

# Historic Preservation Design Review

October 27, 2011

HP-11-25, 405 W. Calhoun St. & 202 N. Purdy St. (City)

## I. THE REQUEST

**Applicant:** Edward P. Monroe, Architect

**Status of the Applicant:** Representative for the Owner

**Request:** Design Review for a new attached garage, colonnade, brick fencing/wall, new & expanded door openings on the rear of the principal structure, and expanded window openings to the rear of the principal structure, new in-ground swimming pool, and pool house at 405 W. Calhoun St.

**Location:** 405 W. Calhoun St. & 202 N. Purdy St.

**Present Use/Zoning:** Residential/R-9

**Tax Map Reference:** 228-06-01-034/228-06-01-036

**Adjacent Property Land Use and Zoning:** North – Residential/R-9  
South – W. Calhoun St. & Residential/R-9  
East – Residential/R-9  
West – Residential/R-9

## II. BACKGROUND

The applicant is requesting design review approval to make structural and façade renovations to the rear of the structure at 405 W. Calhoun St. in addition to constructing an attached garage at 202 N. Purdy St. The applicant is also requesting approval for the construction of an in-ground swimming pool, Chinese architecture inspired pool house, and brick walls/fencing. As shown in the photographs to the right, the property known as 202 N. Purdy St. is currently vacant. These properties are under unified ownership. The property owner intends to join these two parcels to create one large parcel.



*Above:* View of 405 W. Calhoun St. from W. Calhoun St. inside the property.  
*Below:* View of 405 W. Calhoun St. from 202 N. Purdy St.



Architecture & Historical Significance:

In 2008, the properties at 403 and 405 W. Calhoun St. were purchased by the applicant's clients and the two dwellings were connected as shown in the photograph on the previous page.

Based on State Archives records, 405 W. Calhoun St. is a significant example of Tudor Revival architecture. The residence is a one and one-half story asymmetrical, half-timbered house. The first story is brick with pedimented dormer and gable end porch entrances that are half-timbered. The porch and porte cochere are supported by brick pillars. This primary portion of the structure is significant as an example of a residential structure designed by J. Carroll Johnson. The residence is known as the Eugene Moses, Jr. House. Based on South Carolina Department of Archives and History records, this home was constructed in 1926. The architect, Johnson, was noted for his churches and commercial design, but has around 100 homes to his credit. This structure is the lone example in Sumter of Johnson's residential work.

The renovation and addition work approved under HP-08-07 was done in a context sensitive manner and combined a minimal traditional home with this Tudor Style home. The Tudor style is notable for its steeply pitched, cross-gabled roof. Decorative half timbering is common in the gable and secondary story. The windows are relatively tall and slender with multi-pane glazing separated by either wood or lead muntins. Chimneys are very large and commonly decorated with ornate chimney pots.

Several different siding treatments are common including brick, stucco, and wood shingle or clapboard. On the balloon framework of the 20<sup>th</sup> century, brick was particularly popular and various siding combinations are commonly seen. Roofs are found in most roofing materials. Windows are another distinctive feature of this style. They are often casement types opening out as well as the more common double-hung window. Multiple windows are arranged in ribbons across the façade. Sashes are multi-paned with lead or wood muntins.



Above: 202 N. Purdy St – the vacant space is where the proposed addition would be located

