGHT	WILLOW OAK	QUERCUS PHELLOS	17
		NO	2" CALIPER 7' HEIGHT	NUTTALL OAK	QUERCUS NUTTALLII	18
		BE	2" CALIPER 7' HEIGHT	BOSQUE ELM	ULMUS PARVIFOLIA 'BOSQUE'	13
		CP	2" CALIPER 7' HEIGHT	CHINESE PISTACHE	PISTACIA CHINENSIS	9
		PR	2" CALIPER 7' HEIGHT	PRINCETON SENTRY GINKGO	GINKGO BILOBA 'PRINCETON SENTRY'	4
		CY	2" CALIPER 7' HEIGHT	BALD CYPRESS	TAXODIUM DISTICHUM	10
	UNDERSTORY TREES		NA	15 GALLON 1.5" CALIPER (5' HEIGHT)	NATCHEZ CREPE MYRTLE	LAGERSTROEMIA INDICA 'NATCHEZ'
		SS	15 GALLON 2" CALIPER (5' HEIGHT)	SINGLE STEM NATCHEZ	LAGERSTROEMIA INDICA 'NATCHEZ'	2
		RE	3 GALLON 15" HEIGHT	PRIVET	RECURVIFOLIUM LIGUSTRUM	154
FOUNDATION PLANTS SMALL SHRUBS		ST	3 GALLON 15" HEIGHT	SOFT TOUCH HOLLY	ILEX CRENATA 'SOFT TOUCH'	53
		AC	15 GALLON	ACADIANA HOLLY	ILEX X 'MAGINA'	9
		CA	3 GALLON 15" HEIGHT	CARISSA HOLLY	ILEX CORNUTA 'CARISSA'	20
		W	3 GALLON 15" HEIGHT	WINTERGREEN BOXWOOD	BUXUS MACROPHYLLA	6
		JA	3 GALLON 15" HEIGHT	JAPANESE YEW	PODOCARPUS MACROPHYLLUS 'MAKI'	2
		RO	3 GALLON 15" HEIGHT	ROSE CREEK ABELIA	ABELIA X 'ROSE CREEK'	3
		RU	3 GALLON	RUBY LOROPETALUM	LOROPETALUM CHINESE 'RUBY'	128

* SEE NOTES THIS SHEET FOR ADDITIONAL REQUIREMENTS FOR SIZES AT PLANTING AND AT FULL MATURITY

Above: Tree Schedule

Traffic Impact Analysis & Access Management:

Sumter Healthcare Realty, LLC is proposing to construct a 38,000 SF behavioral health hospital on a parcel within a larger development, located on Broad St (US-378) closest to that road’s intersection with Carter Rd (S-467). Both roadways are SCDOT-owned and maintained. Broad St. is classified as a Major Arterial Roadway, and Carter Rd. is classified as a Major Collector Roadway.

**SUATS Long Range Transportation Plan Level of Service (LOS)
and Volume to Capacity (V/C) Ratios:**

Roadway	2015 Level of Service	Projected 2045 LOS	2015 V/C Ratio	Projected 2045 V/C Ratio
Broad St. (US-378)	B	C	0.69	0.83
Carter Rd. (S-467)	A	A	0.32	0.46

Based on an analysis of calculated 2015 LOS and V/C ratios and projected 2045 LOS and V/C ratios, Broad St. is expected to experience a reduction in level of service from B to C, and experience an increase in volume to capacity ratio, though given the current roadway width, the scope of improvements in the corridor will be limited to access management, signalization, and other targeted operation design improvements. The project’s Traffic Impact Study (TIS), submitted with the site plan application, includes an assessment of existing conditions as well as 2023 buildout conditions. In the TIS model, the overall LOS for the area is not expected to downgrade beyond LOS C.

Plans for initial site access include the creation of one (1) 50 ft. width full access driveway containing two (2) entrance lanes and two (2) exit lanes on Broad St. Future site development plans included in the project’s Traffic Impact Study (TIS) contemplate an additional entrance serving the site from Carter Rd which would include one (1) entrance lane and two (2) exit lanes. Because both Carter Rd and Broad St. are owned and maintained by SCDOT, an encroachment permit is required to complete work in the right-of-way.

The 2019 annual average daily traffic (AADT) volume count for Broad St. was 27,000 from station #149. The 2019 annual average daily traffic (AADT) volume counts for Carter Rd. was 4,400 from station #577. At the proposed entrance to the site, Broad St. is a 4-lane divided access highway with a grass median. Carter Rd. is a two-lane roadway with one travel lane in each direction. The proposed site is located in Traffic Analysis Zone (TAZ) #18024.

Multimodal Transportation Factors

Bicycle and Pedestrian: Sidewalks do not currently exist on the site’s Carter Rd or Broad St. frontage. No sidewalks are proposed within SCDOT right-of-way, but an internal sidewalk network is proposed on the site of the hospital itself.

Transit: There is one existing fixed public transit route which can serve the site. Santee-Wateree Regional Transportation Authority (SWRTA) operates the Shaw Shuttle Route (Route #70) on Broad St. between Shaw AFB and Downtown Sumter. This route operates approximately 0 ft. from the edge of the subject site.

Rail: The proposed project would not result in any utilization of or impact to rail lines.

Analysis of Applicable Zoning & Development Standards Ordinance Transportation Provisions

Visual Clearance at Intersections: The proposed visual clearance at intersections appears to conform to Ordinance Requirements.

Traffic Impact Study Requirements: Based on the proposed development' scope and scale, completion of a TIS is required. A TIS was submitted with the Major Site Plan application, has been evaluated, and items for correction provided to the applicant. Assuming corrections are made as requested, the TIS conclusions are acceptable and should be incorporated into the site planning.

Consideration of Existing Local and Regional Plans: The SUATS 2045 LRTP contains a proposed operational and design improvement for Broad St. in the area of the site, (Project GG/PP). This project is the #1 ranked operational and design improvement project in the current SUATS LRTP, and the scope of improvements would include access management, safety, and signalization improvements on a 7.9 mile corridor of the road. There is also a proposed widening project included in the plan for Carter Rd (Project #TT/SS). The Carter Rd project is not included in the plan's fiscally constrained projects list.

