Sumter City-County Planning Commission

March 24, 2021

MSP-21-09/HCPD-20-08, 3180 Broad St. (City)

I. THE REQUEST

Applicant: Sumter Healthcare Realty, LLC

Status of the Applicant: Authorized Agent

Request: Request for Major Site Plan Approval for a +/- 38,000 sq. ft.

Behavioral Health Hospital.

Location: 3180 Broad St.

Size of Development: ± -5.15 acres portion of a ± -24.33 acres tract.

Present Use/Zoning: Undeveloped / General Commercial (GC)

Proposed Use of Property: Behavioral Health Hospital

Tax Map Reference: 186-00-04-001 (part)

II. BACKGROUND

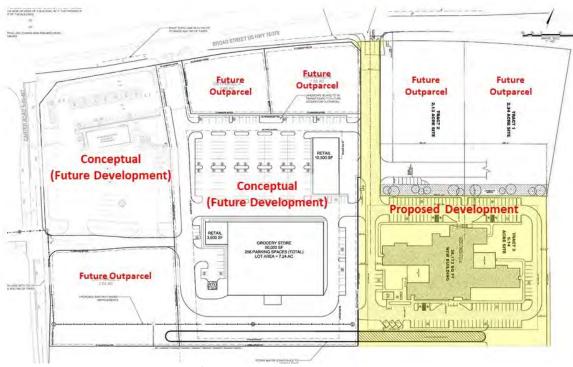
The applicant is requesting Major Site Plan & Highway Corridor District Protection Design approval in order to develop a +/-38,000 sq. ft. behavioral health hospital on property located at 3180 Broad St. and further identified as TMS# 186-00-04-001 (part). The area designated for development is highlighted in vellow. The hospital will offer inpatient behavioral health services, with floorplans indicating that 60 patient beds will be provided.



As shown by the location map to

the right, the site is situated on Broad St. near the intersection of Broad St. and Carter Rd. The site consists of a 5.15 acre parcel that is part of a larger 24.33 acre property.

Master planning has occurred for the larger site, with internal site circulation, transportation impacts, and infrastructure being considered for full site build out. A conceptual master plan for the entire site has been submitted and is shown below.



Above: Conceptual Master Site Plan

Sumter 2040 Comprehensive Plan:

Per the Sumter 2040 Comprehensive Plan, the property is influenced by the policies of the Suburban Development planning area and is within a designated Priority Commercial Corridor area.

The primary goal of the Suburban Development planning area is to scrutinize and manage existing development patterns, foster intentional mixed-use development, and identify new commercial and industrial locations where form and design are a focus, all in a more efficient manner.

The goal of all designated Priority Investment Areas is to identify, direct, and concentrate new development opportunities more acutely. Priority Commercial Corridor have been host to a diversity of uses from large, destination retail uses to more base industrial outdoor storage uses. Many areas within the Priority Commercial Corridor designation are visually uninventing, have higher levels of vacancy, or face outright abandonment. New quality commercial development and redevelopment is encouraged along designated corridors.

This project represents a new in-patient behavioral hospital use along a major arterial road. The use will be a part of an internally connected development consisting of a variety of commercial uses. However, the use will be setback at the rear of the site and will not be prominent feature

along Broad St. upon full build out of the larger tract. Staff finds that the project is in alignment with goals and policies of the Sumter 2040 Comprehensive Plan.

Zoning Compatibility:

The property is located within the General Commercial (GC) zoning district. Psychiatric hospitals under Standard Industrial Classification (SIC) Code 8063 are a permitted use in this zoning district. The property must be developed in accordance with standards and requirements of the *City of Sumter Zoning & Development Standards Ordinance* (the "Ordinance").

Environmental

The subject property is within a Zone X area as shown on FEMA FIRM Panel 45085C0283E with an Effective Date of September 28, 2018. National Wetlands Inventory (NWI) data suggests that no wetlands are present on the site.

III. SITE PLAN REVIEW

Site Layout:

The applicant has submitted a set of site plans titled, "Midlands Behavioral Health Facility Sumter, SC", prepared by Michael E. Weatherly, PE, dated March 14, 2021, a landscaping plan titled "Midlands Behavioral Health Hospital Sumter, SC" prepared by Jones & VanPatten, LLC dated January 22, 2021 and elevation renderings titled "Midlands Behavioral Health Hospital 3180 Broad St., Sumter, South Carolina 29150" prepared by Mark E. Bixler, AIA dated January 16, 2021.

Submitted site plan, landscaping plan, and elevation renderings are attached to this report as *Exhibit 2*, *Exhibit 3*, and *Exhibit 4*.

Site development is required to adhere to General Commercial (GC) zoning district standards found within *Article 3, Section 3.i.5* of the Ordinance.

- Setbacks:
 - Front (Arterial Rd. parking in-front of building) 45 ft.
 - Side -0 ft.
 - Rear 20 ft.
 - Maximum Building Height 60 ft.
- Maximum Impervious Surface 92 %

Based upon staff review, the proposed development meets these minimum standards and development criteria.

Parking Plan:

Based upon the criteria found in *Article 8, Exhibit 8-9* of the Ordinance, minimum off-street parking standards for hospital uses require 0.7 spaces per bed and therefore 42 total off-street parking spaces, including 2 handicapped accessible spaces, are required to accommodate the proposed behavioral health hospital. The proposed plan shows 110 total off-street spaces, of which 6 are handicapped accessible.

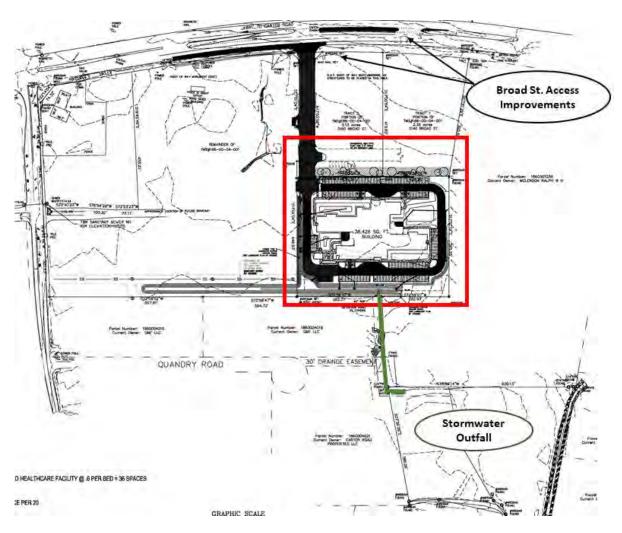
90-degree angle parking spaces are being proposed. Parking design standards found within Article 8, Section I: Parking Regulations of the Ordinance require 25 ft. aisle widths for 90-

degree angled parking spaces, concrete curb and gutter, concrete or asphalt pavement material, and parking spaces that have at least a 9 ft. x 19 ft. dimension.

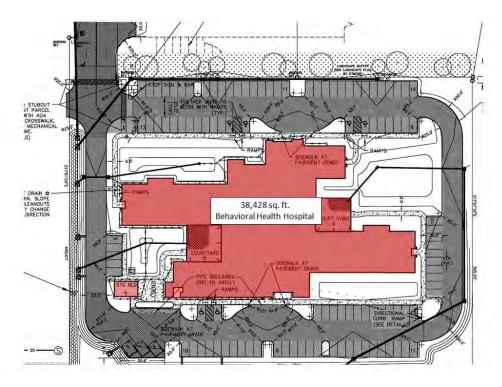
The proposed plan shows the following in compliance with applicable standards:

Off-Street Parking Areas

- 183 total parking spaces (9 ft. x 19 ft.)
 - o 165 90-degree angled spaces
 - o 18 dedicated handicapped spaces
- 25 ft. drive aisle widths
- Concrete Curb & gutter
- Asphalt paving surface material



Above: Large Site Plan Graphic



Above: Focused Site Plan Graphic

Landscape & Tree Protection Plan:

The submitted landscape plan was reviewed against the requirements of *Article 9, Landscaping, Buffer, and Tree Protection Requirements* of the Ordinance. The applicant is proposing the following landscape improvements for this development:

- **Type A Buffer Landscaping (Front, Sides, & Rear)** 3 canopy trees and 20 shrubs per 100 LF are required. The proposed plan provides the required number of plantings along each bufferyard. The proposed canopy tree species will be Willow Oak and Nutall Oak. The proposed understory tree species will be Crepe Myrtle. The proposed shrub species will be Privet and Ruby Loropetalum.
- Interior Parking Lot Landscaping Parking lot islands are required every 15 parking spaces and at the end of each row not abutting a required landscape buffer. Parking lot islands are required to have 1 canopy tree and three shrubs. The proposal landscaping plan meets these specific standards. Bosque Elms and Princeton Ginkgo's are the proposed canopy trees for parking lot islands within the proposed development.

