

Historic Preservation Design Review

January 22, 2014

HP-14-24, 117-119 N. Main St. – Lounge and Theater (City)

I. THE REQUEST

Applicant: John Jackson

Status of the Applicant: Architect, representing the property owner

Request: Historic Preservation Design Review approval to alter the front and side façade of the building at the corner of Main St. and Law Range in order to open a lounge and theater.

Location: 117-119 N. Main St.

Present Use/Zoning: Vacant/CBD

Tax Map Reference: 249-09-01-025 & 249-09-01-014

Adjacent Property Land Use and Zoning: North – Law Range/Sumter County Courthouse/CBD
South – Office & Retail/CBD
East – Parking Area/CBD
West – N. Main St./CBD

II. BACKGROUND

The applicant is requesting design review approval to redesign the front and side façades of the building on the corner of N. Main and Law Range, adjacent to the Sumter County Courthouse. The proposed use is a combination bar and independent movie theater. The bar was recently approved for a special exception for a drinking place (BOA-14-25) on January 14, 2015.



Historic Context

119 (121) N. Main St. is the former Naomi & Warner Building, which according to the 1985 Historic Resources Survey was constructed in 1936 in the 20th Century Revival style. It was originally the Manhattan Restaurant, operated by a Greek family, the Chokas. This building contributes to the significance of the historic district. 117 N. Main St. first appears on the Sanborn maps in 1906 labeled as a “pressing” use and in 1915 as “printing”. The building that first occupied this site was built by General Moise in 1866. The building was torn down in 1955 (the rear remains) and in 1956 was rebuilt and opened as James, Inc. At 58 years old, it is now of an age where it is considered a contributing structure to the significance of the historic district as well. Both of these buildings were formerly used by Naomi & Warner.



Above: Façade of Buildings at 119 (left) & 117 (right) N. Main St.



Left: Adjacent building to the south is an attorney's office.

Scope of Work: Revisions to original submittals

The architect's original drawings for this project were submitted in December 2014 and were discussed at the December 18, 2014 Historic Preservation meeting. Several issues of concern were raised by board members and adjacent property owners at that meeting, which are outlined below.

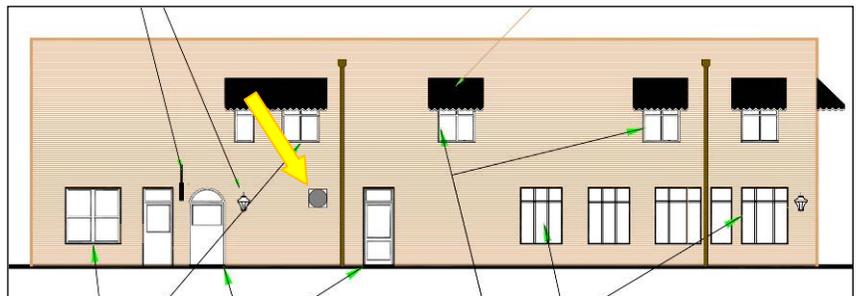
The Historic Preservation board:

- Considers this a landmark building that forms an important entrance to downtown, and has great expectations which were not met by the proposal. The side of the building is important because of its proximity to, and view from, the courthouse as well as the history of adjacent buildings on Law Range. Two adjacent property owners spoke about this same issue and had similar concerns.
- Feels the existing paint colors are not particularly exciting and perhaps a new color scheme should be envisioned.

The architect has responded to these concerns with the new proposal, by selecting a new color scheme, bricking in the guttering on the side of the building and using several different neutral tones of paint to break up the space horizontally along the Law Range side of the project.

- Asked where the proposed restaurant air hood ventilation would be located.