Recommendation:

- 1) Staff recommends that the existing median on Broad St. be extended to close the crossover to the immediate east of the proposed primary entrance to the site. This improvement will support the proposed operational and design project.

Circulation System Design: The applicant has provided a master conceptual site plan for internal circulation for the entire tract at full build-out. While conceptual in nature at this point, the internal circulation framework is typical large site commercial development and poses no major concerns at this time. Internal circulation for the site under consideration with this request meets City development standards. Sidewalk connections to adjacent sites within the larger tract are shown on plans.

Storm Water Management:

Storm water run-off from the site will be collected via inlet and piped underground into a stormwater swale at the rear of the site. Stormwater will be piped from the swale to an off-site outfall location. The swale is located along the rear of the larger site and has been constructed to accommodate full-build out of the larger tract. Stormwater permits concerning the swale and the off-site outfall location have been obtained.

The specific project will require approval of a city stormwater permit and will require NPDES coverage by the South Carolina Department of Health and Environmental Control (SCDHEC) since more than one (1) acre of land disturbance is being proposed. SCDOT will also review plans concerning the amount stormwater released into SCDOT right-of-way as a result of the project.

Utilities:

Fire: There are no identified outstanding technical review issues.

Sewer & Water: There are no identified technical review issues. Sewer will be provided from the larger site from Carter Rd. Sewer main will be extended along the rear of the site and will serve the behavioral health hospital and other future commercial uses on the larger tract. Sewer will be extended across the larger tract by the developer, but ultimately be accepted by the City and placed into an easement.

Sanitation: There are no identified technical review issues.

Highway Corridor Protection District Design Review:

Proposed designs must conform to *Article 3.t.4: Architectural Standards* of the Ordinance.

3.t.4. Architectural Standards: *All commercial projects in the Highway Corridor Protection District shall submit architectural plans to the Sumter City-County Planning Commission which shows elevations of all portions of buildings with important relationships to public views and vistas, indications of the construction materials, photographs or perspective drawings indicating visual relationships to adjoining properties and spaces, paint and color schemes, and other exhibits and reports the Sumter City-County Planning Commission may require. Applicants shall also submit a landscaping plan and signage plan for the project site. In addition, all commercial projects shall meet the following standards:*

- a. If a new commercial building is proposed, not more than sixty percent (60%) of the façade facing a street may be glass of reflective materials;*

The proposed structure does not exceed the 60% threshold.

- b. Significant exterior renovations to a building, such as a change of material types, structural design, or additions require review;*

The project represents new building construction.

- c. A minimum of eighty percent (80%) of the surface materials, excluding doors and windows, shall be brick, stucco, or stone masonry or materials approved by the Sumter City-County Planning Commission. Building sides clearly visible from the street or public view shall be constructed of above mentioned materials or heavily mitigated with landscaping and shown on the required landscaping plan as part of their application. Roof pitch should be compatible with the building structures in the surrounding neighborhood.*

The primary exterior materials, excluding doors and windows, are proposed to be brick, stucco, and stone. The project meets the 80% brick, stucco, or stone masonry threshold. Primary exterior colors will be brown, tan, and gray. Staff finds that the proposed roof pitch of the building is generally compatible with existing commercial development on Broad St.

See the graphic elevation renderings on pg. 10 of this report.



1 ELEVATION @ NORTH ELEVATION
1/16" = 1'-0"

Above: Elevation Rendering – Front (Broad St.)



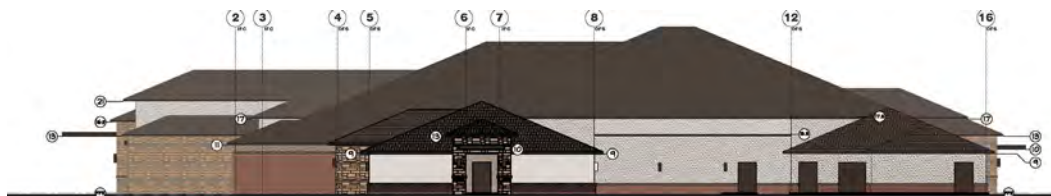
4 ELEVATION @ SOUTH ELEVATION
1/16" = 1'-0"

Above: Elevation Rendering – Rear



7 ELEVATION @ EAST ELEVATION

Above: Elevation Rendering – Eastside



2 ELEVATION @ WEST ELEVATION

Above: Elevation Rendering – Westside

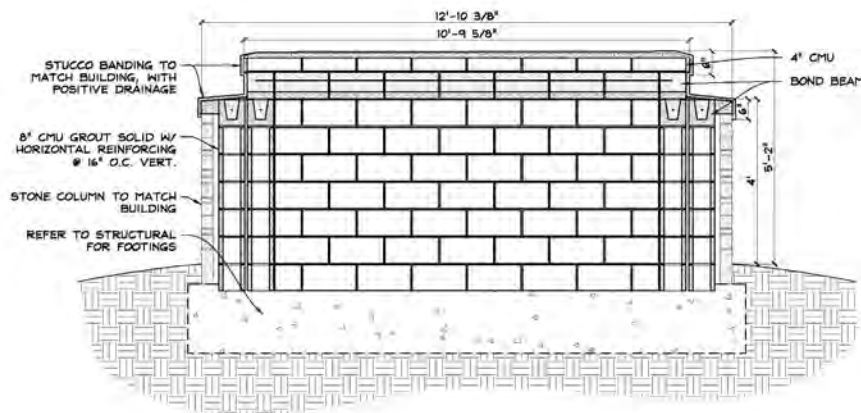
- d. *All proposed fences and/or walls proposed for the front and/or side yards shall be reviewed as part of the Highway Corridor Design Approval Request.*

Dumpster enclosure architectural details have not been submitted at this time. This is considered an outstanding technical review issue.