Below Left (1) Corner of Calhoun & Purdy prior to demolition of 202 N. Purdy St

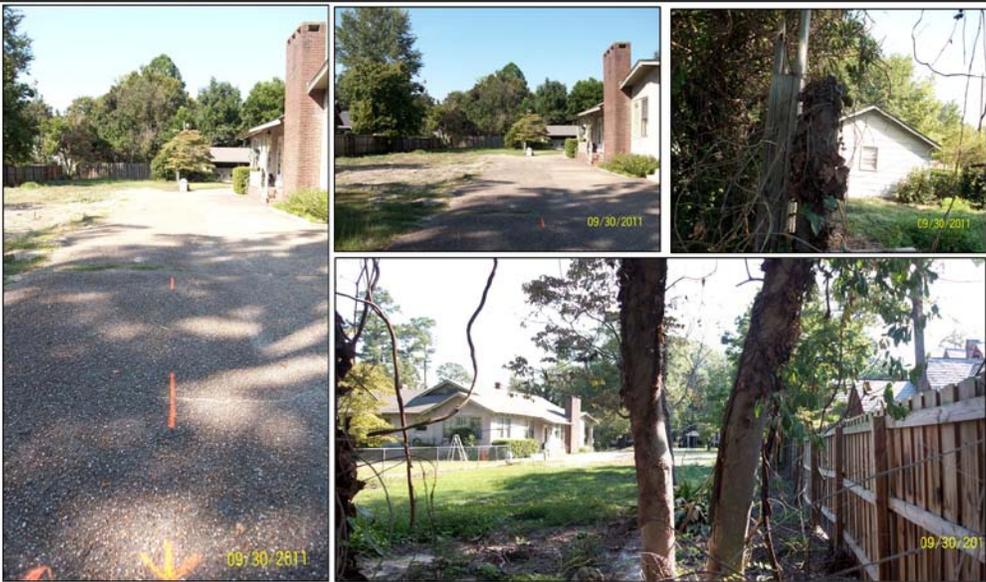
Below Right (2) Corner of Calhoun & Purdy with proposed addition in vicinity of previous dwelling, the red line represents the approximate location of the proposed brick wall