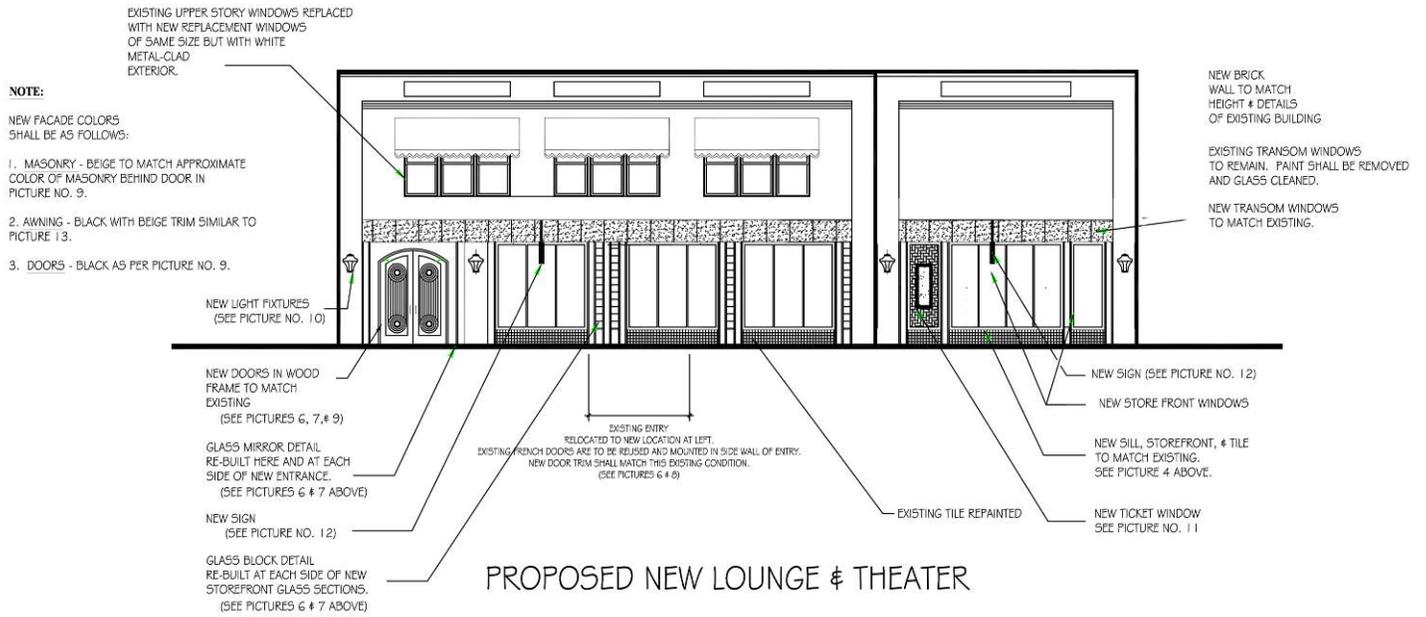
The ventilation will be located as shown on the diagram *Right* (see yellow arrow), on the Law Range side of the building.



The architect will address the following concerns at the meeting on January 22nd, 2015:

- Will they be tearing down the building at 117 N. Main St. in order to construct a two story building with a 30' roof?
- One board member expressed concern about turning a historically 3-bay building into a 4-bay building.
- There were concerns about the awnings being the correct size, and about them being too high and underneath the second story window sills.

The applicant has submitted revised drawings, prepared by Jackson & Sims Architects, and dated January 9th 2015, detailing the proposed changes to the exterior. These drawings are shown below:



