

# Historic Preservation Design Review

January 22, 2015

## HP-14-19, 14-20 N. Main St. (City)

### I. THE REQUEST

**Applicant:** Drakeford Architects

**Status of the Applicant:** Architect for the Property Owner

**Request:** Approval for Hotel Design

**Location:** 14-20 N. Main St.

**Present Use/Zoning:** Open Space / CBD

**Tax Map Reference:** 228-12-04-043 through -046

**Adjacent Property Land Use and Zoning:**  
North – Commercial /CBD  
South – Commercial /CBD  
East – Main St & Commercial /CBD  
West – Commercial Parking Lot/CBD

### II. BACKGROUND



The applicant is seeking approval to construct a hotel in the open space where two buildings located at 14 – 20 N. Main St. were demolished last year, as shown on the image (left). These properties received a Certificate of Appropriateness for a Demolition Permit to remove the two commercial structures in December 2012.

The properties are interior parcels on the West side of N. Main St. in the block between Liberty St. and Hampton St. The combined area of the four parcels is +/- 0.6 acres.



**Above:** The former retail building which was demolished in 2013.

**Below:** The open space as it looks currently.



**Above left and right:** the buildings to the right and left of the proposed hotel.



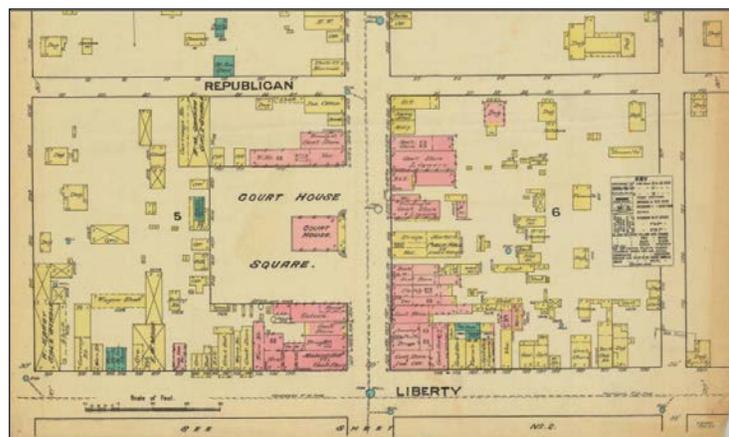
**Above:** Rear view of property, with the Opera House in the distance.

### Historic Status of the Site

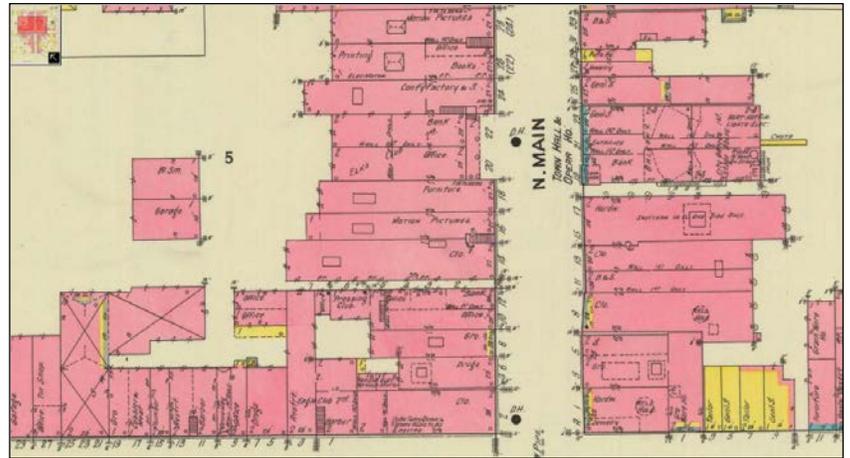


**Above:** The original Sumter County Courthouse, designed by Robert Mills, was located directly across from the Opera House.

**Right:** The 1884 Sanborn Map showing the courthouse.



**Right:** In 1912 the space in front of the Opera House on the opposite side of Main Street was recessed, creating an open space across the street. The original courthouse had been removed by this time.



Preliminary proposals for the hotel design had included a recessed public space in front of the hotel. This was later altered in favor of a private gated courtyard as seen in the following designs. Aligning the front of the building with the adjacent buildings on Main Street is preferred, because it effectively maintains the street front urban fabric.

