

Historic Preservation Design Review

October 27, 2011

HP-11-26, 32 S. Main St. – Cut Rate Drug Store (City)

I. THE REQUEST

Applicant: Cecil R. Baker

Status of the Applicant: Project Builder

Request: Design Review for proposed +/-12 ft. tall wooden façade wall and gate to replace the vinyl wall at the rear of the existing structure.

Location: 32 S. Main St.

Present Use/Zoning: Commercial/CBD (Central Business District)

Tax Map Reference: 228-13-07-064

Adjacent Property Land Use and Zoning: North – Commercial /CBD
South –Commercial/GC
East – S. Main St./CBD
West – Parking lot/CBD

II. BACKGROUND

In September of 2011, the applicant was issued a building permit for kitchen renovations at Cut Rate Drugs. This permit was signed off on for interior work only and did not include the construction of any exterior walls or visible changes to the exterior of the property. During the week of October 3rd, the applicant constructed a 12 ft. tall wooden wall, as shown in the photograph to the right, which was not shown on the building plans approved as part of the building permitting process. At that time, the applicant was stopped and informed that no further construction work could be done to the wall and that design review approval was necessary to determine whether the wall could remain or would have to be removed.

The applicant is requesting design review approval for the construction of the 12 ft. tall wooden façade wall to replace the existing wall constructed of vinyl siding at the rear of building. If completed, this will create a secure outdoor