Due to the scale and complexity of this request, the graphics and photographs on the following pages depict the existing conditions and proposed changes at the property.

Design review approval is required prior to undertaking any work.

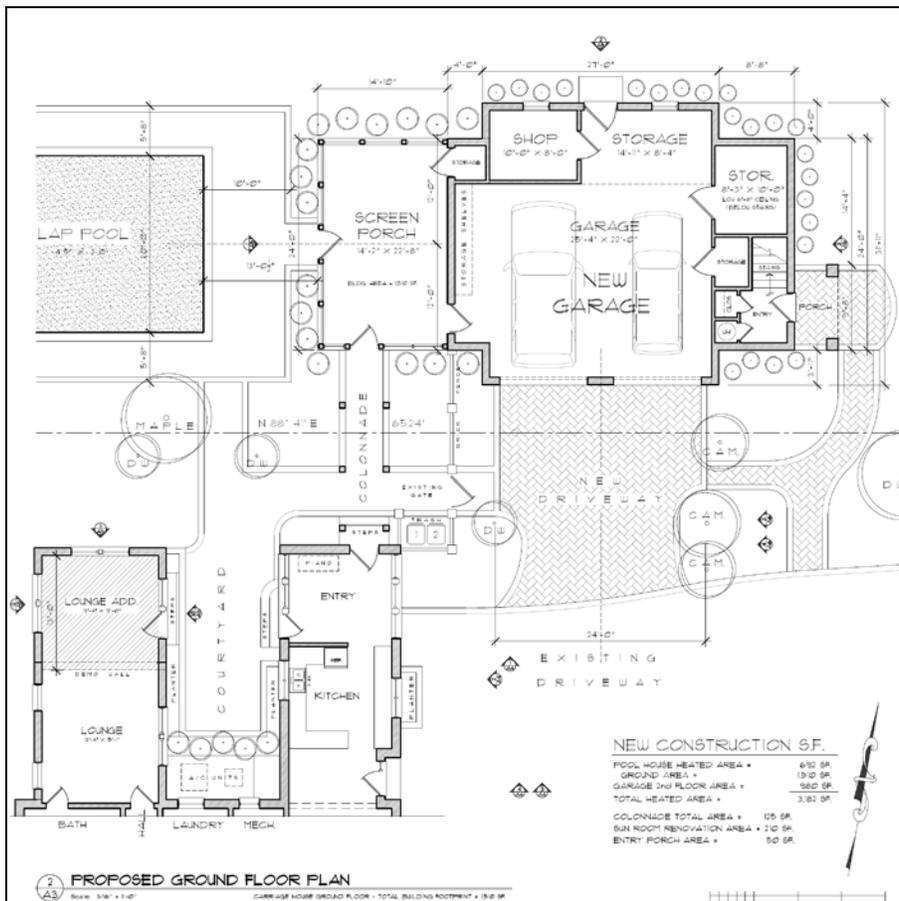
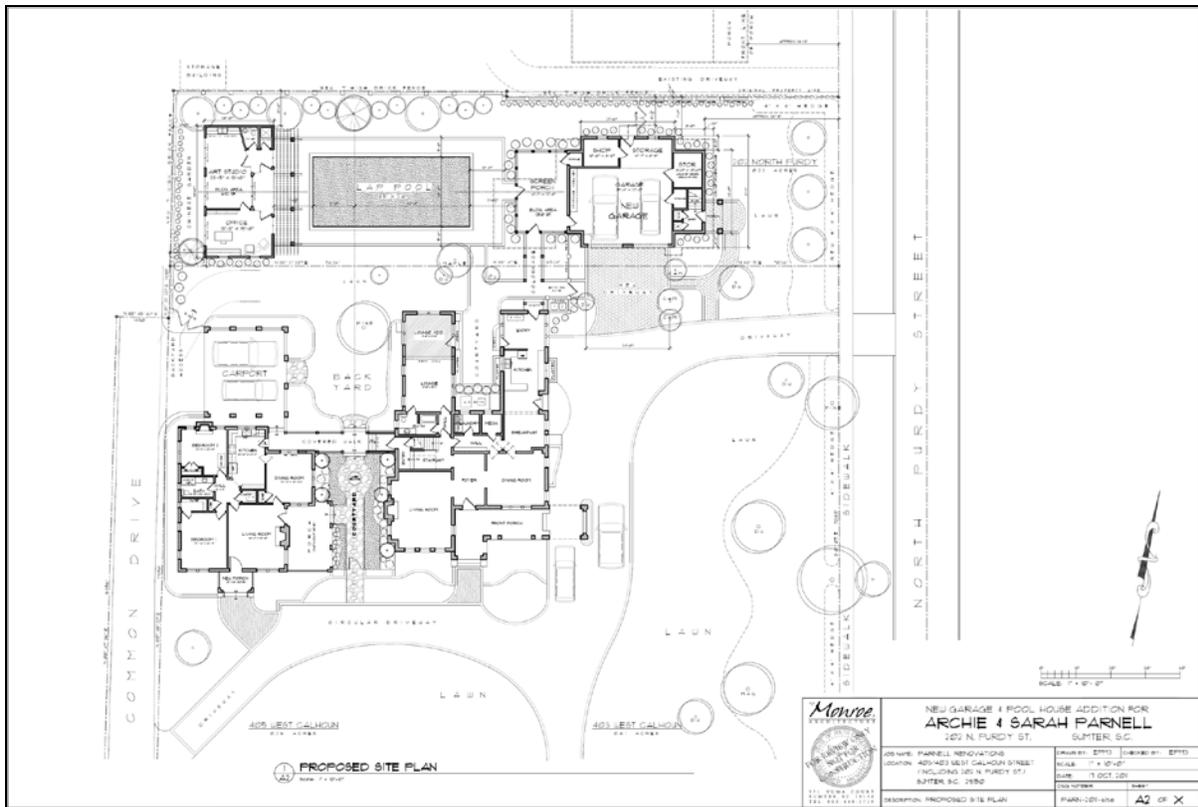