1. Original Conditions (Circa 1940)



2. Existing Facade 2014



3. Existing Sill / Sidewalk Detail at 117 N. Main



4. Existing Sill / Sidewalk Detail at 119 N. Main



5. Existing Transom Glass (Painted)

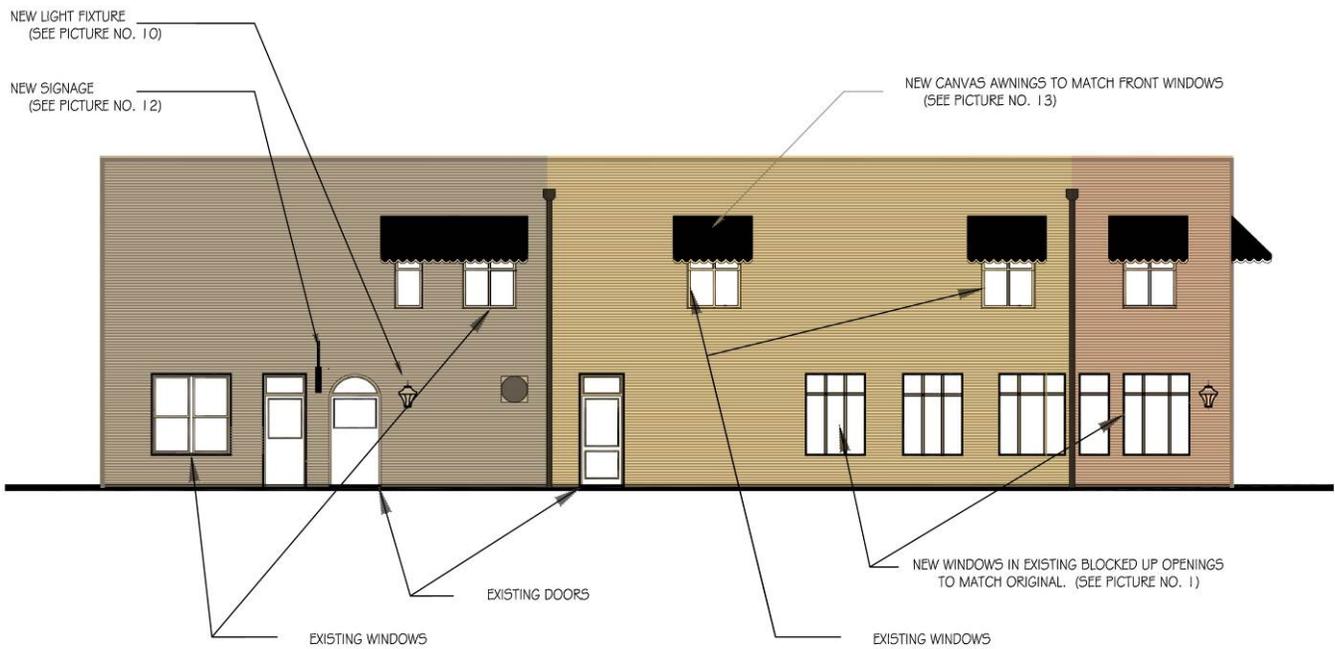


6. Existing Entrance with Glass Block Modifications



7. Close-Up of Glass Block Detail



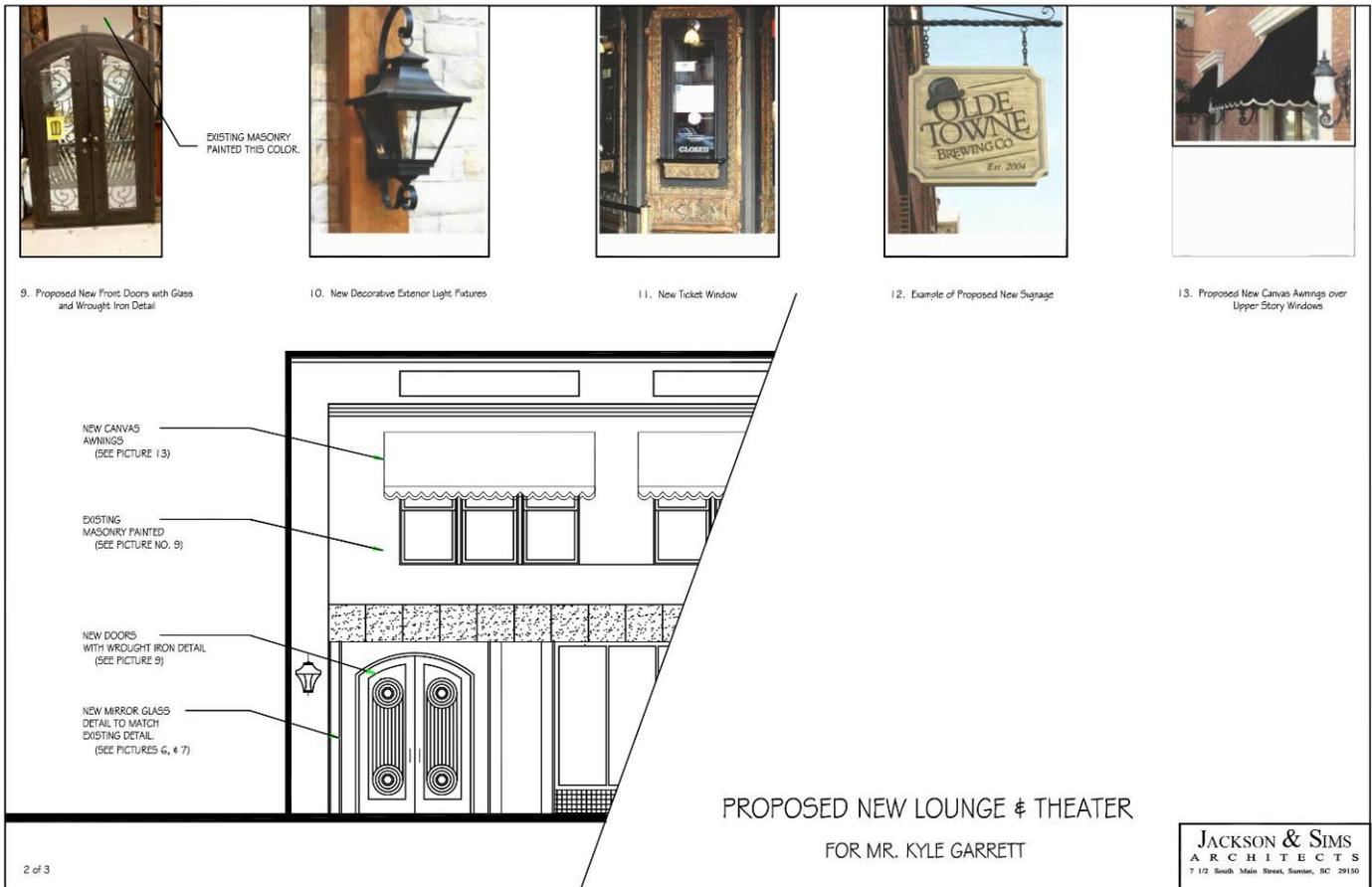


Side Elevation



Above: Proposed changes to side façade, including bricking in the gutters, to divide the long wall horizontally into three separate spaces to be painted as shown.





Scope of Work: Front façade of 119 N. Main St.

- Existing windows replaced with new replacement windows of same size but with white metal clad exterior.
- Existing entry relocated to left hand side of front façade, reinstall existing materials.
- New door in existing frame to match existing sidelights (see pictures 6,7&8 below.)
- Glass block detail rebuilt at each side of new entrance and at each side of new storefront glass sections. (See pictures 6&7 below.)
- Existing tile painted.
- New canvas awnings (see picture 13, above.)