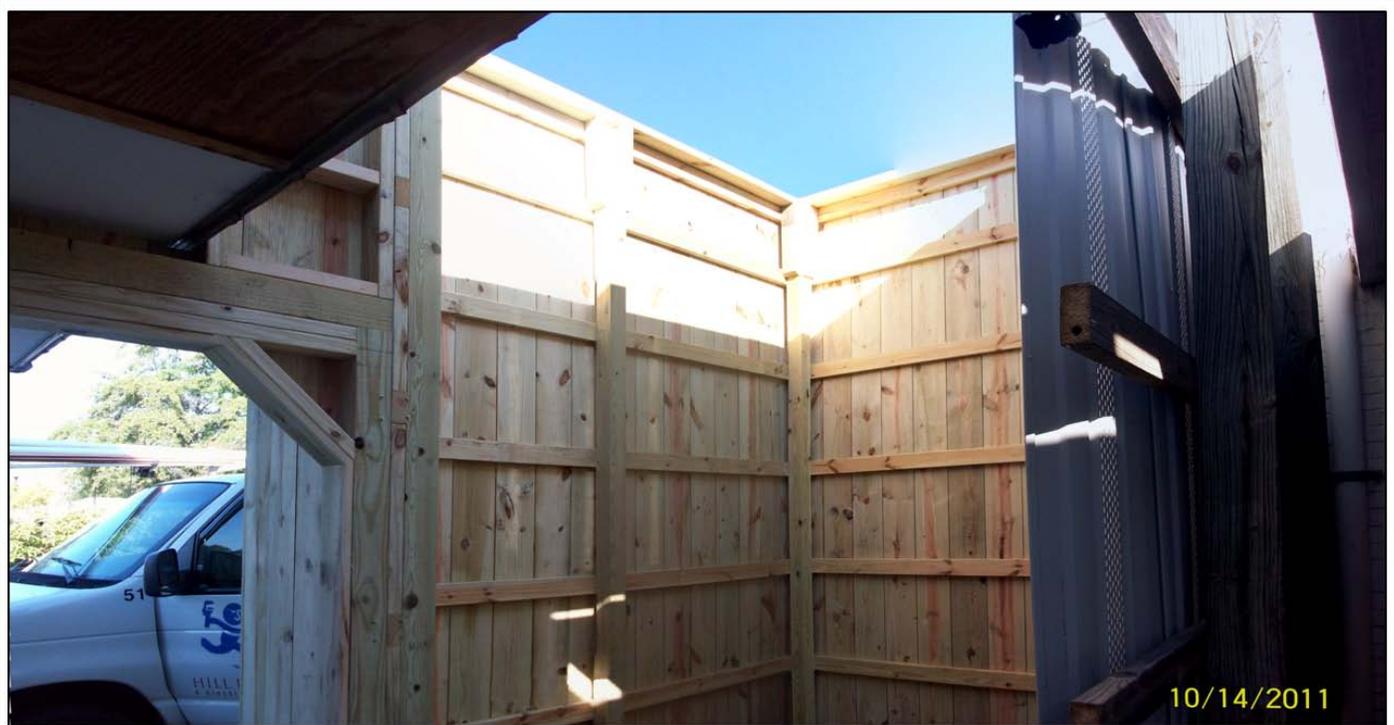


*Above: Rear of Cut Rate Drugs 5/27/1985
Below: Rear of Cut Rate Drugs 10/14/2011*



10/14/2011

storage/cooking area and new refrigeration screening. Based on the existing construction and submitted plans, the wall is made of wood and is proposed to be painted to match the adjacent buildings. The following photographs show existing conditions on-site.



Above: The interior side of the wooden wall.



Left: Existing vinyl wall in front of the walk-in refrigeration unit accessed from the kitchen.