The proposed plan also includes Bald Cypress within the stormwater swale at the rear of the site. Staff finds that these additional canopy trees within the swale meet the intent of the Type B bufferyard requirement since the swale is located at the rear of the development and additional water tolerant tree species are being provided. The proposed plan also includes additional tree plantings and building foundation plantings that are above minimum planting requirements.

Per a letter from Black River Land Surveying, LLC dated March 12, 2021, there are no significant or historic trees within the development area.

Staff recommends approval of the proposed landscaping plan as it exceeds the minimum requirements and meets the overall intent of *Article 9, Landscaping Requirements*. A full plant schedule is included with *Exhibit 3*.



Above:	Landscape	Plan	Graphic
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>	SYMBOL	KEY	SIZE AT PLANTING *	COMMON NAME	BOTANICAL NAME	QTY
OVERSTORY	8	WO	2" CALIPER 7' HEIGHT	WILLOW OAK	QUERCUS PHELLOS	17
	3	NO	2" CALIPER 7' HEIGHT	NUTALL OAK	QUERCUS NUTTALLII	18
0	₩	BE	2" CALIPER 7' HEIGHT	BOSQUE ELM	ULMUS PARVIFOLIA 'BOSQUE'	13
	0	CP	2" CALIPER 7' HEIGHT	CHINESE PISTACHE	PISTACIA CHINENSIS	9
	⊗	PR	2" CALIPER 7' HEIGHT	PRINCETON SENTRY GINKGO	GINKGO BILOBA 'PRINCETON SENTRY'	4
	Ø	CY	2" CALIPER 7' HEIGHT	BALD CYPRESS	TAXODIUM DISTICHUM	10
₹						
ERSTOF		NA	15 GALLON 1.5" CALIPER (5' HEIGHT)	NATCHEZ CREPE MYRTLE	LAGERSTROEMIA INDICA 'NATCHEZ'	35
UNDERSTORY TREES	0	SS	15 GALLON 2" CALIPER (5' HEIGHT)	SINGLE STEM NATCHEZ	LAGERSTROEMIA INDICA 'NATCHEZ'	2
5						
	Ø	RE	3 GALLON 15" HEIGHT	PRIVET	RECURVIFOLIUM LIGUSTRUM	154
S		ST	3 GALLON 15" HEIGHT	SOFT TOUCH HOLLY	ILEX CRENATA 'SOFT TOUCH'	53
ANT	0	AC	15 GALLON	ACADIANA HOLLY	ILEX X 'MAGINA'	9
FOUNDATION PLANTS SMALL SHRUBS	8	CA	3 GALLON 15" HEIGHT	CARISSA HOLLY	ILEX CORNUTA 'CARISSA'	20
UNDATIC SMALL 3	&	W	3 GALLON 15" HEIGHT	WINTERGREEN BOXWOOD	BUXUS MACROPHYLLA	6
NNO	W	JA	3 GALLON 15" HEIGHT	JAPANESE YEW	PODOCARPUS MACROPHYLLUS 'MAKI'	2
ш		RO	3 GALLON 15" HEIGHT	ROSE CREEK ABELIA	ABELIA X 'ROSE CREEK'	3
	*	RU	3 GALLON	RUBY OROPETALUM	LOROPETALUM CHINESE 'RUBY'	128

* SEE NOTES THIS SHEET FOR ADDITIONAL REQUIREMENTS FOR SIZES AT PLANTING AND AT FULL MATURITY

Above: Tree Schedule

Traffic Impact Analysis & Access Management:

Sumter Healthcare Realty, LLC is proposing to construct a 38,000 SF behavioral health hospital on a parcel within a larger development, located on Broad St (US-378) closest to that road's intersection with Carter Rd (S-467). Both roadways are SCDOT-owned and maintained. Broad St. is classified as a Major Arterial Roadway, and Carter Rd. is classified as a Major Collector Roadway.

SUATS Long Range Transportation Plan Level of Service (LOS) and Volume to Capacity (V/C) Ratios:

Roadway	2015 Level of Service	Projected 2045 LOS	2015 V/C Ratio	Projected 2045 V/C Ratio
Broad St. (US-378)	В	С	0.69	0.83
Carter Rd. (S-467)	A	A	0.32	0.46

Based on an analysis of calculated 2015 LOS and V/C ratios and projected 2045 LOS and V/C ratios, Broad St. is expected to experience a reduction in level of service from B to C, and experience an increase in volume to capacity ratio, though given the current roadway width, the scope of improvements in the corridor will be limited to access management, signalization, and other targeted operation design improvements. The project's Traffic Impact Study (TIS), submitted with the site plan application, includes an assessment of existing conditions as well as 2023 buildout conditions. In the TIS model, the overall LOS for the area is not expected to downgrade beyond LOS C.

Plans for initial site access include the creation of one (1) 50 ft. width full access driveway containing two (2) entrance lanes and two (2) exit lanes on Broad St. Future site development plans included in the project's Traffic Impact Study (TIS) contemplate an additional entrance serving the site from Carter Rd which would include one (1) entrance lane and two (2) exit lanes. Because both Carter Rd and Broad St. are owned and maintained by SCDOT, an encroachment permit is required to complete work in the right-of-way.

The 2019 annual average daily traffic (AADT) volume count for Broad St. was 27,000 from station #149. The 2019 annual average daily traffic (AADT) volume counts for Carter Rd. was 4,400 from station #577. At the proposed entrance to the site, Broad St. is a 4-lane divided access highway with a grass median. Carter Rd. is a two-lane roadway with one travel lane in each direction. The proposed site is located in Traffic Analysis Zone (TAZ) #18024.

<u>Multimodal Transportation Factors</u>

Bicycle and Pedestrian: Sidewalks do not currently exist on the site's Carter Rd or Broad St. frontage. No sidewalks are proposed within SCDOT right-of-way, but an internal sidewalk network is proposed on the site of the hospital itself.

Transit: There is one existing fixed public transit route which can serve the site. Santee-Wateree Regional Transportation Authority (SWRTA) operates the Shaw Shuttle Route (Route #70) on Broad St. between Shaw AFB and Downtown Sumter. This route operates approximately 0 ft. from the edge of the subject site.

Rail: The proposed project would not result in any utilization of or impact to rail lines.

Analysis of Applicable Zoning & Development Standards Ordinance Transportation Provisions

Visual Clearance at Intersections: The proposed visual clearance at intersections appears to conform to Ordinance Requirements.

Traffic Impact Study Requirements: Based on the proposed development' scope and scale, completion of a TIS is required. A TIS was submitted with the Major Site Plan application, has been evaluated, and items for correction provided to the applicant. Assuming corrections are made as requested, the TIS conclusions are acceptable and should be incorporated into the site planning.

Consideration of Existing Local and Regional Plans: The SUATS 2045 LRTP contains a proposed operational and design improvement for Broad St. in the area of the site, (Project GG/PP). This project is the #1 ranked operational and design improvement project in the current SUATS LRTP, and the scope of improvements would include access management, safety, and signalization improvements on a 7.9 mile corridor of the road. There is also a proposed widening project included in the plan for Carter Rd (Project #TT/SS). The Carter Rd project is not included in the plan's fiscally constrained projects list.

Recommendation:

1) Staff recommends that the existing median on Broad St. be extended to close the crossover to the immediate east of the proposed primary entrance to the site. This improvement will support the proposed operational and design project.

Circulation System Design: The applicant has provided a master conceptual site plan for internal circulation for the entire tract at full build-out. While conceptual in nature at this point, the internal circulation framework is typical large site commercial development and poses no major concerns at this time. Internal circulation for the site under consideration with this request meets City development standards. Sidewalk connections to adjacent sites within the larger tract are shown on plans.

Storm Water Management:

Storm water run-off from the site will be collected via inlet and piped underground into a stormwater swale at the rear of the site. Stormwater will be piped from the swale to an off-site outfall location. The swale is located along the rear of the larger site and has been constructed to accommodate full-build out of the larger tract. Stormwater permits concerning the swale and the off-site outfall location have been obtained.

The specific project will require approval of a city stormwater permit and will require NPDES coverage by the South Carolina Department of Health and Environmental Control (SCDHEC) since more than one (1) acre of land disturbance is being proposed. SCDOT will also review plans concerning the amount stormwater released into SCDOT right-of-way as a result of the project.

Utilities:

Fire: There are no identified outstanding technical review issues.

Sewer & Water: There are no identified technical review issues. Sewer will be provided from the larger site from Carter Rd. Sewer main will be extended along the rear of the site and will serve the behavioral health hospital and other future commercial uses on the larger tract. Sewer will be extended across the larger tract by the developer, but ultimately be accepted by the City and placed into an easement.

Sanitation: There are no identified technical review issues.

Highway Corridor Protection District Design Review:

Proposed designs must conform to Article 3.t.4: Architectural Standards of the Ordinance.