*Photographs:* Interior and exterior views of the existing courtyard area at 405 W. Calhoun St. This area will not be visible from the street.



*Photographs:* Views of 202 N. Purdy St.







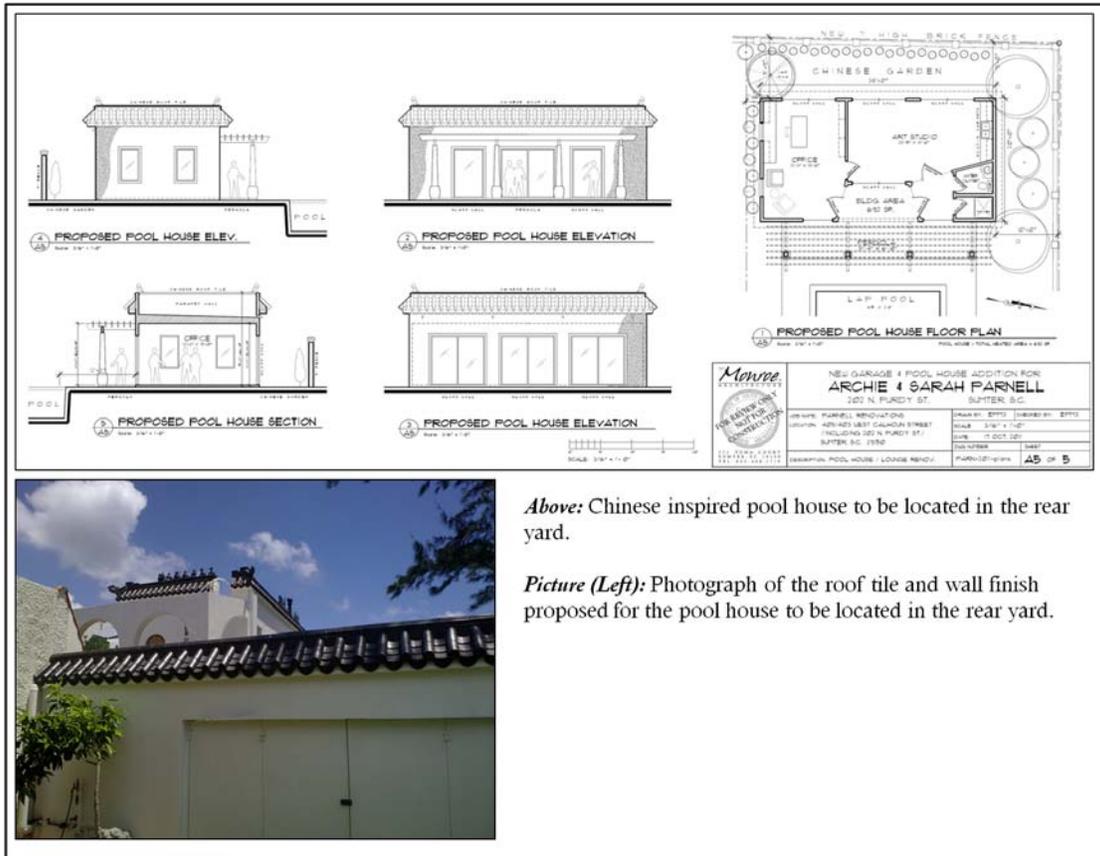
*Above:* Proposed front, exterior side, and rear elevations of the attached garage; as well as the attachment point and new entry door to be on the main dwelling.

*Below:* Existing photographs of the front and exterior side of the parcel as well as the approximate location of the attachment point for the proposed Colonnade and new doorway.



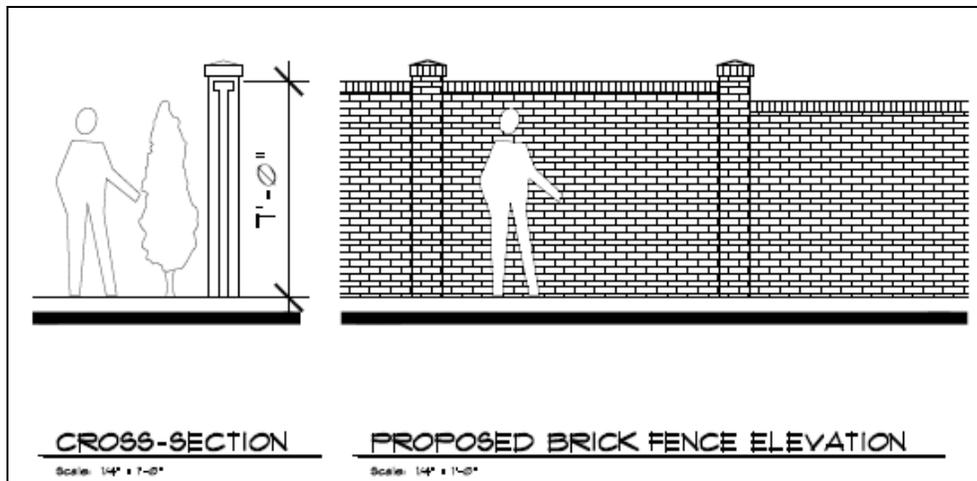
*Interior renovations to the dwelling will result in changes to the exterior of the structure to include enlarging existing window openings, and the expansion of an existing doorway on the interior of the courtyard.*





Above: Chinese inspired pool house to be located in the rear yard.

Picture (Left): Photograph of the roof tile and wall finish proposed for the pool house to be located in the rear yard.