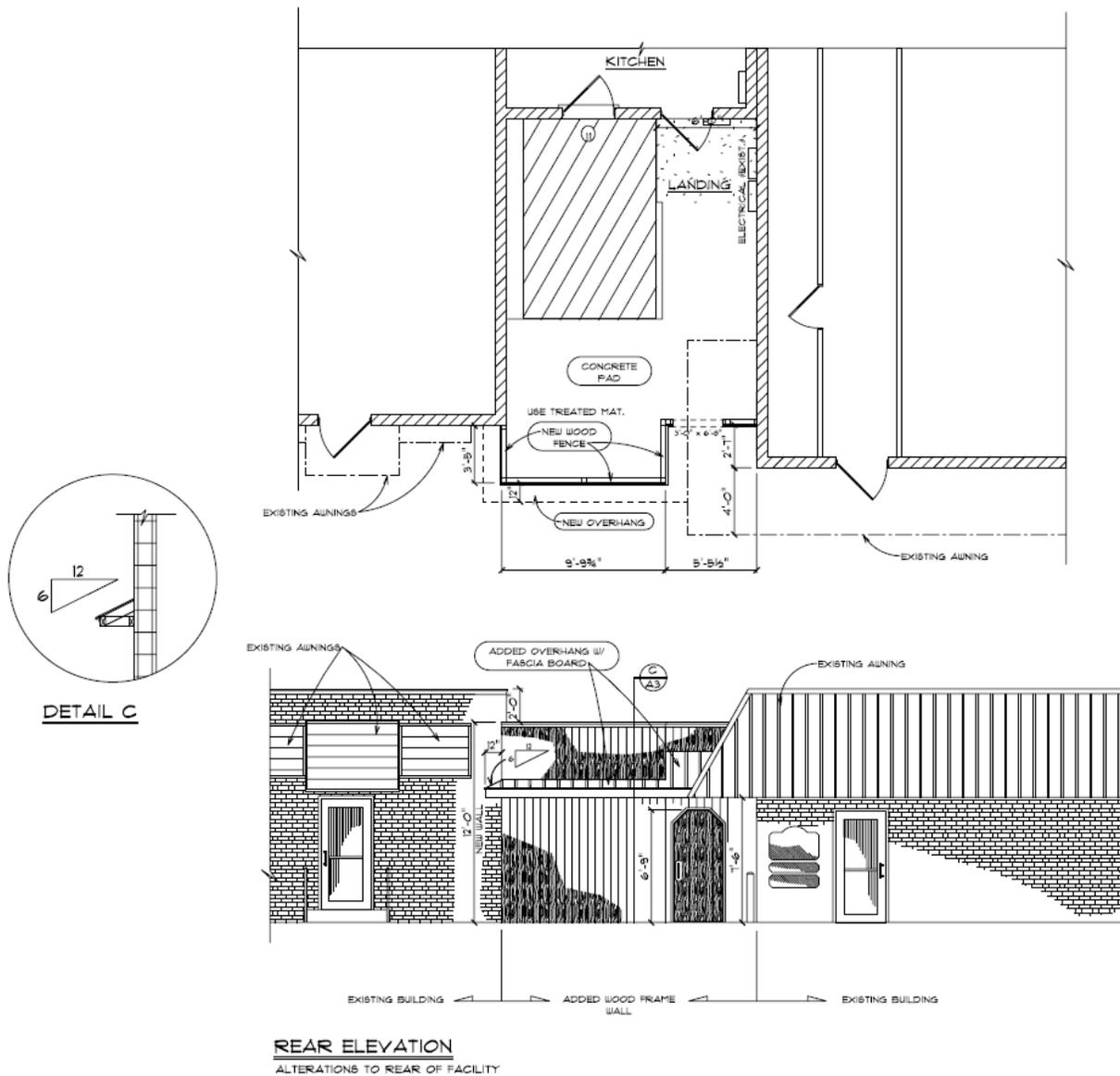
Architectural/ Historic Context

32 S. Main St. was constructed in 1945 and has been cataloged in both the 1985 Historic Resources Survey and the 2010 Historic Resources Survey. Based on available information, although 32 S. Main St. is historic because of its age, it is not considered to be a contributing structure within the National

Register Historic District because of front façade alterations undertaken prior to the 1980s which significantly altered the building's appearance. Because Cut Rate Drugs is located inside of the designated National Register District boundary, and is part of the Downtown Design Review District, any proposed exterior changes or additions to the structure must be reviewed and approved by the Historic Preservation Design Review Committee.

Scope of Proposed Work:

The plans below show the proposed finished product. In addition, the photograph on the following page shows the view of the addition looking from the Dugan St. parking lot to the rear of the building. As shown in the plans and picture, the addition is constructed of wood and gives the appearance of a façade wall of a similar height as the adjacent structures. As submitted, the applicant has proposed to paint the wooden wall the same color as the adjacent building.





Blonde
SW6128



Shamrock
SW6454

The *Design Review Guidelines Manual* states:

#36) ADDITIONS MAY BE ADDED AT REAR FACADES

Normally Required

- a. Rear facades are appropriate locations for additions to commercial buildings. Additions should clearly be contemporary in design and not historic reproductions or mimic the original building.
- b. Rear additions should be simple in design and not be constructed as the primary entrance to a building.

Acceptable materials for rear additions include brick, concrete, and combinations of metal and glass. Rear additions should be contemporary and compliment the original building.

As required in guideline 36, the addition is to the rear of the structure and is clearly not an historic reproduction, however; in order to meet the Guidelines Standards, the wall should be constructed of brick or concrete.

III. STAFF RECOMMENDATION

Staff recommends denial of this request. The proposed project does not meet the requirements set forth in the design review guidelines for construction materials.

IV. DRAFT MOTION

I move that the Sumter Historic Preservation Design Review Committee deny HP-11-26.