The applicant is proposing a monument sign at the entrance to the parking area of the site. The sign will primarily consist of stone and stucco exterior material and is in keeping with HCPD standards. Staff notes a second monument sign is proposed at the Broad St. entrance to the site. No design details have provided, and additional information concerning this sign is being requested.



2 ELEVATION @ MONUMENTAL SIGN
1/2" = 1'-0"



Above: Monument Sign Details

IV. TECHNICAL REVIEW COMMITTEE

The technical review committee was given the opportunity to review and comment on the project. The following minor items are outstanding:

- Submission of dumpster enclosure architectural details.
- Applicant is showing two free-standing signs on the site plan. One (1) on-site and One (1) off-site. This is more than permitted by sign requirements found within the Ordinance. The site plan must note that this will be multi-tenant sign serving future development on the entire tract or variance approval will be required. Approval of this site plan does not constitute approval specific exterior sign approval.

- Revised site plan sheets showing the complete closure of the median opening located in front of Tract 1 and Tract 2 (as shown on Sheet C5) must be submitted. (*Note: the applicant has noted intentions of doing this pending SCDOT acceptance*).

V. STAFF RECOMMENDATION

Staff has reviewed the major site plan applications, met with the technical committee, and recommends approval subject to the stated Conditions of Approval outlined in *Exhibit 1*.

VI. DRAFT MOTION

Motion #1:

I move that the Sumter City-County Planning Commission approve MSP-21-08/HCPD-21-09 subject to staff's recommendations and proposed conditions of approval outlined in Exhibit 1, as well as the set of plans titled, "*Midlands Behavioral Health Facility Sumter, SC*", prepared by Michael E. Weatherly, PE, dated March 14, 2021, a landscaping plan titled "*Midlands Behavioral Health Hospital Sumter, SC*" prepared by Jones & VanPatten, LLC dated January 22, 2021 and elevation renderings titled "*Midlands Behavioral Health Hospital 3180 Broad St., Sumter, South Carolina 29150*" prepared by Mark E. Bixler, AIA dated January 16, 2021.

Motion #2:

I move an alternate motion.

VII. PLANNING COMMISSION – MARCH 24, 2021

Exhibit 1

MSP-21-09/HCPD-21-08 –3180 Broad St. (City)