- Existing masonry painted (see picture 9, above.)
- New doors with wrought iron detail (see picture 9, above.)
- New mirror glass detail to match existing detail (see pictures 6 & 7, below.)
- Other details as shown above: lighting, ticket window, proposed signage etc.

Scope of Work: Front façade of 117 N. Main St.

- New windows to match existing. Glass will be Spandrel.

- New brick wall to match height and details of existing building to left.
- New canvas awning with existing transom windows behind. Paint shall be removed and glass cleaned.
- New store front windows.
- New sill, storefront & tile to match existing. (See picture 4 below.)
- New canvas awning shall be a solid color (black) with linen colored trim. See samples **right**.
- Proposed front façade color is Soft Apricot (SW6352).



1. Original Conditions (Circa 1940)



2. Existing Facade 2014



3. Existing Sill / Sidewalk Detail at 117 N. Main



4. Existing Sill / Sidewalk Detail at 119 N. Main



5. Existing Transom Glass (Painted)



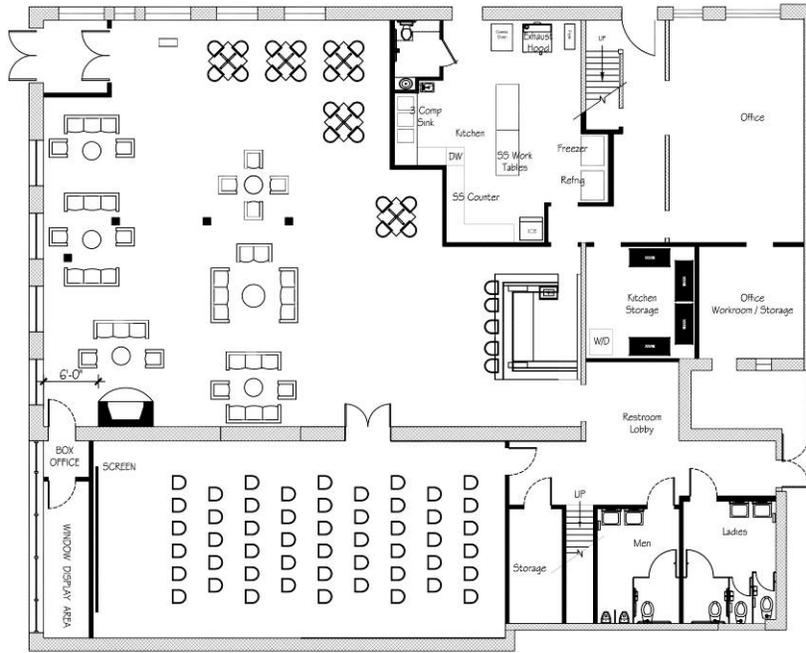
6. Existing Entrance with Glass Block Modifications