### III. PROPOSAL

The previously submitted drawings raised several issues concerning both building design and handling of the open spaces on either side of the proposed hotel. Revised drawings submitted by Drakeford Architects and dated December 22, 2014:





Main Street Building Elevations



North Elevation (Green Space)  
Scale: 1/8" = 1'-0"



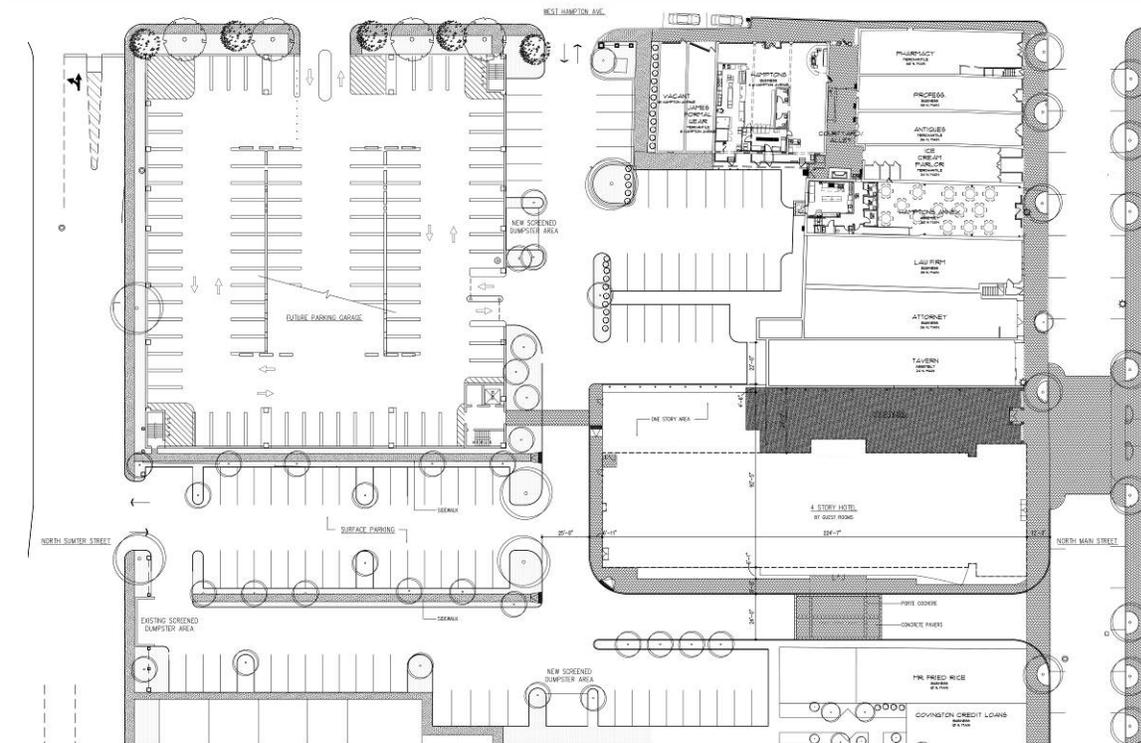
West Elevation - Rear (Parking Deck View)  
Scale: 1/8" = 1'-0"