The *Design Review Guidelines Manual* states:

**#43) THE ADDITION OF HISTORIC FENCE DESIGN AND MATERIALS IS APPROPRIATE**

**Normally Required**

- a. Fences may be erected along all four property lines of a residence. The most appropriate fencing material at the sidewalk or property line on primary facades is wood in historic picket designs. Other allowable fence materials are open weave brick designs or cast iron.
- b. Wooden Plan fences, solid wall brick fences, and chain link fences and other metal designs should

*not be installed at the sidewalk or property line on primary facades.*

**#63) MAINTAIN AND PRESERVE ORIGINAL WINDOW OPENINGS**

***Normally Required***

- a. *Original window openings should not be enclosed, reduced, expanded, or concealed.*
- b. *New window openings should not be added to the primary façade or readily visible secondary facades.*

*Original window openings should also not be concealed beneath modern materials or expanded for large picture windows or entrance openings. Window alterations on rear facades is discouraged but may be allowed as long as these alterations are not readily visible.*

*New window openings on primary facades should not be added. Windows may be added on rear facades or areas which are not readily visible.*

**#67) ORIGINAL ROOF FORMS SHOULD BE PRESERVED**

***Normally Required***

- a. *Roof forms and pitch shall not be altered on primary or readily visible secondary facades.*

**#68) ORIGINAL ROOF MATERIALS SHOULD BE PRESERVED**

***Normally Required***

- a. *Original roof materials such as metal standing seam, slate, and tile should be maintained and preserved.*

**#73) EXTERIOR PAINT COLORS SHOULD HIGHLIGHT ARCHITECTURAL DETAILS**

***Recommended***

- b. *One to two accent colors in addition to the background color are best for most residences.*

**#77) LOCATE RECREATIONAL STRUCTURES AND FACILITIES IN REAR YARDS**

***Normally Required***

- a. *Swimming pools, tennis courts, and other recreational facilities should be located in rear or side yards.*

***Recommended***

- b. *Screening through fences or landscaping is recommended to mask recreational facilities from public view.*

**#80) NEW CONSTRUCTION SHOULD BE OF ITS PERIOD**

***Normally Required***

- a. *New construction in the residential area should be of its period. Historic reproductions should be avoided.*

**#82) NEW CONSTRUCTION SHOULD BE COMPATIBLE IN HEIGHT WITH ADJACENT BUILDINGS**

***Normally Required***

- a. *New construction should be compatible in height with adjacent structures. New construction should vary no more than 10% with the average building height along its block.*

**#83) FOUNDATION HEIGHT FOR NEW CONSTRUCTION SHOULD BE COMPATIBLE WITH ADJACENT STRUCTURES**

***Normally Required***

- a. *New construction in residential areas must have foundation heights of at least one foot above grade on the primary façade. No building shall be constructed at grade in the historic areas.*
- b. *Brick construction must have the foundations delineated through some type of belt course such as a soldier or sailor course.*

**#84) FLOOR TO CEILING HEIGHTS SHOULD BE COMPATIBLE WITH HISTORIC STRUCTURES**

***Normally Required***

- a. *New construction should be compatible with adjacent structures in floor to ceiling heights. Appropriate heights for new construction are eight to ten feet.*

**#85) PRIMARY ENTRANCES MUST BE ORIENTED TOWARDS THE STREET**

***Normally Required***

- a. *New buildings constructed in the residential areas of Sumter should have their main entrances located on the primary or street facades.*
- b. *New buildings on corner lots may have entrances located on both street facades.*

**#86) NEW CONSTRUCTION SHOULD HAVE SOME TYPE OF PORCH CONFIGURATION ON THE PRIMARY FAÇADE**

***Normally Required***

- a. *New construction in residential areas should be built with porches on primary or street facades. The design, placement, and height of these porches should be in accordance with adjacent buildings along the block.*

- b. *Two-story porches are less desirable than one-story porches. Small decorative balconies should also be avoided on primary facades.*
- c. *Porches should have a depth of at least six feet and have simple columns and balusters.*

**#87) NEW CONSTRUCTION MUST MAINTAIN THE RHYTHM OF DOOR AND WINDOW OPENINGS ON PRIMARY FACADES**

**#88) NEW CONSTRUCTION SHOULD MAINTAIN THE RHYTHM AND SPATIAL DISTANCES BETWEEN BUILDINGS**

***Normally Required***

- a. *Side yard setbacks for new construction should maintain the rhythm and spatial arrangement found along the street.*