7. Close-Up of Glass Block Detail



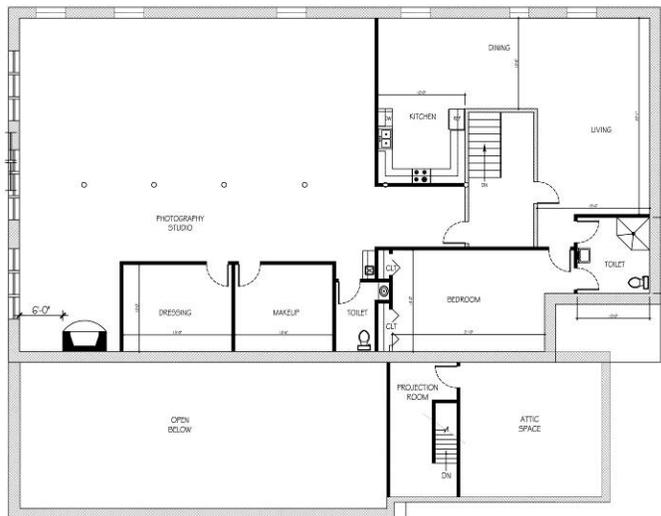
8. Existing Sidelight at Existing Entrance



FIRST FLOOR PLAN

PROPOSED NEW LOUNGE & THEATER
FOR MR. KYLE GARRETT

JACKSON & SIMS
ARCHITECTS
7 1/2 South Main Street, Sumter, SC 29150



SECOND FLOOR PLAN

PROPOSED NEW LOUNGE & THEATER
FOR MR. KYLE GARRETT

JACKSON & SIMS
ARCHITECTS
7 1/2 South Main Street, Sumter, SC 29150

Scope of Work: Rear façade facing parking area



Left: The rear façade is going to undergo significant changes as part of this proposal. The second floor addition to the movie theater portion of the project will eliminate the windows on the wall of the adjacent building (see yellow arrow). The entrance layout to the rear of the building may be altered as part of the project, but this will be an emergency exit only, not a public access.

Design review is required prior to undertaking the proposed additions and changes.

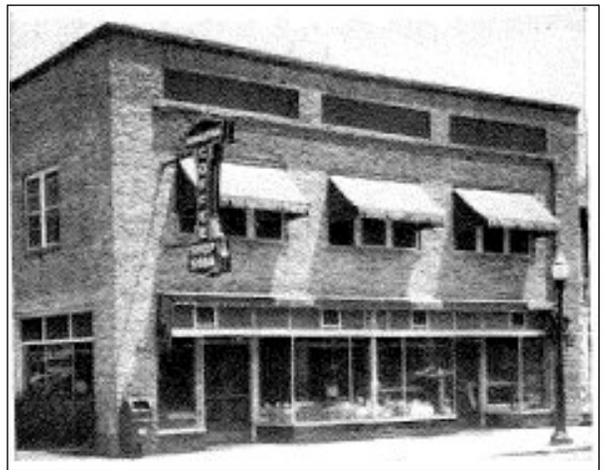
The *Design Review Guidelines Manual* states:

#6) ORIGINAL STOREFRONT CONFIGURATION SHOULD NOT BE ALTERED

Normally Required

d. Buildings that are renovated and have post-1940 storefronts should receive storefronts in keeping with the original architectural character of the building.

- The storefront at 117 N. Main St. is post 1940, and also has no entrance of its own. The proposed design integrates this building with the adjacent building in a uniform fashion. Since the two buildings have been used by the same business for many years, and will continue to do so, this is a design decision that makes sense.
- The repositioning of the entrance to the building at 119 N. Main St. is necessary for proper interior layout and to fit the program for the proposed use. Furthermore, the architect has gone to great efforts to retain many of the design features original to the 1930's era building, including glass block and tile. This asymmetrical entrance layout will enhance the modern feel / Art Deco feel of the building. The original front entrance was in this location, as seen in the photo to the *right*.



#12) AWNINGS OR CANOPIES ARE APPROPRIATE FOR STOREFRONTS

Normally Required

a. Original canopies or awnings of wood and metal construction should be retained and preserved.