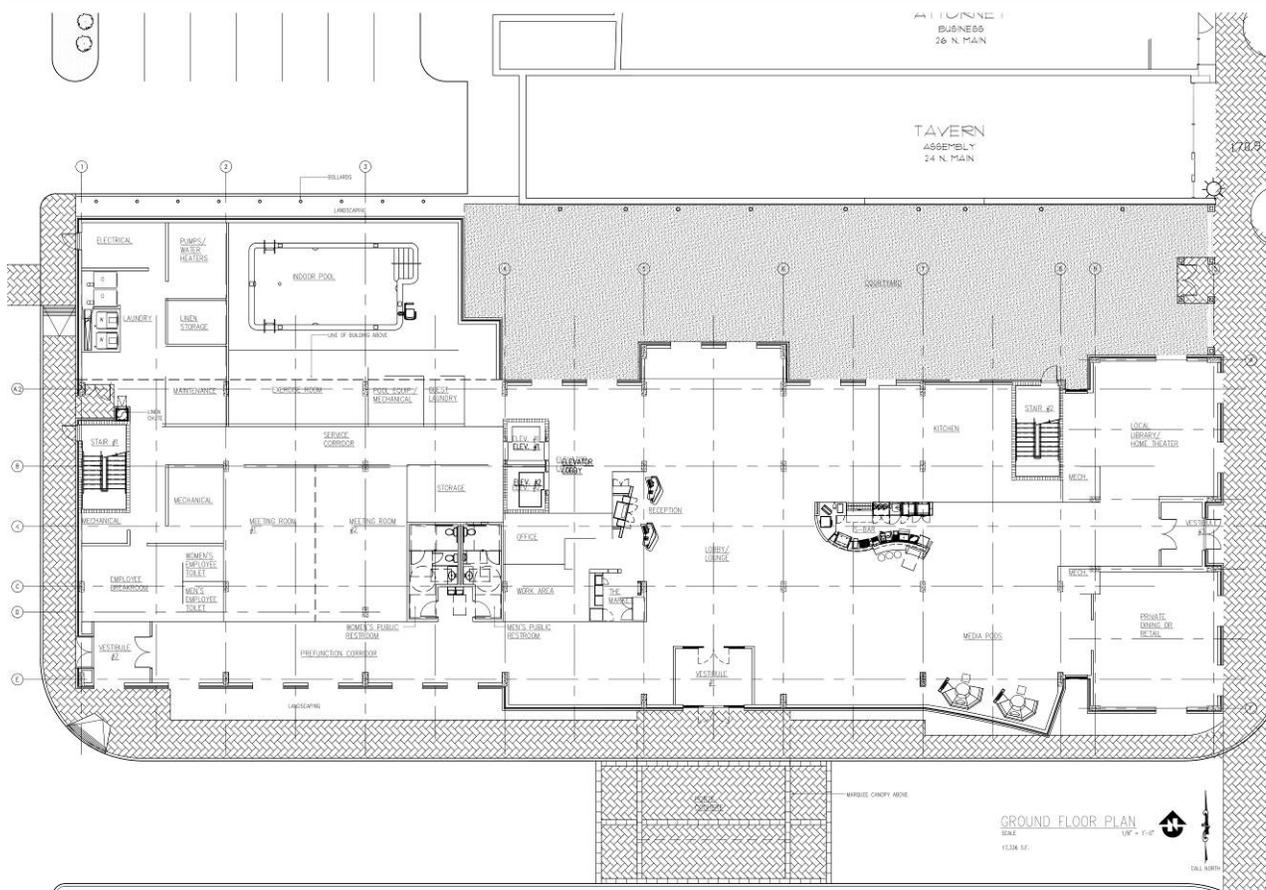
**Main Street (Front - East) Elevation**  
Scale: 1/8" = 1'-0"

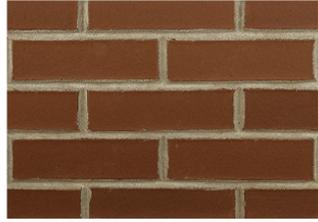


**South Elevation - Porte Cochere**  
Scale: 1/8" = 1'-0"



**SITE PLAN**  
Scale: 1/8" = 1'-0"



 <p>Bronze Marquee</p>	<p>Palomino Cast Stone</p>	 <p>Dark Red Smooth by Palmetto Brick</p>
 <p>Aged Bronze Finish</p>	 <p>Palomino SOUTHEASTERN CAST PRODUCTS 1-800-842-1701</p>	

<b>Marquee:</b>	<b>Aged Bronze</b>
<b>Brick Veneer:</b>	<b>Dark Red Smooth by Palmetto Brick</b>
<b>Cast Stone Finish:</b>	<b>Palomino by Southern Cast Products</b>
<b>Windows, doors and frames:</b>	<b>Metal curtain wall in a standard manufacturer white enamel finish</b>
<b>Lighting:</b>	<b>Black to match existing city lampposts</b>
<b>Glass – windows and doors:</b>	<b>Clear safety, type: insulated</b>

The *Design Review Guidelines Manual* states:

***#12) AWNINGS OR CANOPIES ARE APPROPRIATE FOR STOREFRONTS***

Normally Required

a. Original canopies or awnings of wood and metal construction should be retained and preserved.

The retention of existing awnings and introduction of new awnings into the downtown area is encouraged.

- Proposed design includes a repeated design element of a simplified awning/ledge.
- Use of awnings meets the guidelines.

