

Historic Preservation Design Review

December 18, 2014

HP-14-24, 117-119 N. Main St. – Lounge and Theater (City)

I. THE REQUEST

Applicant: John Jackson

Status of the Applicant: Architect, representing the property owner

Request: Historic Preservation Design Review approval to alter the front and side façade of the building at the corner of Main St. and Law Range in order to open a lounge and theater.

Location: 117-119 N. Main St.

Present Use/Zoning: Vacant/CBD

Tax Map Reference: 249-09-01-025 & 249-09-01-014

Adjacent Property Land Use and Zoning: North – Law Range/Sumter County Courthouse/CBD
South – Office & Retail/CBD
East – Parking Area/CBD
West – N. Main St./CBD

II. BACKGROUND

The applicant is requesting design review approval to redesign the front and side façades of the building on the corner of N. Main and Law Range, adjacent to the Sumter County Courthouse.



Historic Context

119 (121) N. Main St. is the former Naomi & Warner Building, which according to the 1985 Historic Resources Survey was constructed in 1936 in the 20th Century Revival style. It was originally the Manhattan Restaurant, operated by a Greek family, the Chokas. This building contributes to the significance of the historic district. 117 N. Main St. first appears on the Sanborn maps in 1906 labeled as a “pressing” use and in 1915 as “printing”. The building that first occupied this site was built by General Moise in 1866. The building was torn down in 1955 (the rear remains) and in 1956 was rebuilt and opened as James, Inc. At 58 years old, it is now of an age where it is considered a contributing structure to the significance of the historic district as well. Both of these buildings were formerly used by Naomi & Warner.



Above: Façade of Buildings at 119 (left) & 117 (right) N. Main St. (No proposed changes to rear at this time.)



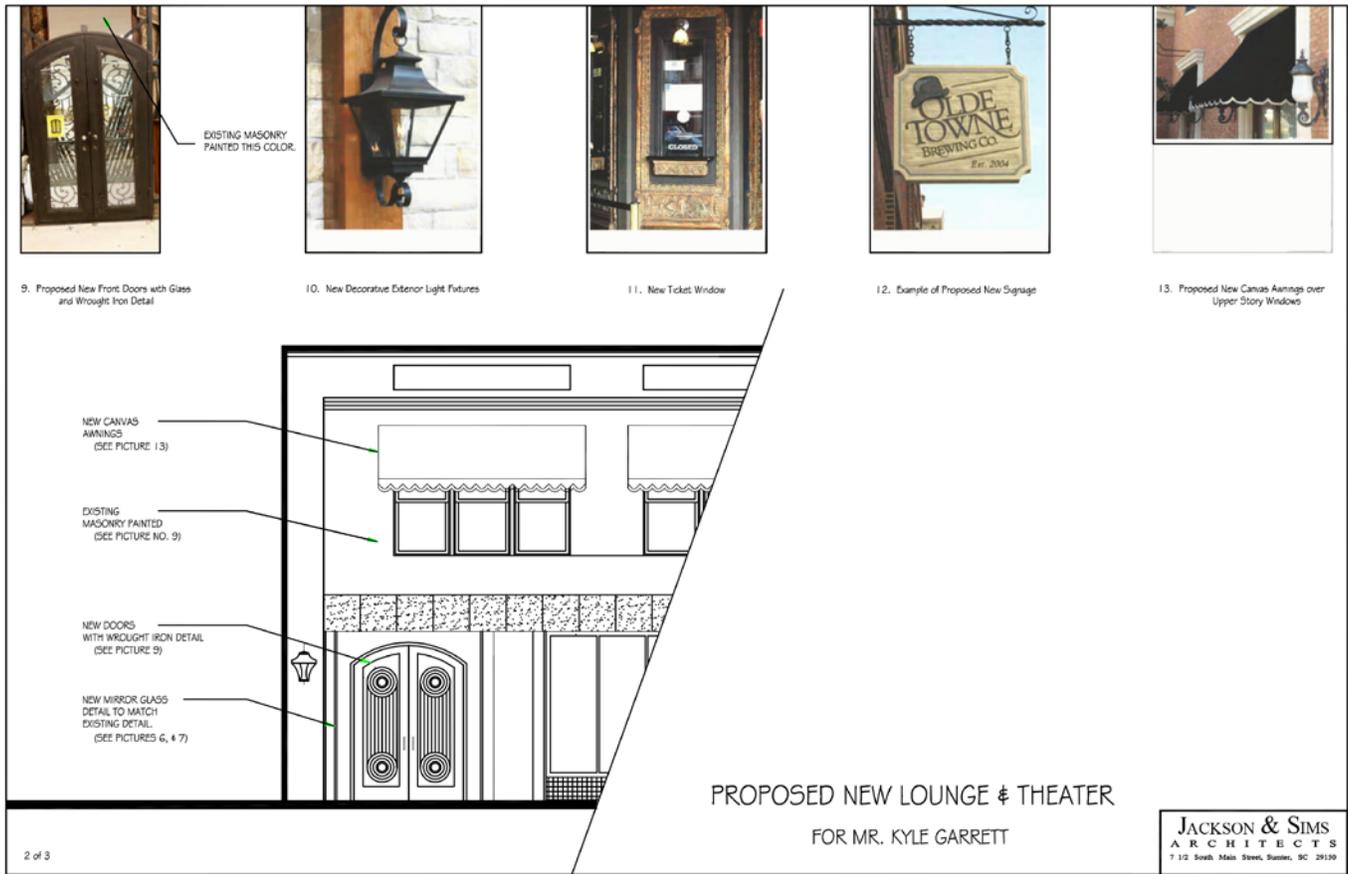
Left: Adjacent building to the south is an attorney’s office.