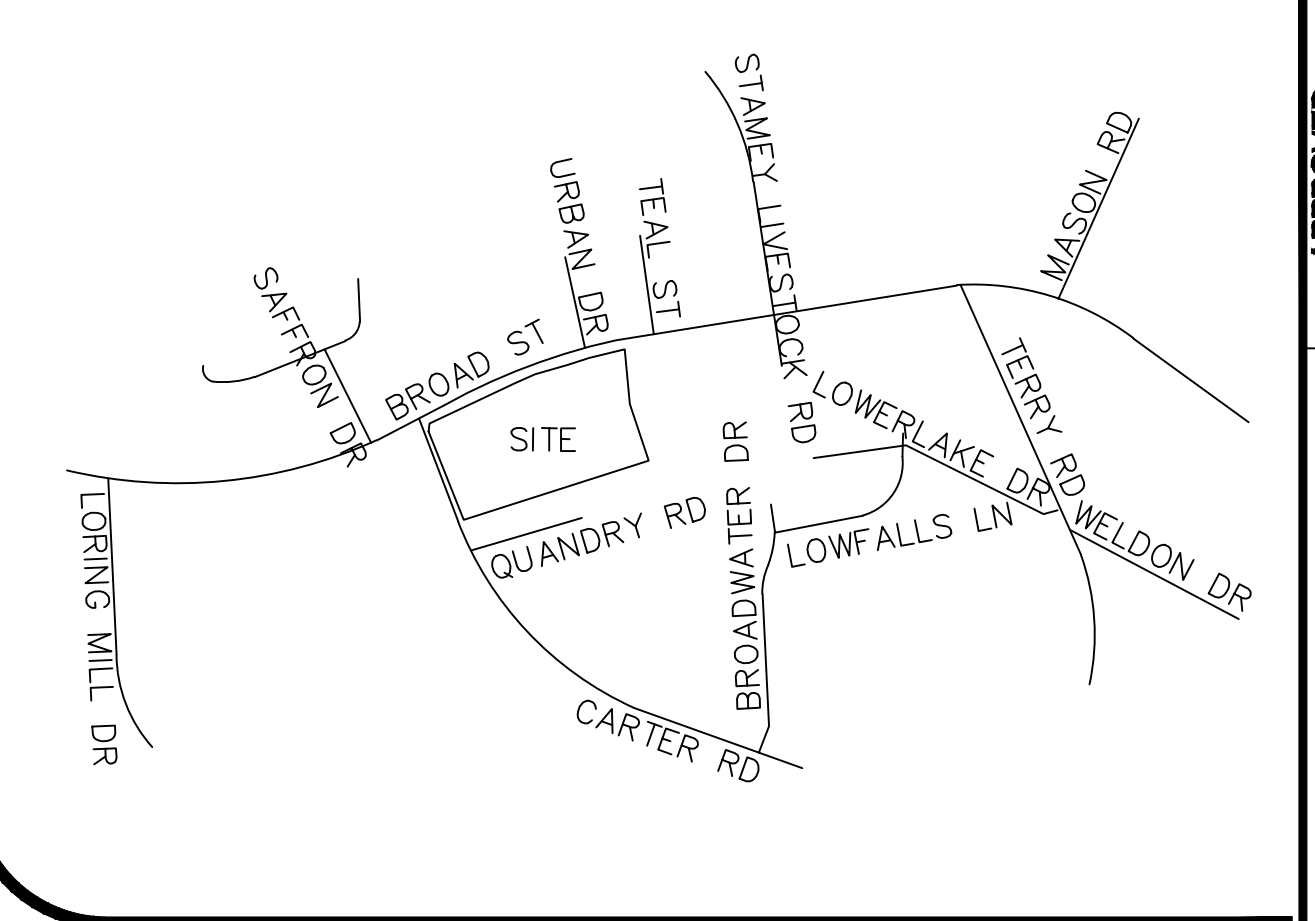
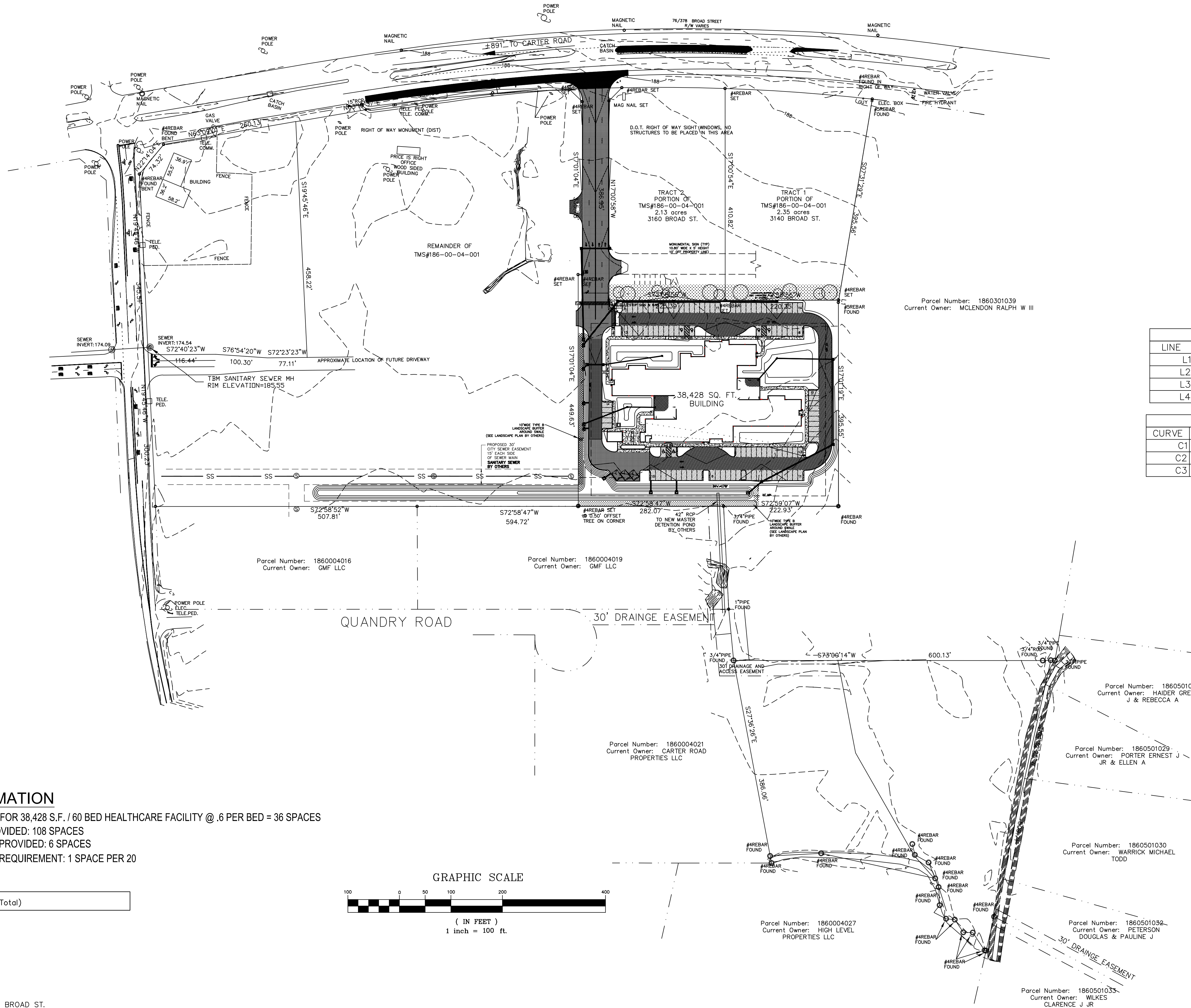
Proposed Conditions of Approval

1. Submission of three (3) hard copies of final full civil engineered plan sets shall be required prior to issuance of any land disturbance or building permits. Said plans shall show the latest revision date.
2. The project shall be developed in substantial conformance with site plans titled “*Midlands Behavioral Health Facility Sumter, SC*”, prepared by Michael E. Weatherly, PE, dated March 14, 2021, a landscaping plan titled “*Midlands Behavioral Health Hospital Sumter, SC*” prepared by Jones & VanPatten, LLC dated January 22, 2021 and elevation renderings titled “*Midlands Behavioral Health Hospital 3180 Broad St., Sumter, South Carolina 29150*” prepared by Mark E. Bixler, AIA dated January 16, 2021.
3. Separate sign permits are required for all exterior signage. All signage must be in full compliance with *Article 8, Section H: Sign Regulations* of the *City of Sumter Zoning & Development Standards Ordinance* prior to permit approval, issuance, and installation.
4. The following identified technical review items shall be corrected in accordance with the specific timeframes referenced:
 - Submission of dumpster enclosure architectural details.
 - Applicant is showing two free-standing signs on the site plan. One (1) on-site and One (1) off-site. This is more than permitted by the Sumter City Zoning & Development Standards Ordinance Site plan must note that this will be multi-tenant sign serving future development on the entire tract or variance approval will be required. Approval of this site plan does not constitute approval specific exterior sign approval.
 - Revised site plan sheets showing the complete closure of the median opening located in front of Tract 1 and Tract 2 (as shown on Sheet C5).
5. Approved city storm water permits shall be obtained and submitted to the Planning Department prior to issuance of land disturbance permits and building permits.
6. Final SCDOT Encroachment Permit approval shall be submitted to the Planning Department prior to zoning final inspection approval. All Mitigation measures required to be constructed as a part of the final SCDOT Encroachment Permit approval shall be completed prior to zoning final inspection approval.