3.t.4. Architectural Standards: All commercial projects in the Highway Corridor Protection District shall submit architectural plans to the Sumter City-County Planning Commission which shows elevations of all portions of buildings with important relationships to public views and vistas, indications of the construction materials, photographs or perspective drawings indicating visual relationships to adjoining properties and spaces, paint and color schemes, and other exhibits and reports the Sumter City-County Planning Commission may require. Applicants shall also submit a landscaping plan and signage plan for the project site. In additional, all commercial projects shall meet the following standards:

a. If a new commercial building is proposed, not more than sixty percent (60%) of the façade facing a street may be glass of reflective materials;

The proposed structure does not exceed the 60% threshold.

b. Significant exterior renovations to a building, such as a change of material types, structural design, or additions require review;

The project represents new building construction.

c. A minimum of eighty percent (80%) of the surface materials, excluding doors and windows, shall be brick, stucco, or stone masonry or materials approved by the Sumter City-County Planning Commission. Building sides clearly visible from the street or public view shall be constructed of above mentioned materials or heavily mitigated with landscaping and shown on the required landscaping plan as part of their application. Roof pitch should be compatible with the building structures in the surrounding neighborhood.

The primary exterior materials, excluding doors and windows, are proposed to be brick, stucco, and stone. The project meets the 80% brick, stucco, or stone masonry threshold. Primary exterior colors will be brown, tan, and gray. Staff finds that the proposed roof pitch of the building is generally compatible with existing commercial development on Broad St.

See the graphic elevation renderings on pg. 10 of this report.



Above: Elevation Rendering - Rear



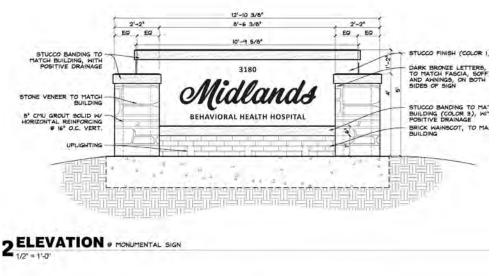
Above: Elevation Rendering – Westside

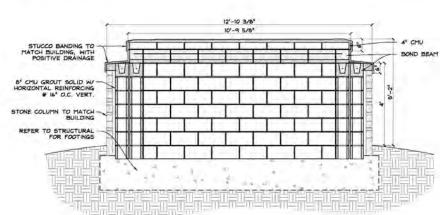
ELEVATION & MEST ELEVATION

d. All proposed fences and/or walls proposed for the front and/or side yards shall be reviewed as part of the Highway Corridor Design Approval Request.

Dumpster enclosure architectural details have not been submitted at this time. This is considered an outstanding technical review issue.

The applicant is proposing a monument sign at the entrance to the parking area of the site. The sign will primarily consist of stone and stucco exterior material and is in keeping with HCPD standards. Staff notes a second monument sign is proposed at the Broad St. entrance to the site. No design details have provided, and additional information concerning this sign is being requested.





Above: Monument Sign Details

IV. TECHNICAL REVIEW COMMITTEE

The technical review committee was given the opportunity to review and comment on the project. The following minor items are outstanding:

- Submission of dumpster enclosure architectural details.
- Applicant is showing two free-standing signs on the site plan. One (1) on-site and One (1) off-site. This is more than permitted by sign requirements found within the Ordinance. The site plan must note that this will be multi-tenant sign serving future development on the entire tract or variance approval will be required. Approval of this site plan does not constitute approval specific exterior sign approval.

• Revised site plan sheets showing the complete closure of the median opening located in front of Tract 1 and Tract 2 (as shown on Sheet C5) must be submitted. (*Note: the applicant has noted intentions of doing this pending SCDOT acceptance*).

V. STAFF RECOMMENDATION

Staff has reviewed the major site plan applications, met with the technical committee, and recommends <u>approval</u> subject to the stated Conditions of Approval outlined in *Exhibit 1*.

VI. DRAFT MOTION

Motion #1:

I move that the Sumter City-County Planning Commission <u>approve</u> MSP-21-08/HCPD-21-09 subject to staff's recommendations and proposed conditions of approval outlined in Exhibit 1, as well as the set of plans titled, "*Midlands Behavioral Health Facility Sumter, SC*", prepared by Michael E. Weatherly, PE, dated March 14, 2021, a landscaping plan titled "*Midlands Behavioral Health Hospital Sumter, SC*" prepared by Jones & VanPatten, LLC dated January 22, 2021 and elevation renderings titled "*Midlands Behavioral Health Hospital 3180 Broad St.*, *Sumter, South Carolina 29150*" prepared by Mark E. Bixler, AIA dated January 16, 2021.

Motion #2:

I move an alternate motion.

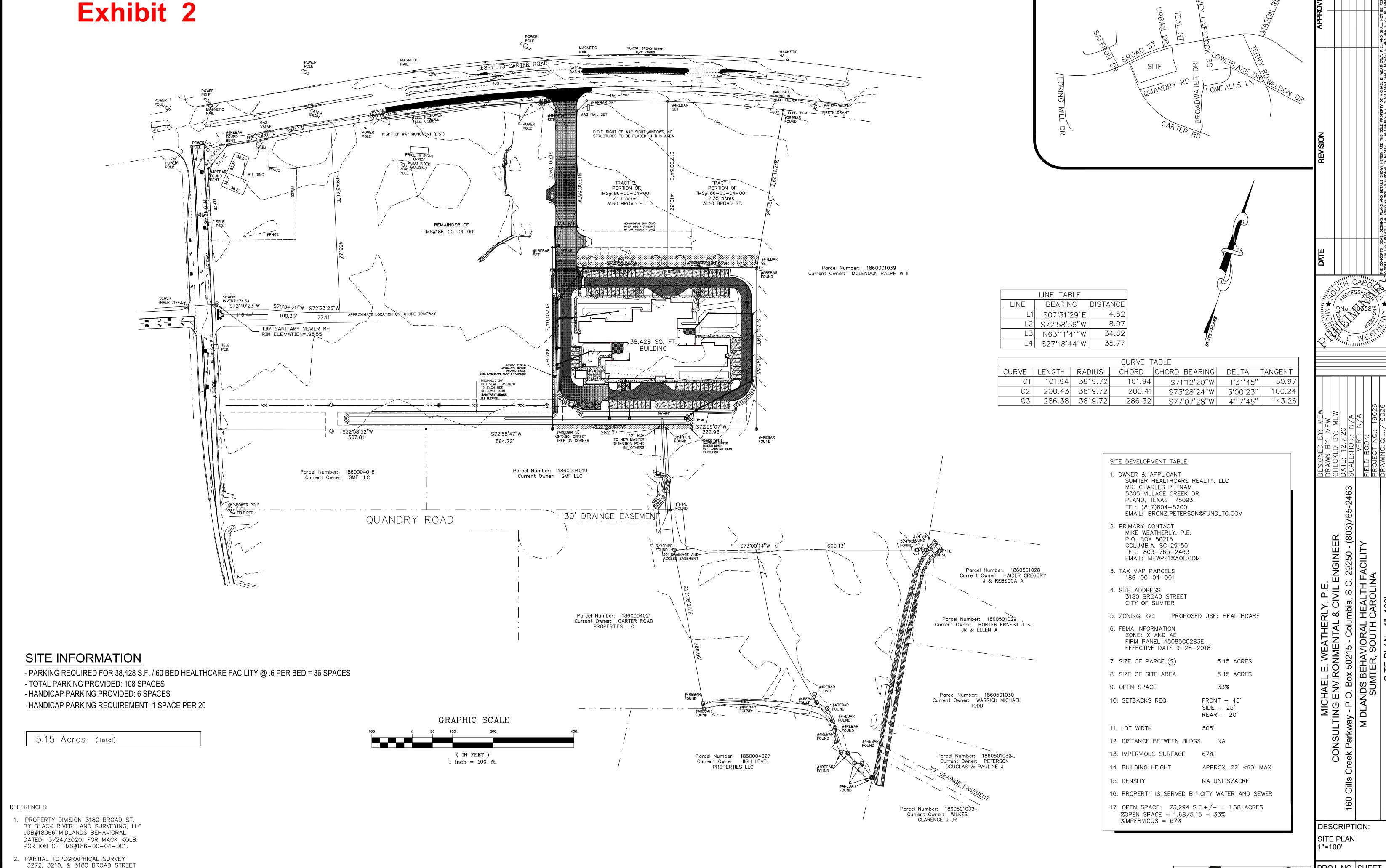
VII. PLANNING COMMISSION – MARCH 24, 2021

Exhibit 1

MSP-21-09/HCPD-21-08 –3180 Broad St. (City)