***#15) HISTORIC COLORS AND TEXTURES SHOULD BE MAINTAINED***

Recommended

c. Colors should be selected to compliment the dominant existing colors of dark red and similar hues. The downtown area of Sumter contains a variety of colors in elements such as upper facades, storefronts, signs, and awnings. The introduction and use of colors shall not be restricted but it is encouraged that colors complement each building and its neighbors. The overall dominant colors in the downtown area are variations of red, brown, and grey reflected by the widespread use of brick, stone, and concrete building materials. Paint colors on storefronts, trim, and upper facade openings should relate to the overall color of the building as should added elements such as signs and awnings. In many cases, this will be colors which complement or harmonize with the overall brick or stone colors found on upper façades. The use of contrasting colors to highlight architectural details on storefronts and upper facades is encouraged. The use of intense or vivid hues should not be introduced into the downtown area which would create disharmony with adjacent buildings. Original masonry exteriors should not be painted.

- The colors chosen for this project are subdued and are in keeping with the character of the district.

***#28) NEW CONSTRUCTION SHOULD BE CONTEMPORARY IN DESIGN AND HISTORIC REPRODUCTIONS SHOULD NOT BE BUILT***

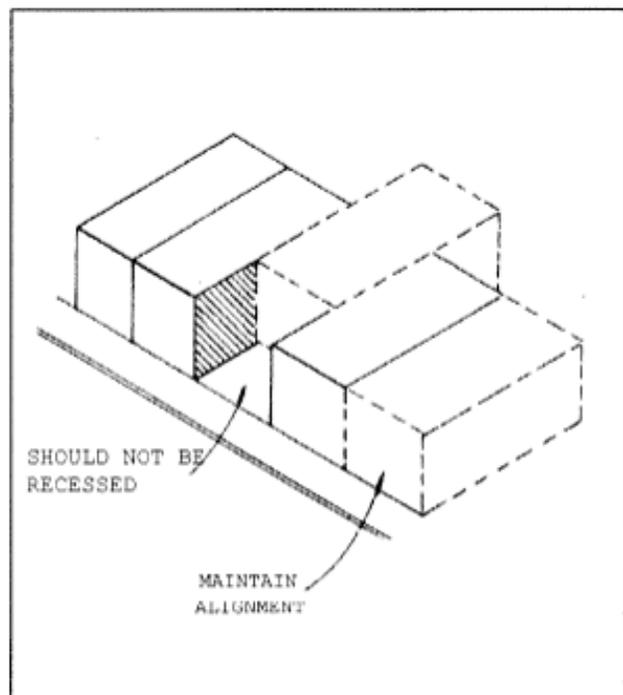
Normally Required

- a. **New construction in the commercial area should be of its period. Historic reproductions should be avoided. Compatibility of new buildings within historic commercial areas poses particular challenges for designers.** Historic commercial areas often have similar setbacks, similar storefront and upper facade alignment, and certain rhythms to the streetscape. These built-in parameters assist in defining new construction but they may also result in restricting building design to appear as reproductions of historic buildings as opposed to an appearance of present day construction. Successful new construction in historic commercial areas is clearly of its period but avoids direct imitation of historic designs such as reproducing window lintels or elaborate sheet metal cornices. Direct reproductions may cause observers to confuse the old with the new. No building should be constructed in downtown Sumter which imitates ante-bellum architectural styles. Such buildings would reflect a time period which precedes Sumter's growth and development.
- The proposed hotel plan is contemporary in design and meets this criteria.

### **#33) NEW CONSTRUCTION SHOULD MAINTAIN SETBACK**

#### **Normally Required**

- a. **New construction should maintain the existing alignment and lack of setback of existing historic buildings.**
- b. **Buildings that are constructed on the edges of the district or that do not share party walls with adjacent structures may have minimal setbacks for landscaped areas or pocket parks.**
- The proposed building is set to the street as directed in the guidelines.
  - The site design includes a gated courtyard on the north side, which addressed the open space between the hotel and the adjacent bar.
  - The open space on the south side of the hotel includes a porte cochere on the side entrance of the building.



*Facade alignment should be maintained.*



- The preferred design solution for Main Street urban fabric is to have continuous architecture that frames and defines the street. The developer has agreed to reduce the size of the entrance drive to a width less than 24 feet, with specific width and design to be determined during the site planning process. The distance will be reduced through fencing or other materials compatible with the design.

**IV. STAFF RECOMMENDATION**

Staff recommends approval of this proposal.