Above Left: Close-up of glass block detail
Above Right: Existing awning

The applicant has submitted drawings, prepared by Jackson & Sims Architects, detailing the proposed changes to the exterior. These drawings are shown below:





Scope of Work: Front façade of 119 N. Main St.

- Existing windows replaced with new replacement windows of same size but with white metal clad exterior.
- Existing entry relocated to left hand side of front façade, reinstall existing materials.
- New door in existing frame to match existing sidelights (see pictures 6,7&8 below.)
- Glass block detail rebuilt at each side of new entrance and at each side of new storefront glass sections. (See pictures 6&7 below.)
- Existing tile painted.
- New canvas awnings (see picture 13, above.)
- Existing masonry painted (see picture 9, above.)
- New doors with wrought iron detail (see picture 9, above.)
- New mirror glass detail to match existing detail (see pictures 6 & 7, below.)
- Other details as shown above: lighting, ticket window, proposed signage etc.

Scope of Work: Front façade of 117 N. Main St.

- New windows to match existing. Glass will be Spandrel.
- New brick wall to match height and details of existing building to left.

- New canvas awning with existing transom windows behind. Paint shall be removed and glass cleaned.
- New storefront windows.
- New sill, storefront & tile to match existing. (See picture 4 below.)
- All colors of new façade shall match existing façade. New canvas awning shall be a solid color (black) with linen colored trim. See samples **right**.
- Wood trim at entrance shall match existing color, SW6200. (See picture 6 and paint chips, below.)