Proposed Conditions of Approval

- 1. Submission of three (3) hard copies of final full civil engineered plan sets shall be required prior to issuance of any land disturbance or building permits. Said plans shall show the latest revision date.
- 2. The project shall be developed in substantial conformance with site plans titled "Midlands Behavioral Health Facility Sumter, SC", prepared by Michael E. Weatherly, PE, dated March 14, 2021, a landscaping plan titled "Midlands Behavioral Health Hospital Sumter, SC" prepared by Jones & VanPatten, LLC dated January 22, 2021 and elevation renderings titled "Midlands Behavioral Health Hospital 3180 Broad St., Sumter, South Carolina 29150" prepared by Mark E. Bixler, AIA dated January 16, 2021.
- 3. Separate sign permits are required for all exterior signage. All signage must be in full compliance with *Article 8*, *Section H: Sign Regulations* of the *City of Sumter Zoning & Development Standards Ordinance* prior to permit approval, issuance, and installation.
- 4. The following identified technical review items shall be corrected in accordance with the specific timeframes referenced:
 - Submission of dumpster enclosure architectural details.
 - Applicant is showing two free-standing signs on the site plan. One (1) on-site and One (1) off-site. This is more than permitted by the Sumter City Zoning & Development Standards Ordinance Site plan must note that this will be multitenant sign serving future development on the entire tract or variance approval will be required. Approval of this site plan does not constitute approval specific exterior sign approval.
 - Revised site plan sheets showing the complete closure of the median opening located in front of Tract 1 and Tract 2 (as shown on Sheet C5).
- 5. Approved city storm water permits shall be obtained and submitted to the Planning Department prior to issuance of land disturbance permits and building permits.
- 6. Final SCDOT Encroachment Permit approval shall be submitted to the Planning Department prior to zoning final inspection approval. All Mitigation measures required to be constructed as a part of the final SCDOT Encroachment Permit approval shall be completed prior to zoning final inspection approval.



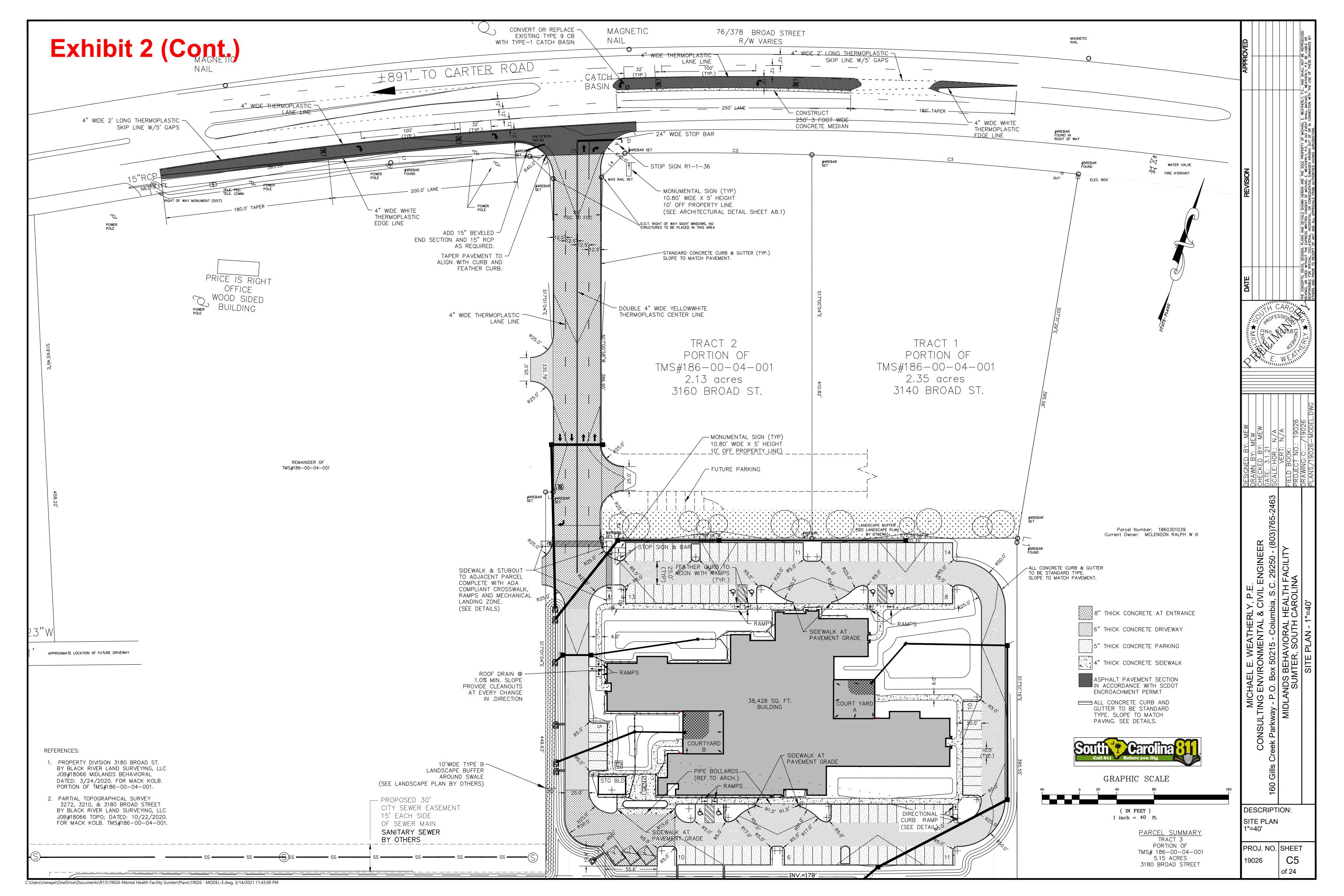
South Carolina 811.

Call 811 Before you Dig

PROJ. NO. SHEET 19026 C3

BY BLACK RIVER LAND SURVEYING, LLC JOB#18066 TOPO; DATED: 10/22/2020.

FOR MACK KOLB. TMS#186-00-04-001.



- RECENT RECOMMENDATIONS OF AMERICAN NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN
- 3. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING PROJECT SITE CONDITIONS AND ALL QUANTITIES INDICATED ON THESE PLANS, BEFORE PRICING WORK. 4. PLANT MATERIAL LOCATIONS AND BED OUTLINES SHALL BE STAKED OR FLAGGED ON SITE BY THE CONTRACTOR AND SHALL BE ADJUSTED IF REQUIRE TO FIT ACTUAL AS-BUILT CONDITIONS ON SITE

AND APPROVED BY THE OWNER OR OWNERS REPRESENTATIVE 5. ALL PROPOSED TREE PLANTING LOCATIONS SHALL BE STAKED OR FLAGGED BEFORE INSTALLATION

- AND APPROVED BY THE OWNER OR OWNERS REPRESENTATIVE 6 LANDSCAPE CONTRACTOR SHALL BEAR FINAL RESPONSIBILITY FOR PROPER SURFACE DRAINAGE OF PLANTED AREAS. ANY DISCREPANCY IN THE DRAWINGS, OBSTRUCTION ON THE SITE, OR PRIOR TO WORK DONE BY ANY OTHER PARTY, WHICH THE CONTRACTOR FEELS PRECLUDES ESTABLISHING PROPER DRAINAGE SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER FOR CORRECTION OR
- RELIEF OF SAID RESPONSIBILITY. 7. CONTRACTOR SHALL COORDINATE CONSTRUCTION OF PLANTING AREAS WITH INSTALLATION OF IRRIGATION SYSTEM
- 8. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAIN ALL PLANT MATERIAL ON SITE DURING AND BEFORE PLANTING, UNTIL THE WORK IN ACCEPTED THE THE OWNER.
- 9. ALL PLANTS SHALL BE GUARANTEED BY THE LANDSCAPE CONTRACTOR TO BE HEALTHY PLANTS AND IN FLOURISHING CONDITION OF ACTIVE GROWTH FOR NINETY (90) DAYS FROM FINAL INSPECTION AND ACCEPTANCE. ALL TREES SHALL BE GUARANTEED AN ADDITIONAL ONE-YEAR FROM FINAL INSPECTION AND ACCEPTANCE.
- 10. THE OWNER OR OWNERS REPRESENTATIVE SHALL HAVE THE RIGHT TO REJECT ANY AND ALL WORK WHICH IN HIS OPINION DOES NOT MEET WITH THE REQUIREMENTS OF THE SPECIFICATIONS AT ANY STAGE OF THE PROJECT OPERATION.
- 11. IN GENERAL, THE WORK SHALL PROCEED AS RAPIDLY AS THE SITE BECOMES AVAILABLE. KEEP ALL AREAS OF WORK CLEAN, NEAT, AND ORDERLY AT ALL TIMES
- 12. DO NOT PLACE ANY LIGHT POLES IN ANY OF THE TREE ISLANDS DIRECTLY SURROUNDING THE BUILDING. PLACE LIGHT POLES IN SOD AREAS BETWEEN THE SIDEWALKS AND CURB.