Applicant Signature

Date

Exhibit 2



LINE TABLE

LINE	BEARING	DISTANCE
L1	S07°31'29"E	4.52
L2	S72°58'56"W	8.07
L3	N63°11'41"W	34.62
L4	S27°18'44"W	35.77

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD	CHORD BEARING	DELTA	TANGENT
C1	101.94	3819.72	101.94	S71°12'20"W	1°31'45"	50.97
C2	200.43	3819.72	200.41	S73°28'24"W	3°00'23"	100.24
C3	286.38	3819.72	286.32	S77°07'28"W	4°17'45"	143.26

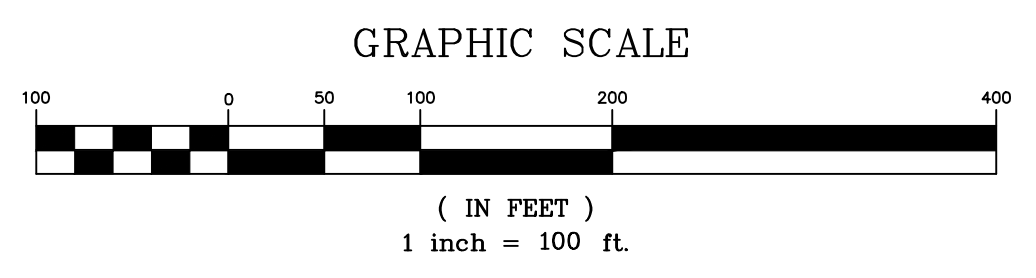
SITE DEVELOPMENT TABLE:

1. OWNER & APPLICANT	SUMTER HEALTHCARE REALTY, LLC MR. CHARLES PUTNAM 5305 VILLAGE CREEK DR. PLANO, TEXAS 75093 TEL: (817)804-5200 EMAIL: BRONZ.PETERSON@FUNDLTC.COM
2. PRIMARY CONTACT	MIKE WEATHERLY, P.E. P.O. BOX 50215 COLUMBIA, SC 29150 TEL: 803-765-2463 EMAIL: MEWPE1@AOL.COM
3. TAX MAP PARCELS	186-00-04-001
4. SITE ADDRESS	3180 BROAD STREET CITY OF SUMTER
5. ZONING: GC	PROPOSED USE: HEALTHCARE
6. FEMA INFORMATION	ZONE: X AND AE FIRM PANEL 45085C0283E EFFECTIVE DATE 9-28-2018
7. SIZE OF PARCEL(S)	5.15 ACRES
8. SIZE OF SITE AREA	5.15 ACRES
9. OPEN SPACE	33%
10. SETBACKS REQ.	FRONT - 45' SIDE - 25' REAR - 20'
11. LOT WIDTH	505'
12. DISTANCE BETWEEN BLDGS.	NA
13. IMPERVIOUS SURFACE	67%
14. BUILDING HEIGHT	APPROX. 22' <60' MAX
15. DENSITY	NA UNITS/ACRE
16. PROPERTY IS SERVED BY CITY WATER AND SEWER	
17. OPEN SPACE:	73,294 S.F. +/- = 1.68 ACRES %OPEN SPACE = 1,68/5.15 = 33% %IMPERVIOUS = 67%

SITE INFORMATION

- PARKING REQUIRED FOR 38,428 S.F. / 60 BED HEALTHCARE FACILITY @ .6 PER BED = 36 SPACES
- TOTAL PARKING PROVIDED: 108 SPACES
- HANDICAP PARKING PROVIDED: 6 SPACES
- HANDICAP PARKING REQUIREMENT: 1 SPACE PER 20

5.15 Acres (Total)



- REFERENCES:
- PROPERTY DIVISION 3180 BROAD ST. BY BLACK RIVER LAND SURVEYING, LLC JOB#18066 MIDLANDS BEHAVIORAL DATED: 3/24/2020. FOR MACK KOLB. PORTION OF TMS#186-00-04-001.
 - PARTIAL TOPOGRAPHICAL SURVEY 3272, 3210, & 3180 BROAD STREET BY BLACK RIVER LAND SURVEYING, LLC JOB#18066 TOPO; DATED: 10/22/2020. FOR MACK KOLB. TMS#186-00-04-001.

APPROVED	REVISION	DATE

DESIGNED BY: MEW
DRAWN BY: MEW
CHECKED BY: MEW
DATE: 12.7.20
SCALE: HOR: N/A
VERT: N/A
FIELD BOOK: 19026
PROJECT NO.: 19026
DRAWING: C.../19026
PLANS/19026-MODEL.DWG

MICHAEL E. WEATHERLY, P.E.
CONSULTING ENVIRONMENTAL & CIVIL ENGINEER
160 Gills Creek Parkway - P.O. Box 50215 - Columbia, S.C. 29250 - (803)765-2463
MIDLANDS BEHAVIORAL HEALTH FACILITY
SUMTER, SOUTH CAROLINA
SITE PLAN - 1"=100'