1. Original Conditions (Circa 1940)



2. Existing Facade 2014



3. Existing Sill / Sidewalk Detail at 117 N. Main



4. Existing Sill / Sidewalk Detail at 119 N. Main



5. Existing Transom Glass (Painted)



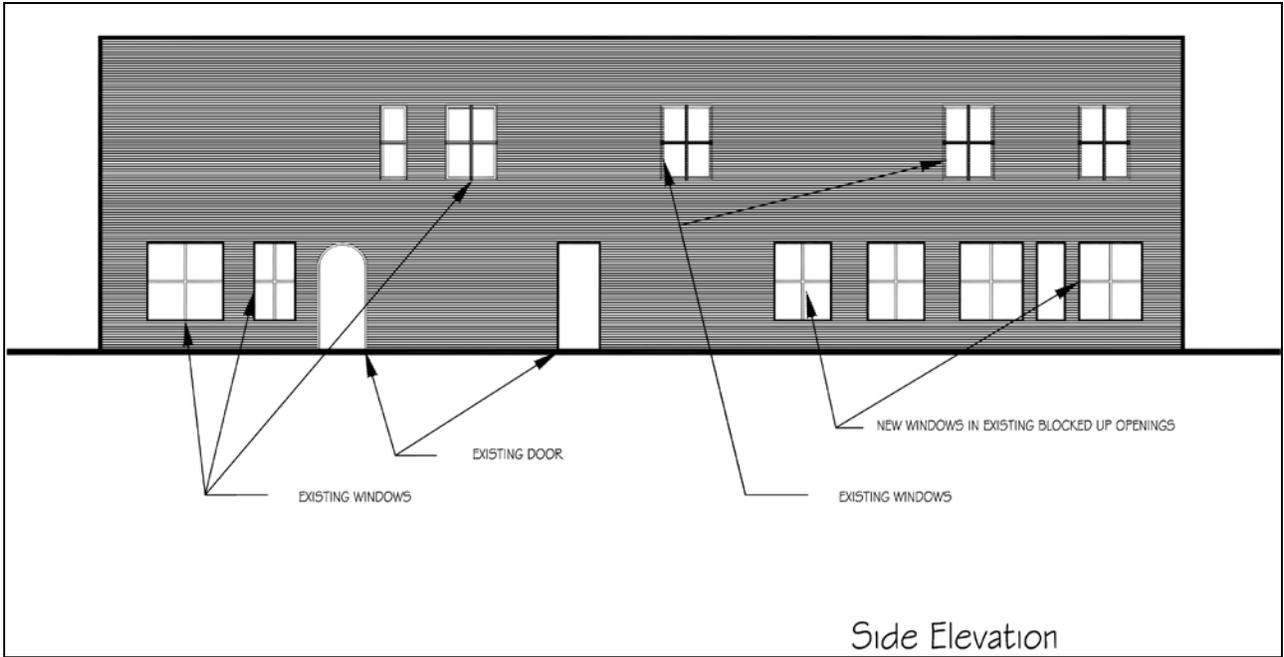
6. Existing Entrance with Glass Block Modifications



7. Close-Up of Glass Block Detail

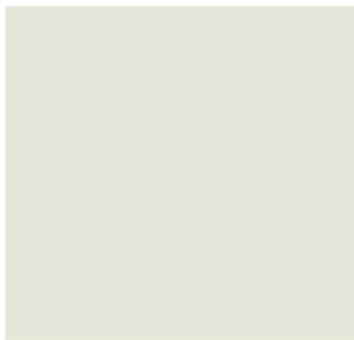


8. Existing Sidelight at Existing Entrance

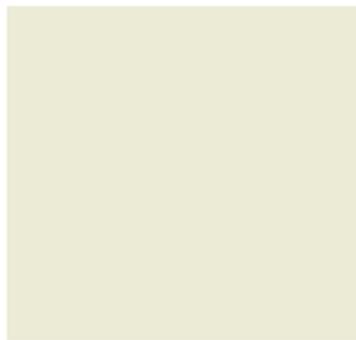


Scope of Work: Side façade of 119 N. Main St.

- New windows in existing blocked up openings.
- Paint to match existing (SW6434).