PLANT REQUIREMENTS

- 13. PLANTS SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF DISEASE, INSECTS, EGGS OR LARVAE AND SHALL HAVE HEALTHY, WELL DEVELOPED ROOT SYSTEMS.. THEY SHALL BE FREE FROM PHYSICAL DAMAGE OR ADVERSE CONDITIONS THAT WOULD PREVENT THRIVING GROWTH.
- 14. ALL PLANTS MUST BE CONTAINER GROWN AND CONFORM TO THE VARIETIES INDICATED IN THE PLANT
- 15. SUBSTITUTION OF PLANT MATERIALS WILL NOT BE PERMITTED UNLESS AUTHORIZED IN WRITING BY THE OWNER. IF PROOF IS SUBMITTED THAT ANY PLANT SPECIFIED IN NOT OBTAINABLE, A PROPOSAL WILL BE CONSIDERED FOR USE OF THE NEAREST EQUIVALENT SIZE OR VARIETY WITH CORRESPONDING ADJUSTMENT OF CONTRACT PRICE.
- 16. WHERE SEEDING MAY BE REQUIRED ON THE PLANS, GERMINATION RATE SHALL BE THE MAXIMUM PERCENTAGE REQUIRED FOR THE VARIETY SPECIFIED AT THE RATE OF APPLICATION SPECIFIED. 17. SOD AREAS SHALL BE SPECIFIED GRASS. GRASS FOR SODDING SHALL BE FRESHLY CUT IN SQUARES ONE FOOT WIDE BY TWO FEET LONG. SHOD SHALL BE HEALTHY, FREE OF INSECTS. DRY, BROWN AND

INSTALLATION

UNFRESH SOD WILL BE REJECTED.

TIME OF INSTALLATION

- 18. THE CONTRACTOR SHALL EXCAVATE PLANT PITS, ACCORDING TO GOOD LANDSCAPING PRACTICE,
- 19. ALL CONTAINER GROWN ROOTBALLS SHALL BE CAREFULLY SCORED BEFORE SETTING PLANT PITS. 20. ALL BACKFILL AROUND PLANT MATERIAL SHALL BE WORKED FIRMLY, TAMPED AND WATERED IN
- UNDER AND AROUND THE ROOTBALL TO FILL ALL VOIDS. 21. SHRUBS AND TREES SHALL BE INSTALLED NO CLOSER THAN TWO FEET TO A CURB, GUTTER, SIDEWALK OR BUILDING. SMALL MATURING TREES SHALL BE PLANTED NO CLOSER THAN 10 FEET TO A BUILDING. MEDIUM MATURING TREES NO CLOSER THAN 20 FEET TO A BUILDING AND LARGE MATURING TREES NO CLOSER THAN 25 FEET TO A BUILDING
- 22. SHRUBS SHALL NOT BE PLANTED WITHIN SIX FEET OF TREE TRUNKS 23. PLANTING BEDS SHALL BE CUT OR EDGED TO FORM A UNIFORM CLEAN LINE BETWEEN BEDS AND
- 24. IN LANDSCAPED AREAS ADJACENT TO PARKING SPACES OR STREET CURBS, NO PLANT MATERIAL WITH THE POTENTIAL TO REACH OVER SIX INCHES IN HEIGHT MAY BE LOCATED WITHIN TWELVE INCHES OF THE CURB OR OTHER PROTECTIVE BARRIER. THIS IS INTENDED TO PROTECT PLANTED
- MATERIALS FROM DAMAGE BY CAR BUMPERS AND CAR DOORS. 25. AFTER ALL PLANT MATERIAL IN A PLANT BED AREA HAS BEEN INSTALLED AND APPROVED, THE AREAS BETWEEN PLANTS SHALL BE RAKED TO AN EVEN GRADE TO CONFORM TO PREMULCHING FINISH GRADES. ALL PLANTING BEDS AND PLANT SAUCERS SHALL THEN BE UNIFORMLY COVERED WITH A MINIMUM THREE INCH LAYER OF LONGLEAF PINE STRAW.
- 26. PLANT MATERIAL BACKFILL MIXTURE SHALL BE THOROUGHLY MIXED IN THE FOLLOWING PREPARATIONS: 75% SITE SOIL, 15% TOPSOIL, AND 10% COMPOSTED COW MANURE. NO PEAT MOSS SHALL BE USED IN THE BACKFILL MIXTURE AND NO FERTILIZER SHALL BE PLACED DIRECTLY IN THE
- 27. ROUGH GRADES WILL BE ESTABLISHED BY THE OWNERS GENERAL CONTRACTOR AT APPROXIMATELY 3 INCHES BELOW CURBS, SIDEWALKS, HARDSCAPE AMENITIES, MOWING STRIPS AND ABUTMENTS. 28. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL FINE GRADING PREPARATION FOR
- 29. SOD SHALL BE LAID END TO END AND SIDE TO SIDE IN A STAGGERED LINE TO FORM A UNIFORM LAYER. ALL UNEVEN EDGES SHALL BE SQUARELY TRIMMED TO ALLOW CLOSE AND FIRM FITTING OF
- 30. IT SHALL NOT BE REQUIRED TO STAKE TREES UNLESS THE SITE SOIL OR INSTALLATION METHOD IS
- SUCH THAT THE TREE(S) CANNOT STAND FIRMLY ON THEIR OWN. 31. REMOVE AND DISPOSE OF ALL STRAPS, WIRE BASKETS, BURLAP, FLAGGING TAPE, PLANT NAME TAGS/LABELS, BAMBOO STAKES AND TIES, AND PLASTIC POTS FROM ALL TREES AND PLANTS AT THE

DEFINITION FROM CITY ORDINANCE 9.C.2.K: IRRIGATION SYSTEM-A WATER DISTRIBUTION SYSTEM THAT ENSURES THAT ALL PLANT MATERIALS AND LANDSCAPED AREAS ARE WATERED ON A REGULAR BASIS.

32. ALL LANDSCAPE AREAS SHALL BE REQUIRED TO HAVE AN IRRIGATION SYSTEM (SEE DEFINITION ABOVE FROM CITY OF SUMTER ORDINANCE 9.C.2.K) THAT PROVIDES COVERAGE TO ALL PLANT MATERIALS. ALL COMPONENTS OF IRRIGATION SYSTEMS SHALL BE MAINTAINED IN PROPER WORKING

IRRIGATION SHALL NOT BE INSTALLED TO WATER INSIDE RETENTION AREAS OR STORMWATER FACILITIES.

- 33. TREES SHALL BE WATERED AT A RATE OF FIVE GALLONS PER INCH OF CALIPER AT LEAST ONE TIME PER WEEK OR AS NEEDED BASED ON SOIL AND WEATHER CONDITIONS. ALL TREES SHALL BE
- THOROUGHLY HAND WATERED AT THE TIME OF INSTALLATION. 34. AFTER SODDING IS COMPLETED, THE ENTIRE SOD AREAS SHALL BE WATERED EACH DAY FOR 30 DAYS. IRRIGATE UNTIL THE SOIL IS WET FOR A DEPTH OF 2 INCHES. IRRIGATION RATES SHALL BE BASED ON SOIL AND WEATHER CONDITIONS AND SHOULD BE APPLIED REGULARLY TO KEEP THE
- AREAS MOIST BUT NOT SATURATED. 35. PROVIDE AN AUTOMATIC IRRIGATION SYSTEM TO COVER ALL PLANTINGS AND GROUND COVERS.

36. SOIL ANALYSIS IS REQUIRED PRIOR TO ALL APPLICATIONS OF FERTILIZER. A SOIL ANALYSIS IS REQUIRED ON ALL REPRESENTATIVE SOIL TYPES FOR THE SPECIFIED VEGETATION SPECIES PRIOR TO AGRICULTURAL GRANULAR LIME AND GRANULAR FERTILIZER APPLICATIONS. REPRESENTATIVE SOIL TYPES INCLUDE EXISTING PREDOMINATE SOILS ON THE PROJECT SITE, CUT SLOPES, FILL MATERIAL,