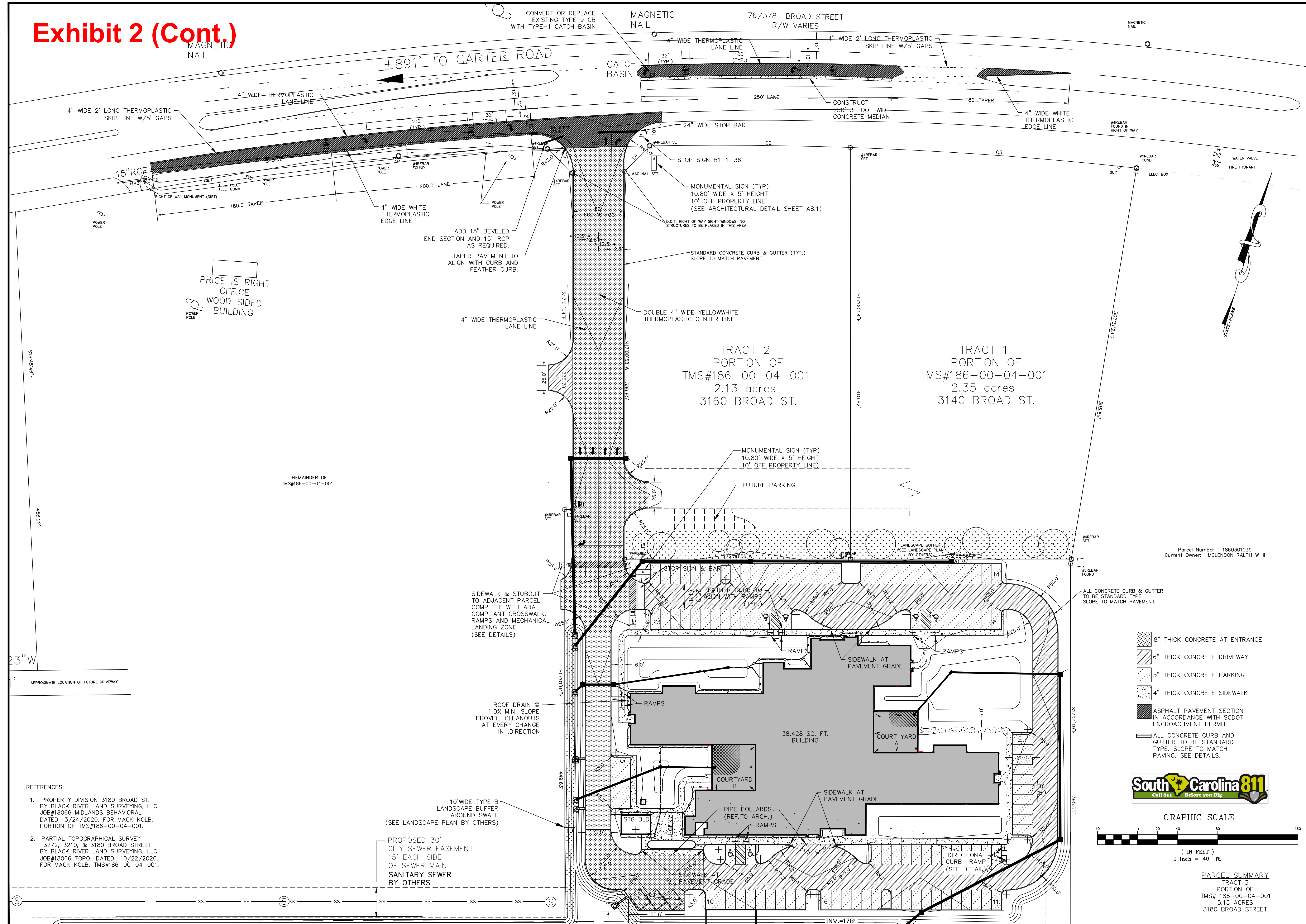
DESCRIPTION:
SITE PLAN
1"=100'

PROJ. NO. SHEET
19026 C3
of 24

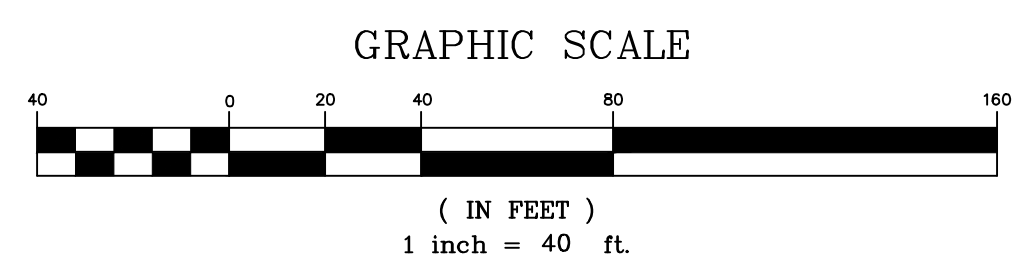


Exhibit 2 (Cont.)

MAGNETIC NAIL



- REFERENCES:
- PROPERTY DIVISION 3180 BROAD ST. BY BLACK RIVER LAND SURVEYING, LLC JOB#18066 MIDLANDS BEHAVIORAL DATED: 3/24/2020. FOR MACK KOLB. PORTION OF TMS#186-00-04-001.
 - PARTIAL TOPOGRAPHICAL SURVEY 3272, 3210, & 3180 BROAD STREET BY BLACK RIVER LAND SURVEYING, LLC JOB#18066 TOPO; DATED: 10/22/2020. FOR MACK KOLB. TMS#186-00-04-001.