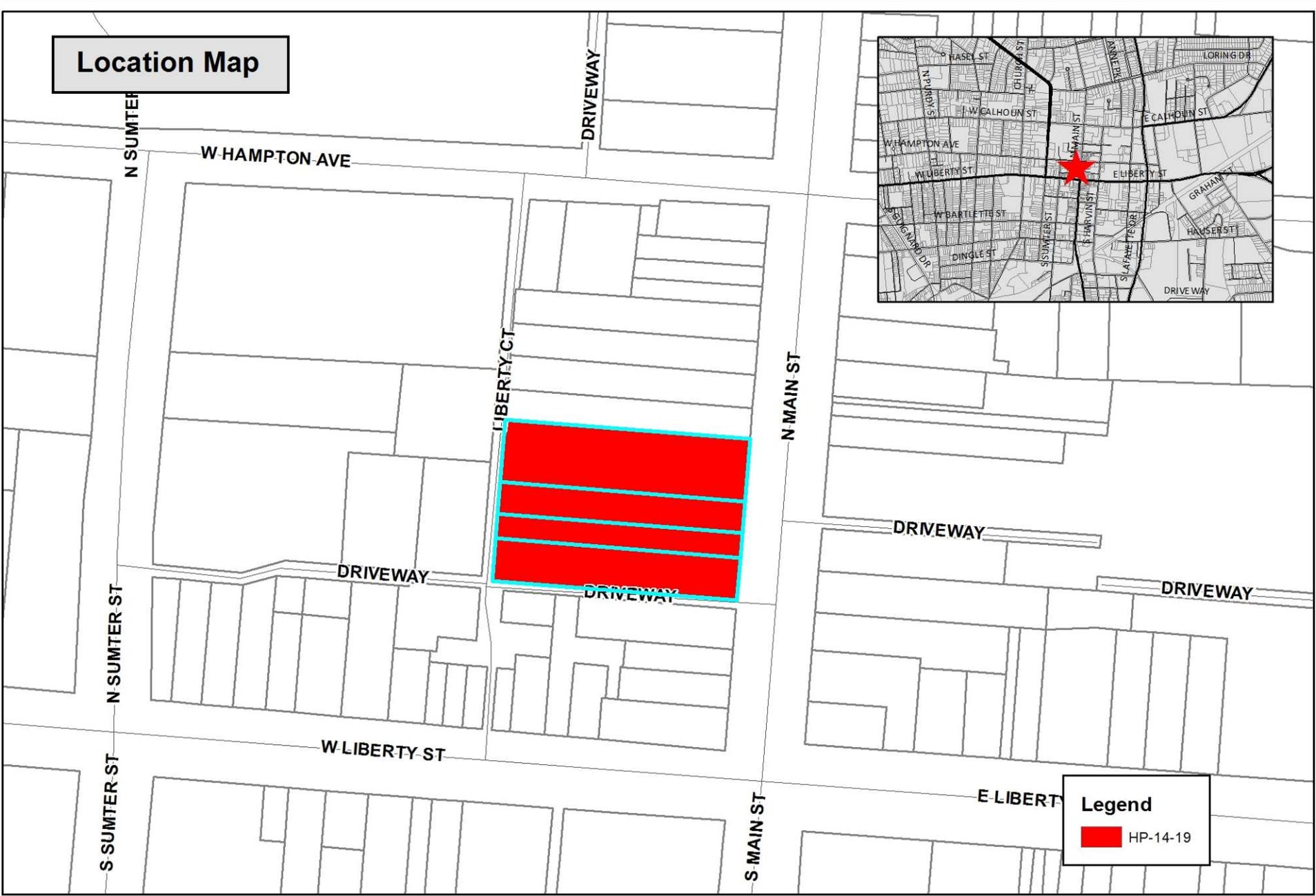
**V. DRAFT MOTIONS**

I move that the Sumter Historic Preservation Design Review Committee approve HP-14-19, in accordance with the materials, photographs, and construction details submitted by Drakeford Architects and dated December 22, 2014 and referenced in the Staff Report.

**VI. HISTORIC PRESERVATION – JANUARY 22, 2015**

The Sumter Historic Preservation Design Review Committee at its meeting on Thursday, January 22, 2015 approved this request for design review approval for the construction of a new hotel on property located at 14, 16, 18, 20 and 22 N. Main St subject to the materials, photographs, and construction details submitted by Drakeford Architects dated December 22, 2014 and based on compliance with *Design Review Guidelines* criteria #s 12, 15, 28 and 33.

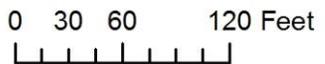
# Location Map



**Legend**

HP-14-19

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Map Prepared by: Sumter Planning Department  
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 Geographic Information Systems (GIS)  
 October 2, 2014

**HP-14-19**  
 14,16,18, 20 (22) N. Main Street, Sumter, SC  
 Tax Map #228-12-04-043, 044, 045 & 046