- 37. COLLECT ONE (1) SOIL SAMPLE FOR EACH DISTINGUISHABLE REPRESENTATIVE SOIL TYPE. ONE (1) SAMPLE CONSISTS OF MIXING TEN (10) SUB-SAMPLES TAKEN UNIFORMLY OVER EACH DISTINGUISHABLE REPRESENTATIVE SOIL TYPE.
- 38. SOIL SAMPLES SHOULD BE TAKEN FROM STOCKPILES WHERE THE MATERIAL WILL BE THE TOP SIX (6) 39. TAKE EACH SUB-SAMPLE WITHIN THE TOP FOUR (4) TO SIX (6) INCHES OF THE SOIL SURFACE.
- 40. SUBMIT A SEPARATE SOIL SAMPLE FOR EACH REPRESENTATIVE SOIL TYPE TO A SCDOT CERTIFIED SOIL TESTING LABORATORY OR CLEMSON EXTENSION SERVICE.
- 41. APPLY ALL FERTILIZER AT A RATE THAT IS WITHIN ±10% OF THE WEIGHT RECOMMENDATION OF THE SOIL ANALYSIS. APPLY FERTILIZER THAT IS WITHIN ±2 PERCENTAGE POINTS OF THE RECOMMENDATION OF THE SOIL ANALYSIS. 42. NITROGEN SHALL BE SLOW RELEASE NITROGENINCLUDES A MINIMUM OF 50% WATER INSOLUBLE
- (SLOW RELEASE) NITROGEN 43. WHEN A FERTILIZER BLEND MEETING THE SOIL ANALYSIS REQUIREMENTS IS NOT READILY AVAILABLE, THE CONTRACTOR MAY COMBINE FERTILIZERS OF DIFFERENT COMPOSITIONS TO MEET THE SOIL ANALYSIS COMPOSITION REQUIREMENTS.
- 44. APPLY THE FERTILIZER AT A RATE TO ACHIEVE THE AMOUNT OF NITROGEN, PHOSPHORIC ACID, AND POTASH THAT WOULD HAVE BEEN ACCOMPLISHED BY UTILIZING THE FERTILIZER SPECIFIED BY THE
- 45. REFER TO THE CLEMSON COOPERATIVE EXTENSION WEBSITE http://www.clemson.edu/extension/hgic/complete_list.html FOR FACT SHEETS REGARDING FERTILIZATION OF TREES AND SHRUBS (FACT SHEET1000) AND LAWNS (FACT SHEET 1201)

SHRUBS (FOUNDATION SHRUBS AND TALL SHRUBS)

AND AREAS OF EXPOSED SUBSOIL.

1. FOUNDATION/SMALL SHRUBS- SHALL BE A MINIMUM OF THREE (3) GALLONS IN SIZE AND 15" IN HEIGHT AT THE TIME OF PLANTING, AND SHALL REACH A MINIMUM HEIGHT OF THREE (3) FEET AT MATURITY; 2. TALL SHRUBS- SHALL BE A MINIMUM HEIGHT OF THREE (3) FEET AND WIDTH OF TWO (2) FEET AT TIME OF PLANTING, AND SHALL REACH A MINIMUM HEIGHT OF SIX (6) FEET AND WIDTH OF FOUR (4) FEET AT

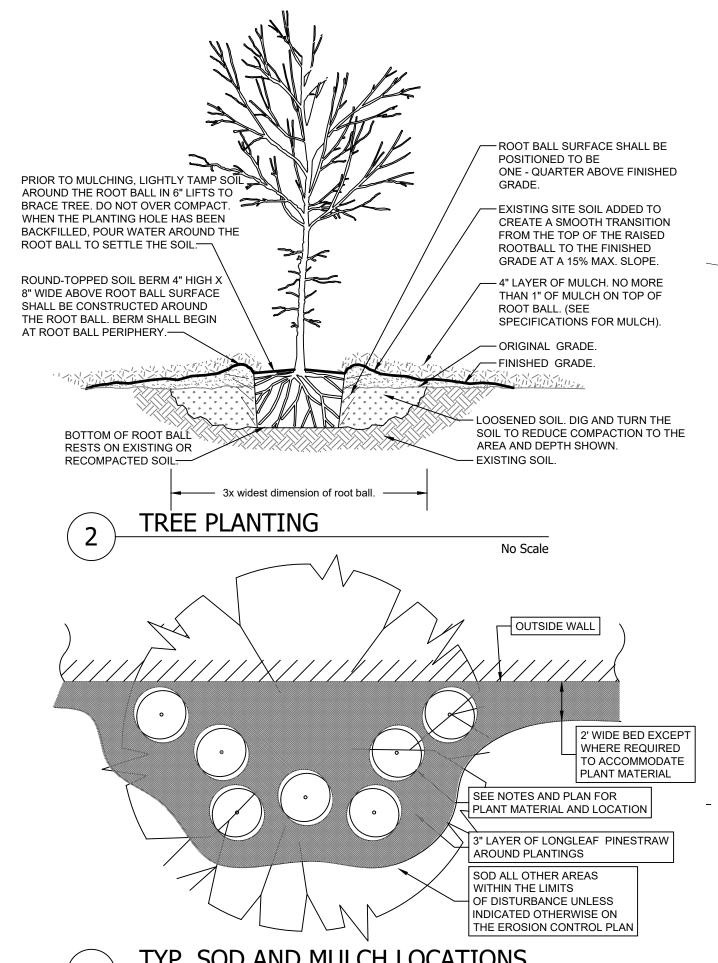
3. CANOPY TREE - ANY TREE THAT REACHES A MATURE HEIGHT IN EXCESS OF FORTY (40) FEET. 4. CANOPY TREES SHALL ARE TYPICALLY A MINIMUM OF TWO (2) INCHES IN CALIPER AND SEVEN (7) FEET IN HEIGHT AT THE TIME OF INSTALLATION.

5. UNDERSTORY – UNDERSTORY TREES SHALL BE A MINIMUM OF FIVE (5) FEET HIGH AND ONE AND ONE-HALF INCH IN CALIPER, MEASURED SIX INCHES ABOVE GRADE, WHEN PLANTED. WHEN MATURE, AN UNDERSTORY TREE SHOULD BE BETWEEN FIFTEEN (15) AND FORTY (40) FEET HIGH. 6. UNDERSTORY TREES MUST BE A MINIMUM OF 1 ½ INCH CALIPER WITH A MINIMUM HEIGHT OF 5 FEET AT TIME OF PLANTING.

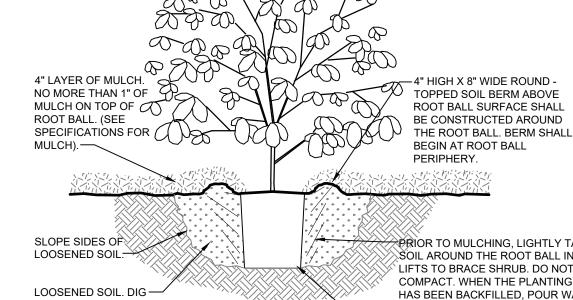
EVERGREEN TREES 7. EVERGREEN – A CANOPY TREE THAT DOES NOT LOSE ITS LEAVES, REMAINS GREEN IN WINTER, AND

TYPICALLY REACHES A MINIMUM MATURE HEIGHT OF EIGHT (8) FEET. 8. EVERGREEN TREES ARE TYPICALLY REQUIRED TO BE A MINIMUM HEIGHT OF 5 FEET AT TIME OF





TYP. SOD AND MULCH LOCATIONS



PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND THE ROOT BALL IN 6" LIFTS TO BRACE SHRUB. DO NOT OVER COMPACT. WHEN THE PLANTING HOLE HAS BEEN BACKFILLED, POUR WATER AND TURN THE SOIL AROUND THE ROOT BALL TO SETTLE TO REDUCE THE COMPACTION TO THE ROOT BALL RESTS ON