**#89) SETBACKS FOR NEW CONSTRUCTION SHOULD BE CONSISTENT WITH ADJACENT STRUCTURES**

***Normally Required***

- a. *New construction should conform with the minimum zoning requirements for setbacks on a lot and be compatible with the setbacks of adjacent structures.*

**#90) ROOF FORMS AND ORIENTATION SHOULD BE CONSISTENT WITH ADJACENT BUILDINGS**

***Normally Required***

- a. *Gable and hipped roof variations are appropriate roof forms for new construction. Flat or mansard roof forms should not be added in residential areas.*
- b. *Roof slope ratio should be a minimum of 6:12 and a maximum of 12:12. Roof eaves should be a minimum of 8".*
- c. *Roofs should be oriented with the ridge line parallel to the street. Gable front designs in the historic district are not appropriate.*

**#91) MATERIALS FOR NEW CONSTRUCTION SHOULD BE COMPATIBLE WITH HISTORIC MATERIALS.**

***Recommended***

- c. *Buildings of brick construction should be compatible with historic brick buildings in width of mortar joints, size and scale of the bricks, color, and texture.*
- d. *Porch details such as columns and railings should be of wood or brick.*
- e. *Foundations may be of brick or concrete.*
- f. *Acceptable roof materials are asphalt shingles and metal standing seam. Wood shingle roofs should not be added.*

**#92) ADDITIONS TO BUILDINGS SHALL NOT BE BUILT ON PRIMARY FAÇADE**

***Normally Required***

- a. *Additions to buildings shall not be built on primary façades*
- b. *Rear facades and secondary facades not readily visible from the street are appropriate locations for contemporary additions.*
- c. *Additions should be contemporary but compatible with a building. Exact replication of historic structures for additions should be avoided.*
- d. *Additions should not overwhelm or dominate the original structure. The square footage of additions should be limited to no more than 50% of the square footage of the original building.*

### **APPENDIX C: SECRETARY OF THE INTERIOR STANDARDS FOR REHABILITATION**

***9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.***

***10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.***

Overall the request as submitted meets the above outlined guidelines. All proposed modifications to the original structure are on the rear or not readily visible facades. Although the garage addition is on a readily visible secondary façade, the use of landscaping helps to mask the massing of the structure at the street level, and the exterior side of the structure has been designed to give the appearance of a primary entrance to the structure.

### **III. STAFF RECOMMENDATION**

Staff recommends approval of this request. The proposed project generally meets the requirements set forth in the design review guidelines and the colors and materials proposed are compatible with the existing dwelling.

### **IV. DRAFT MOTION**

I move that the Sumter Historic Preservation Design Review Committee approve HP-11-25, in accordance with the materials, photographs, and construction details submitted and referenced in the Staff Report.

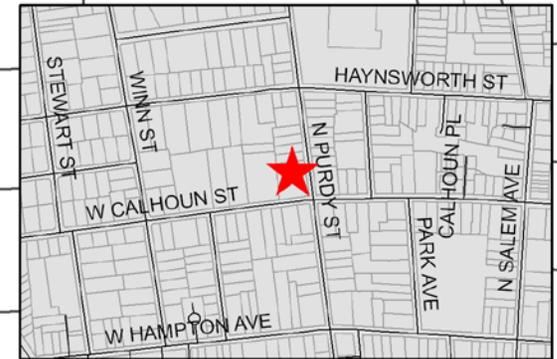
I move that the Sumter Historic Preservation Design Review Committee deny HP-11-25.

I move that the Sumter Historic Preservation Design Review Committee enter an alternative motion.

### **V. HISTORIC PRESERVATION – OCTOBER 27, 2011**

The Sumter Historic Preservation Design Review Committee at its meeting on Thursday, October 27, 2011, voted to approve this request in accordance with the materials, photographs, and construction details submitted and referenced in the Staff Report.

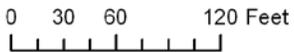
# Location Map



**Legend**

- HP-11-25
- Parcels

DISCLAIMER:  
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 Geographic Information Systems (GIS)  
 October 7, 2011

HP-11-25  
 202 N. Purdy St. & 405 W. Calhoun (403), Sumter, SC  
 Tax Map #228-06-01-034 & 228-06-01-036