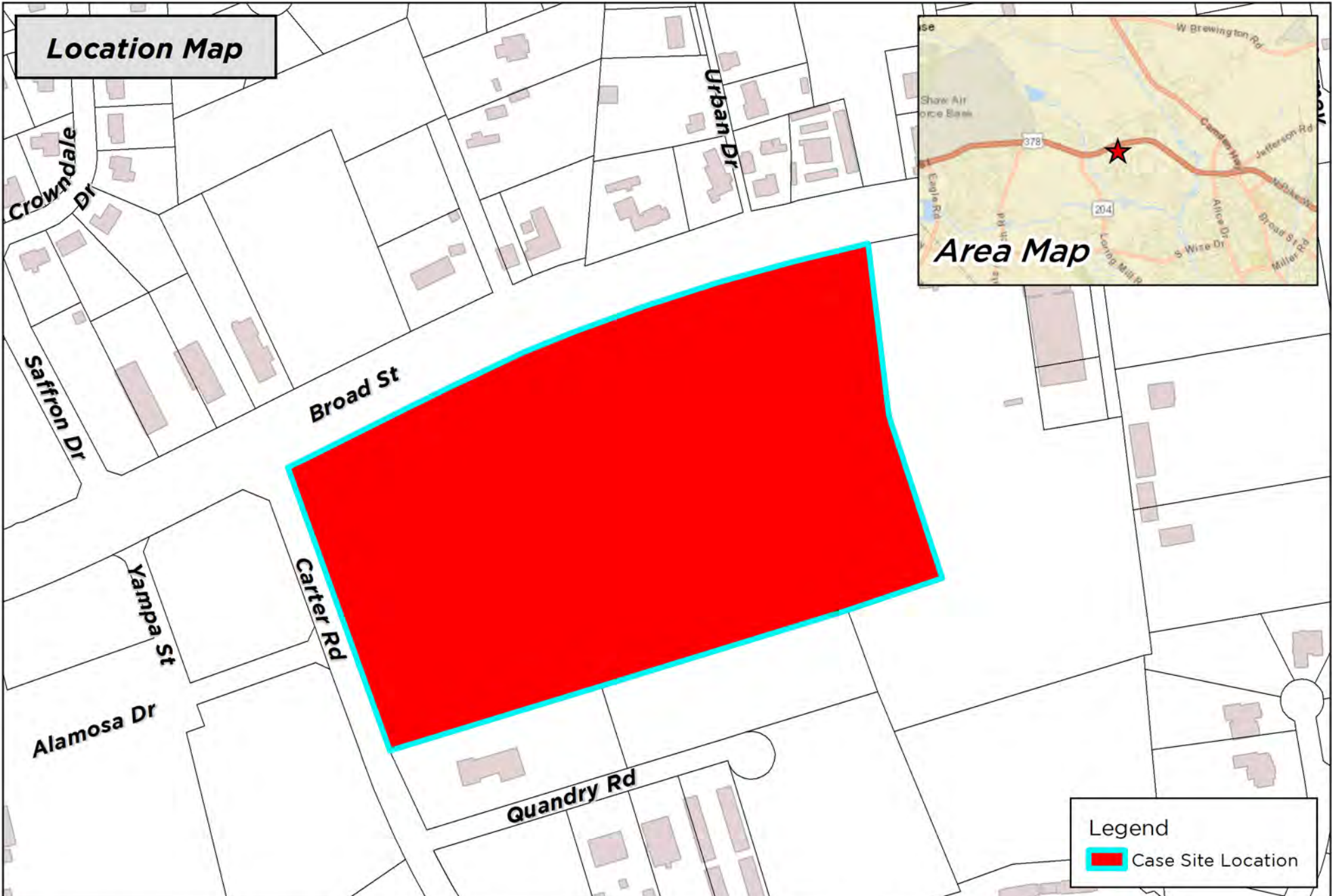


PARCEL SUMMARY

TRACT 3
PORTION OF TMS# 186-00-04-001
5.15 ACRES
3180 BROAD STREET

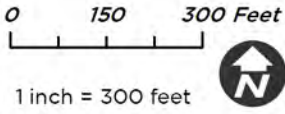
APPROVED	
REVISION	
DATE	
DESIGNED BY: MEW	
DRAWN BY: MEW	
CHECKED BY: MEW	
DATE: 3.11.21	
SCALE: HOR: N/A	
VERT: N/A	
FIELD BOOK:	
PROJECT NO.: 19026	
DRAWING: C.../19026	
PLANS/19026-MODEL.DWG	
MICHAEL E. WEATHERLY, P.E. CONSULTING ENVIRONMENTAL & CIVIL ENGINEER 160 Gills Creek Parkway - P.O. Box 50215 - Columbia, S.C. 29250 - (803)765-2463 MIDLANDS BEHAVIORAL HEALTH FACILITY SUMTER, SOUTH CAROLINA SITE PLAN - 1"=40'	
DESCRIPTION:	SITE PLAN 1"=40'
PROJ. NO.	19026
SHEET	C5
	of 24

Location Map



Legend
 Case Site Location

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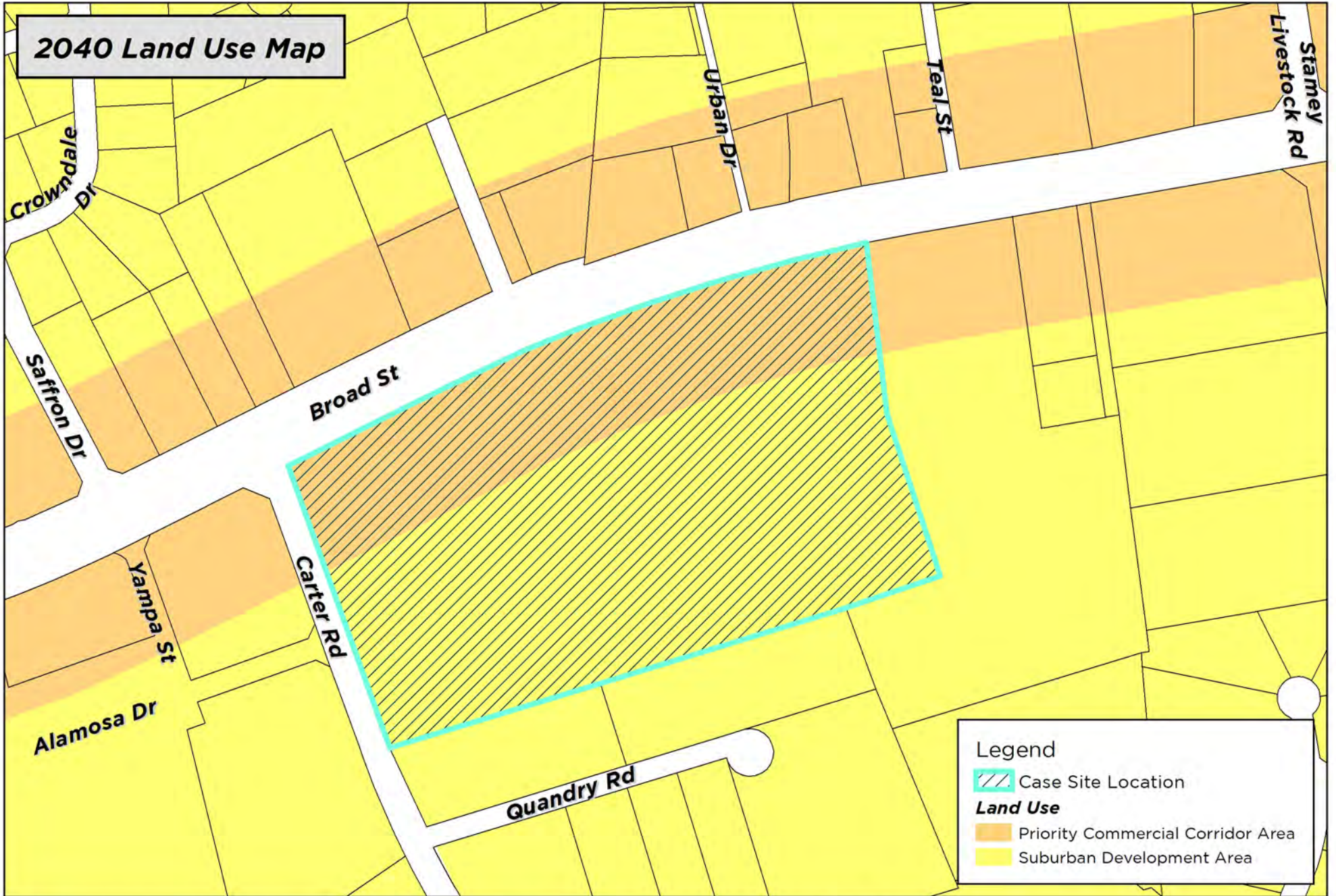