AREA AND DEPTH **EXISTING OR** 3X'S WIDEST DIMENSION RECOMPACTED SOIL. OF ROOT BALL. SHRUB PLANTING No Scale

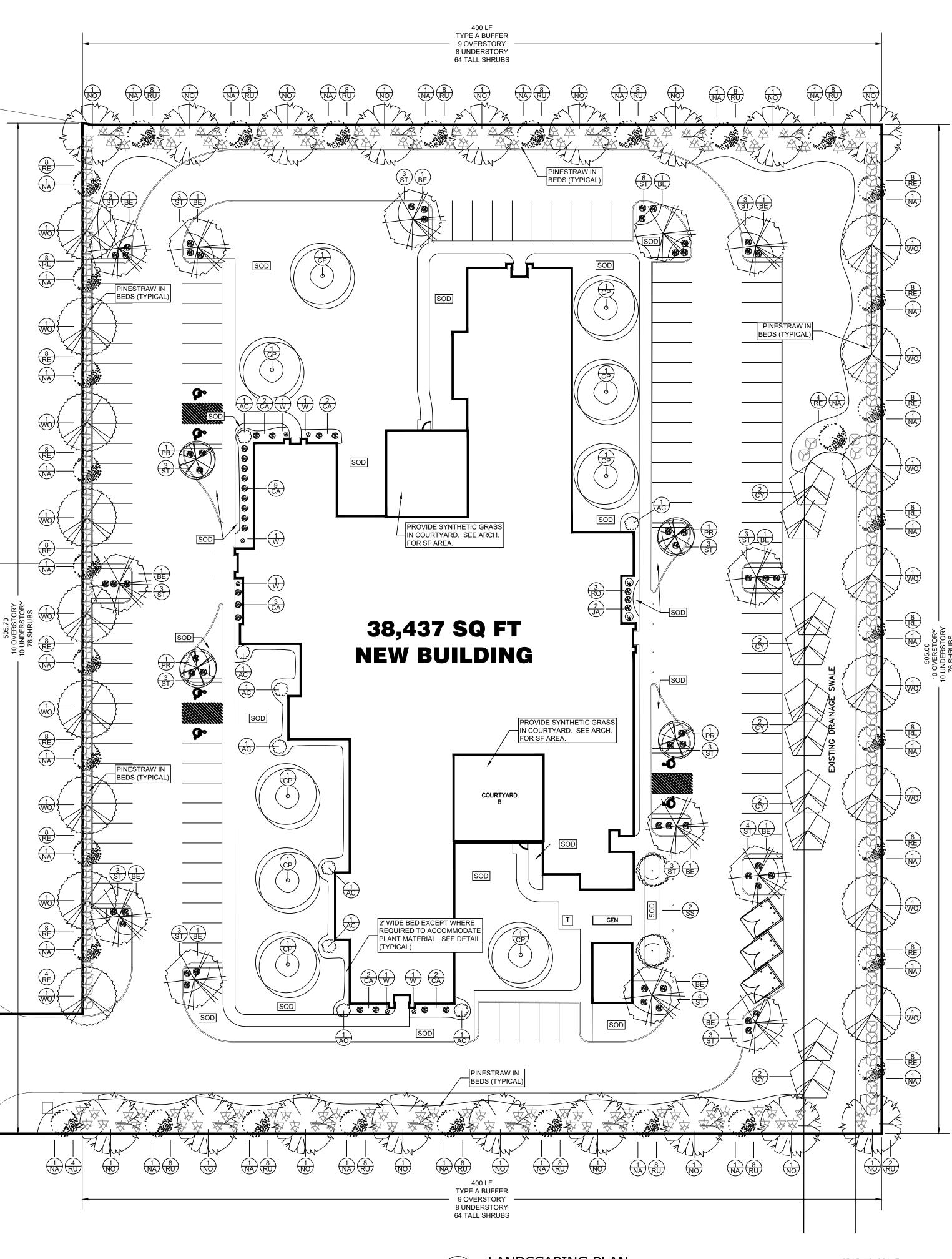
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SYMBOL	KEY	SIZE AT PLANTING *	COMMON NAME	BOTANICAL NAME	QTY
	WO	2" CALIPER 7' HEIGHT	WILLOW OAK	QUERCUS PHELLOS	17
	NO	2" CALIPER 7' HEIGHT	NUTALL OAK	QUERCUS NUTTALLII	18
	BE	2" CALIPER 7' HEIGHT	BOSQUE ELM	ULMUS PARVIFOLIA 'BOSQUE'	13
\odot	СР	2" CALIPER 7' HEIGHT	CHINESE PISTACHE	PISTACIA CHINENSIS	9
₩	PR	2" CALIPER 7' HEIGHT	PRINCETON SENTRY GINKGO	GINKGO BILOBA 'PRINCETON SENTRY'	4
	CY	2" CALIPER 7' HEIGHT	BALD CYPRESS	TAXODIUM DISTICHUM	10

LAGERSTROEMIA

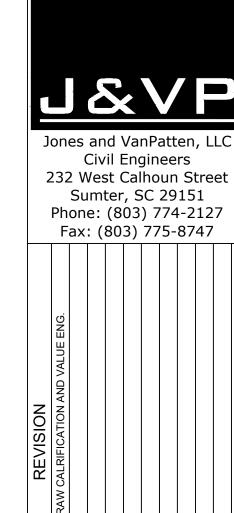
UNDERSTO TREES	NA NA	NΙΛ	15 GALLON	NATCHEZ	LAGERSTROEMIA	35	
		INA	1.5" CALIPER (5' HEIGHT) CREPE MYRTLE	INDICA 'NATCHEZ'	- 55	
	0	SS	15 GALLON	SINGLE STEM	LAGERSTROEMIA	2	
	0 33	33	2" CALIPER (5' HEIGHT)	NATCHEZ	INDICA 'NATCHEZ'	2	
5 -							
=			2 CALLON		DECLIDATE OF HIM		
	\otimes	RE	3 GALLON 15" HEIGHT	PRIVET	RECURVIFOLIUM LIGUSTRUM	154	
_	-						
		ST	3 GALLON	SOFT TOUCH	ILEX CRENATA	53	
S		15" HEIGHT	HOLLY	'SOFT TOUCH'	55		
PLANTS RUBS	() AC	15 GALLON	ACADIANA	ILEX X	9		
₹ S		15 GALLON	HOLLY	'MAGINA'	9		
	CA	3 GALLON	CADICCALIOLLY	ILEX CORNUTA			
ON PLAN SHRUBS		15" HEIGHT	CARISSA HOLLY	'CARISSA'	20		
FOUNDATION SMALL SHF 	⊘ w	3 GALLON	WINTERGREEN	BUXUS			
		15" HEIGHT	BOXWOOD	MACROPHYLLA	6		
	JA		3 GALLON	JAPANESE	PODOCARPUS		
		15" HEIGHT	YEW	MACROPHYLLUS 'MAKI'	2		
	RO	ВО.	3 GALLON	ROSE CREEK	ABELIA X	3	
		Σ	15" HEIGHT	ABELIA	'ROSE CREEK'		
-	RU		RUBY	LOROPETALUM	400		
		3 GALLON	LOROPETALLIM	CHINESE 'RUBY'	128		