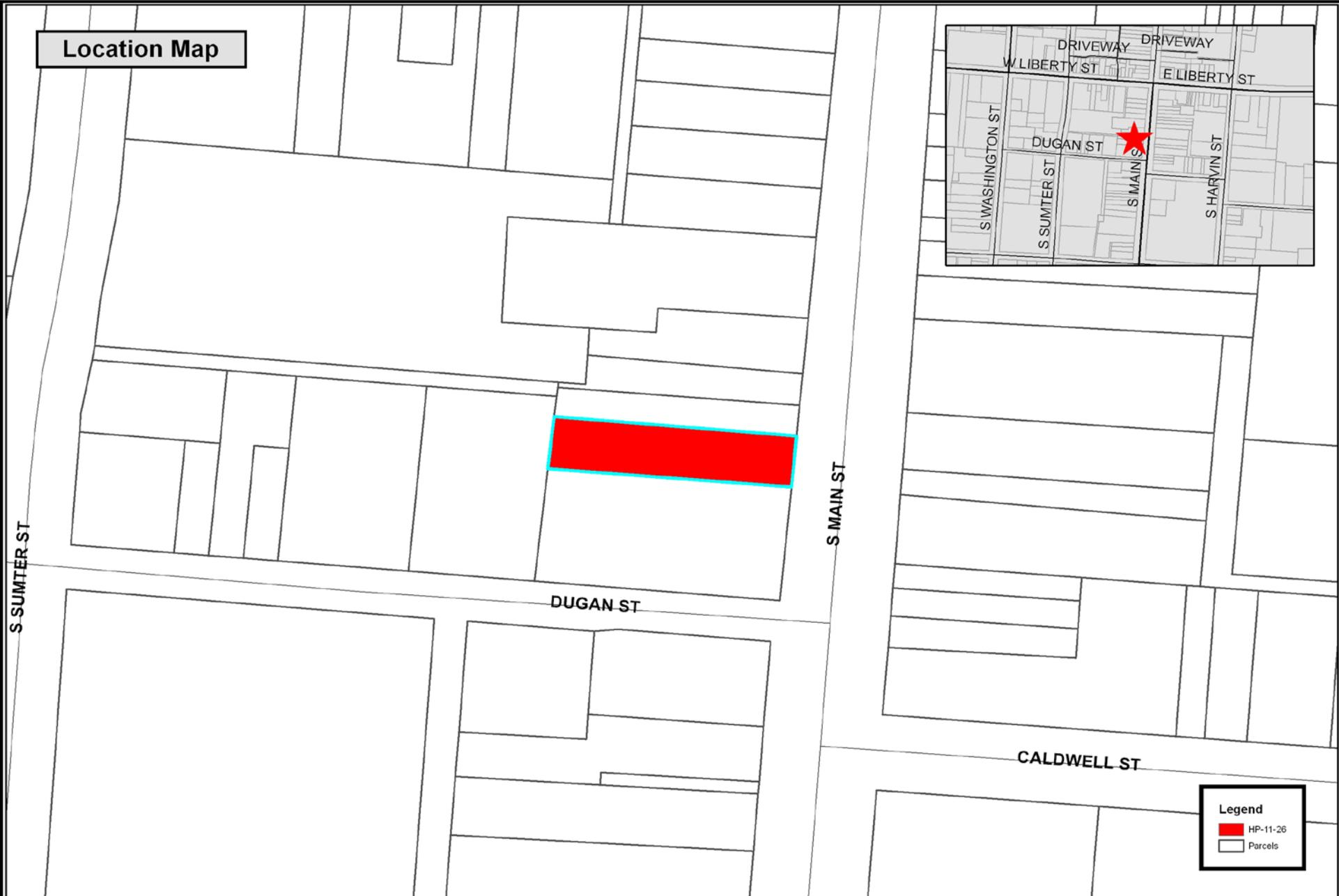
I move that the Sumter Historic Preservation Design Review Committee approve HP-11-26 in accordance with the plans, materials and colors referenced in the staff report.

I move that the Sumter Historic Preservation Design Review Committee enter an alternative motion.

V. HISTORIC PRESERVATION – OCTOBER 27, 2011

The Sumter Historic Preservation Design Review Committee at its meeting on Thursday, October 27, 2011, voted to approve this request in accordance with the plans, materials and colors referenced in the staff report.

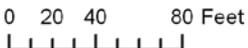
Location Map



Legend

- HP-11-26
- Parcels

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 Geographic Information Systems (GIS)
 October 6, 2011

HP-11-26
 32 S. Main Street, Sumter, SC
 Tax Map #228-13-07-064