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3180 Broad St, Sumter, SC 29150
Tax Map # 186-00-04-001

2040 Land Use Map



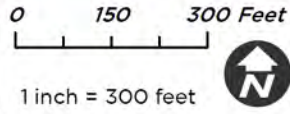
Legend

- Case Site Location

Land Use

- Priority Commercial Corridor Area
- Suburban Development Area

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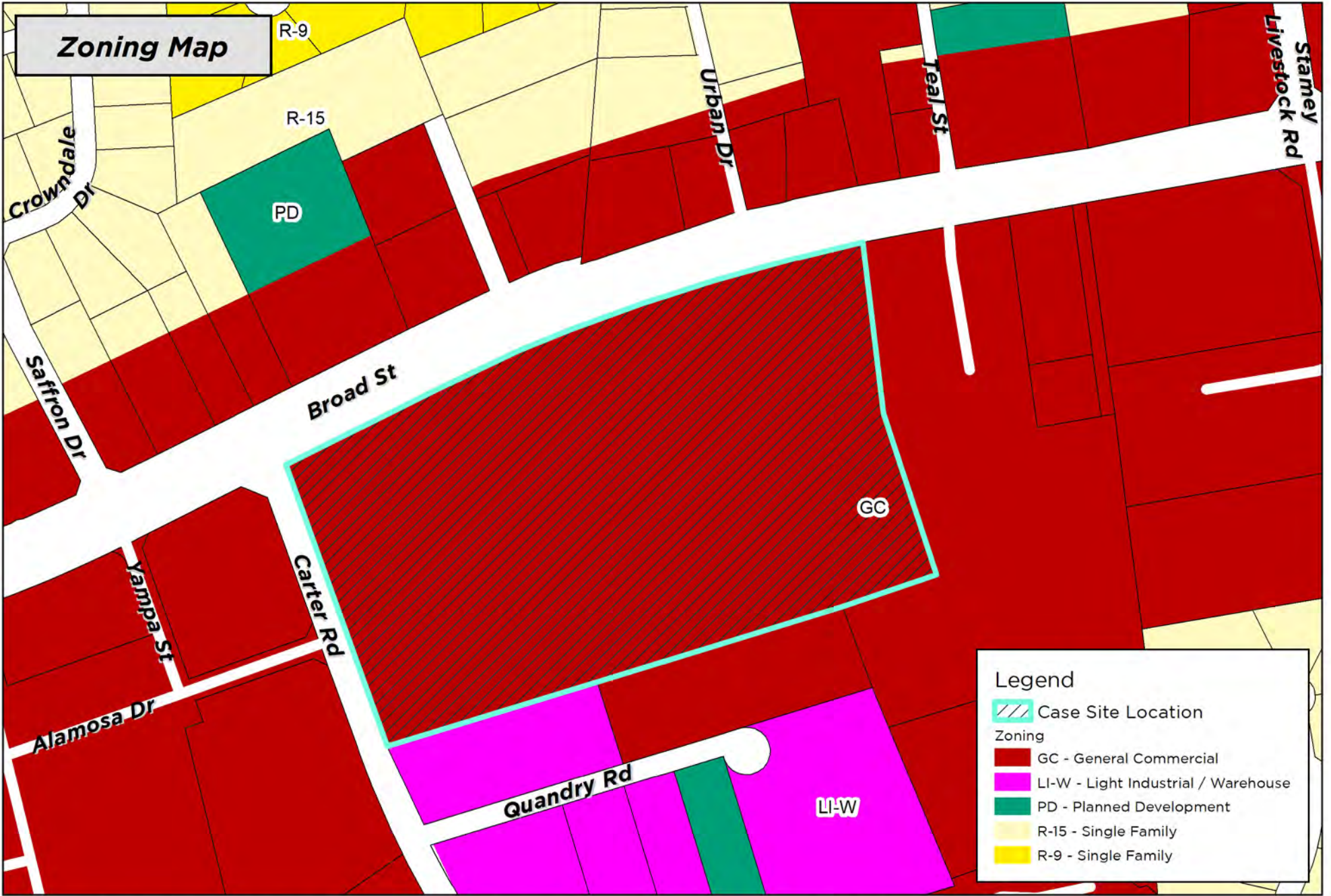


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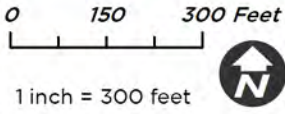
Zoning Map



Legend

- Case Site Location
- Zoning**
- GC - General Commercial
- LI-W - Light Industrial / Warehouse
- PD - Planned Development
- R-15 - Single Family
- R-9 - Single Family

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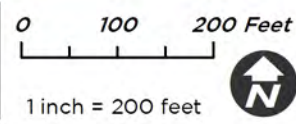
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2021 Aerial Photography Map



Legend
Case Site Location

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