LOROPETALUM CHINESE 'RUBY' * SEE NOTES THIS SHEET FOR ADDITIONAL REQUIREMENTS FOR SIZES AT PLANTING AND AT FULL MATURITY









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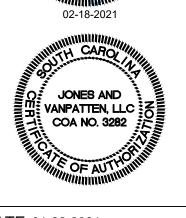
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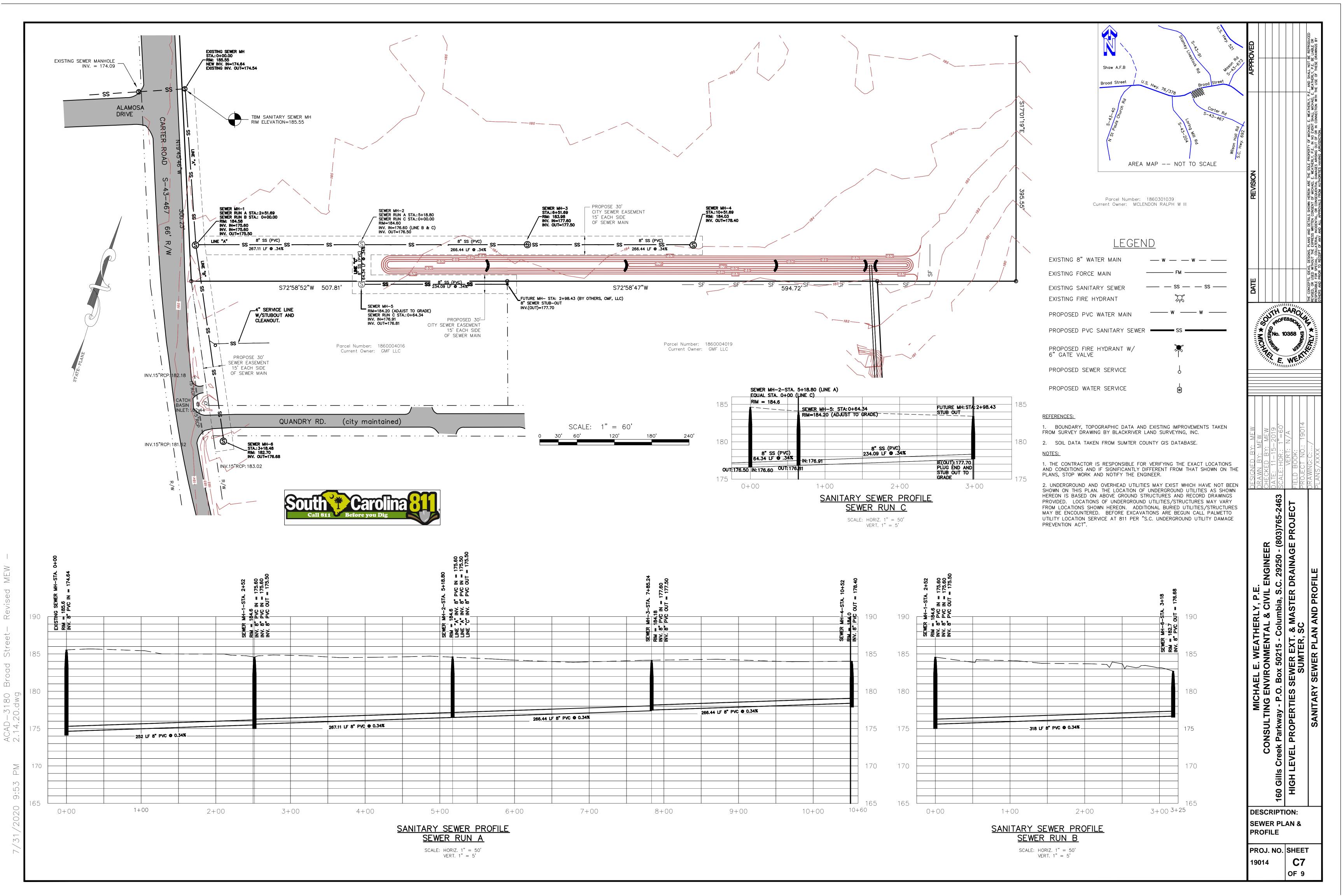
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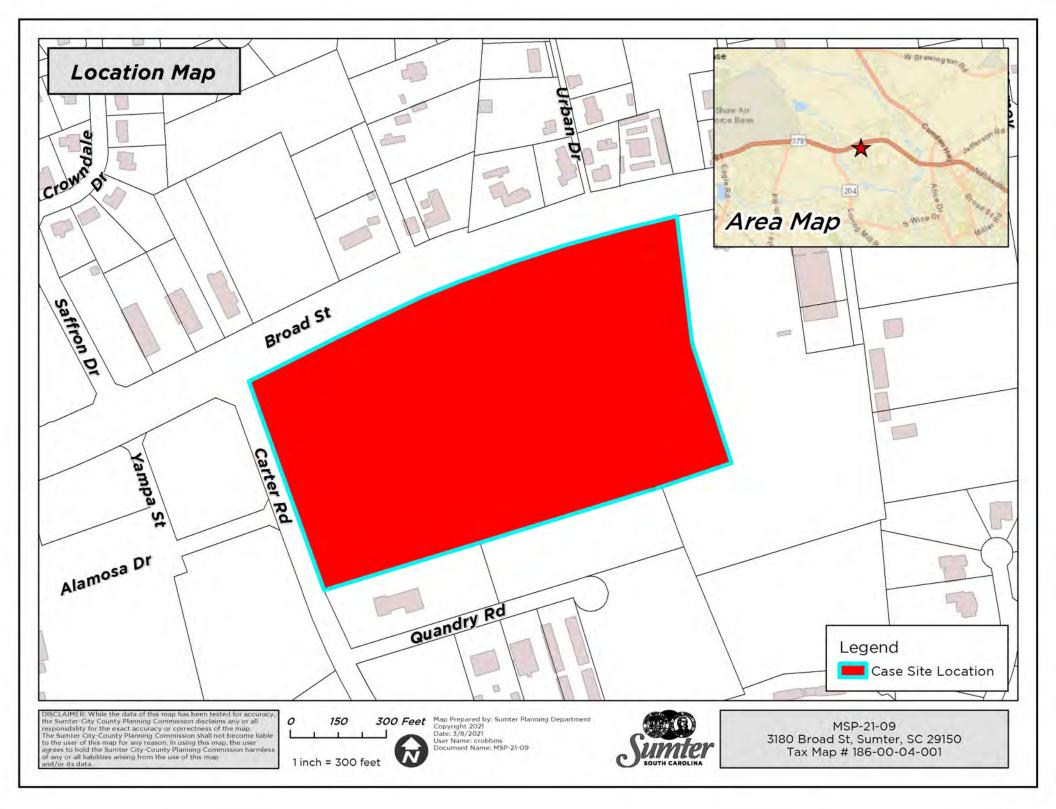
 \Box

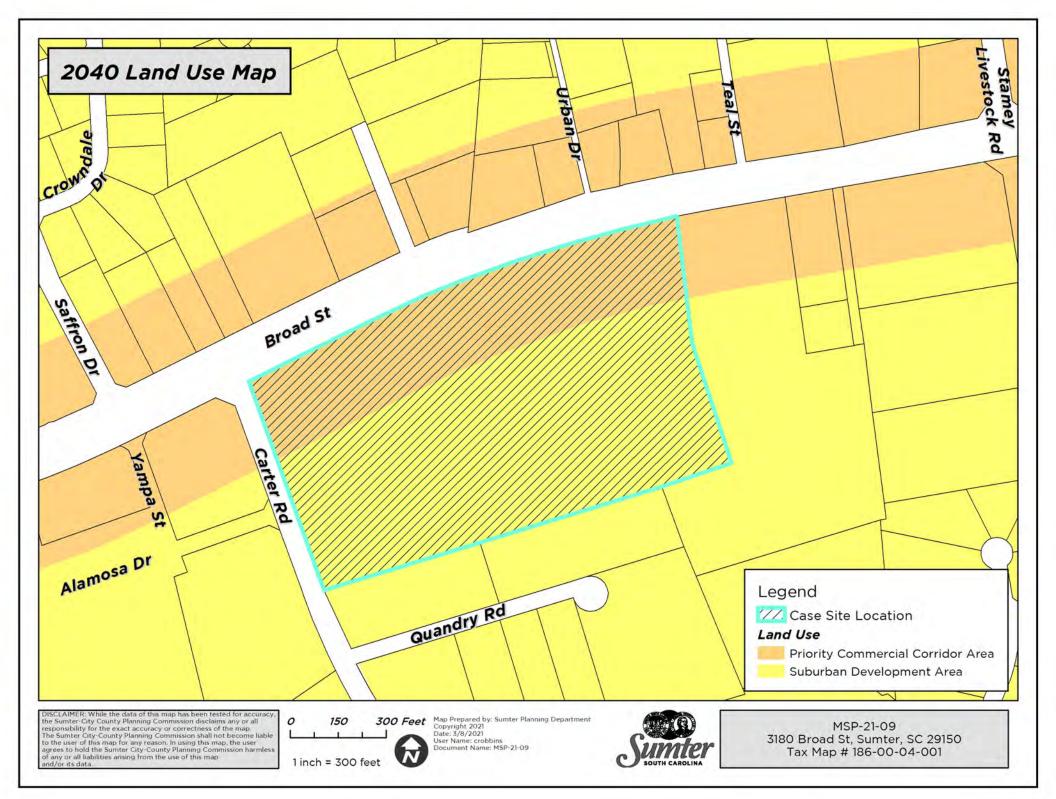
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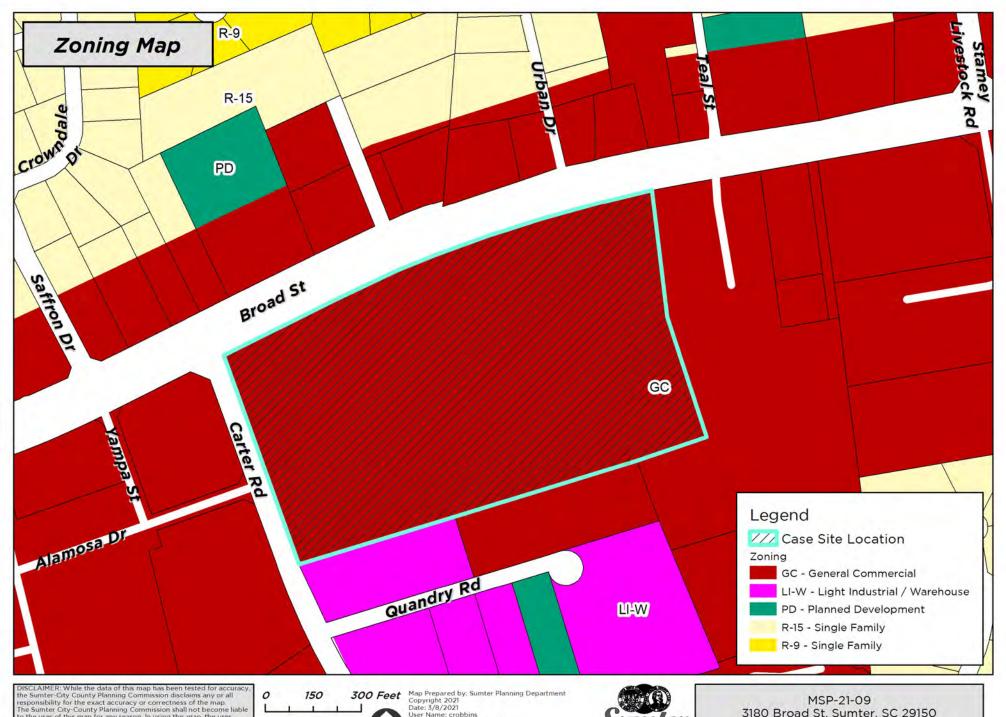


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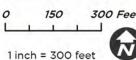






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3180 Broad St, Sumter, SC 29150 Tax Map # 186-00-04-001



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1 inch = 200 feet

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