The retention of existing awnings and introduction of new awnings into the downtown area is encouraged.

- The existing awning is in very poor condition and replacement is necessary. New awnings are proposed for the building.

#15) HISTORIC COLORS AND TEXTURES SHOULD BE MAINTAINED

Normally Required

a. Masonry walls that have not been previously painted should not be painted unless there are significant contrasts in the brick and mortar.

Recommended

c. Colors should be selected to compliment the dominant existing colors of dark red and similar hues. The downtown area of Sumter contains a variety of colors in elements such as upper facades, storefronts, signs, and awnings. The introduction and use of colors shall not be restricted but it is encouraged that colors complement each building and its neighbors. The overall dominant colors in the downtown area are variations of red, brown, and grey reflected by the widespread use of brick, stone, and concrete building materials. Paint colors on storefronts, trim, and upper facade openings should relate to the overall color of the building as should added elements such as signs and awnings. In many cases, this will be colors which complement or harmonize with the overall brick or stone colors found on upper façades. The use of contrasting colors to highlight architectural details on storefronts and upper facades is encouraged. The use of intense or vivid hues should not be introduced into the downtown area which would create disharmony with adjacent buildings. Original masonry exteriors should not be painted.

- All colors and textures to be used are matched with existing and are therefore compatible.

III. STAFF RECOMMENDATION

Staff has reviewed this request in accordance with the design guidelines. Staff recommends approval of this request.

IV. DRAFT MOTIONS

I move that the Sumter Historic Preservation Design Review Committee approve HP-14-24, in accordance with the materials, photographs, and drawings submitted and referenced in the Staff Report based on compliance with the Design Review Guidelines and Section 1.m.2 of the City of Sumter – Zoning & Development Standards Ordinance.

I move that the Sumter Historic Preservation Design Review Committee deny HP-14-24.

I move that the Sumter Historic Preservation Design Review Committee enter an alternative motion.

V. HISTORIC PRESERVATION DESIGN REVIEW – DECEMBER 18, 2014

The Sumter Historic Preservation Design Review Committee at its meeting on Thursday, December 18, 2014 deferred action on this request until the January 22, 2015 meeting.

VI. HISTORIC PRESERVATION DESIGN REVIEW – JANUARY 22, 2015

The Sumter Historic Preservation Design Review Committee at its meeting on Thursday, January 22, 2015 approved this request in accordance with the materials, photographs, and drawings submitted and referenced in the Staff Report based on compliance with the *Design Review Guidelines* criteria #s 6, 12, and 15 and Section 1.m.2 of the *City of Sumter – Zoning & Development Standards Ordinance*.

Location Map

6 N MAIN ST

134 N MAIN ST

132 N MAIN ST

128 N MAIN ST

124 N MAIN ST

120 N MAIN ST

112 N MAIN ST

106 N MAIN ST

100 N MAIN ST

N MAIN ST

LAW RANGE

119 N MAIN ST

117 N MAIN ST

111 N MAIN ST

109 N MAIN ST

107 1/2 N MAIN ST

105 N MAIN ST

2 LAW RANGE

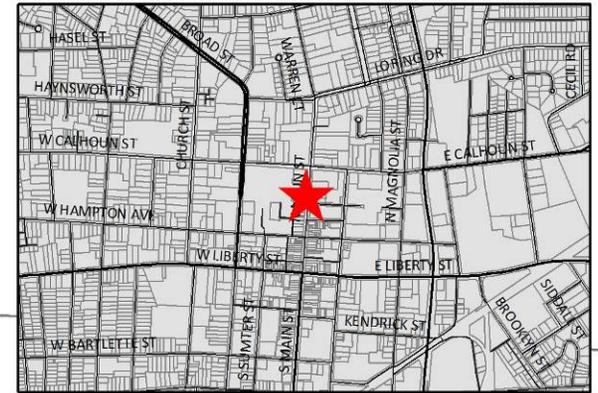
3 LAW RANGE

5 LAW RANGE

12 LAW RANGE

8 LAW RANGE

10 LAW RANGE



Legend

HP-14-24

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0 12.5 25 50 Feet



Map Prepared by: Sumter Planning Department
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Geographic Information Systems (GIS)
November 24, 2014

HP-14-24
117 & 119 N Main St, Sumter, SC
Tax Map #249-09-01-025/249-09-01-014