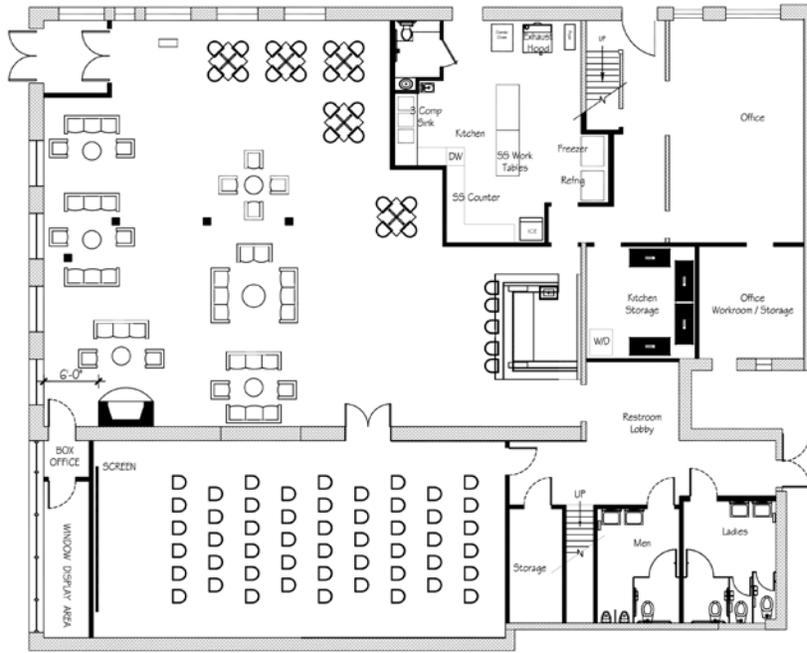
SW 6434



SW 6420



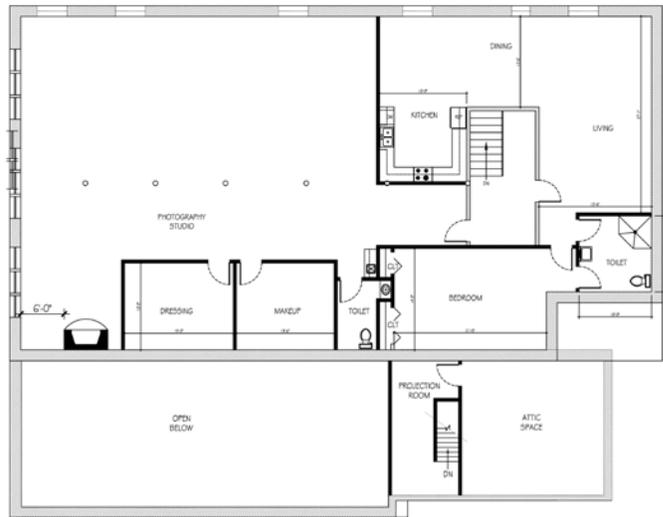
SW 6200



FIRST FLOOR PLAN

PROPOSED NEW LOUNGE & THEATER
FOR MR. KYLE GARRETT

JACKSON & SIMS
ARCHITECTS
7 1/2 South Main Street, Sumter, SC 29150



SECOND FLOOR PLAN

PROPOSED NEW LOUNGE & THEATER
FOR MR. KYLE GARRETT

JACKSON & SIMS
ARCHITECTS
7 1/2 South Main Street, Sumter, SC 29150

Design review is required prior to undertaking the proposed additions and changes.

The *Design Review Guidelines Manual* states:

#6) ORIGINAL STOREFRONT CONFIGURATION SHOULD NOT BE ALTERED

Normally Required

d. Buildings that are renovated and have post-1940 storefronts should receive storefronts in keeping with the original architectural character of the building.

- The storefront at 117 N. Main St. is post 1940, and also has no entrance of its own. The proposed design integrates this building with the adjacent building in a uniform fashion. Since the two buildings have been used by the same business for many years, and will continue to do so, this is a design decision that makes sense.
- The repositioning of the entrance to the building at 119 N. Main St. is necessary for proper interior layout and to fit the program for the proposed use. Furthermore, the architect has gone to great efforts to retain many of the design features original to the 1930's era building, including glass block and tile. This asymmetrical entrance layout will enhance the modern feel / Art Deco feel of the building.

#12) AWNINGS OR CANOPIES ARE APPROPRIATE FOR STOREFRONTS

Normally Required

a. Original canopies or awnings of wood and metal construction should be retained and preserved.

The retention of existing awnings and introduction of new awnings into the downtown area is encouraged.

- The existing awning is in very poor condition and replacement is necessary. New awnings are proposed for the building.

#15) HISTORIC COLORS AND TEXTURES SHOULD BE MAINTAINED

Normally Required

a. Masonry walls that have not been previously painted should not be painted unless there are significant contrasts in the brick and mortar.

Recommended

c. Colors should be selected to compliment the dominant existing colors of dark red and similar hues. The downtown area of Sumter contains a variety of colors in elements such as upper facades, storefronts, signs, and awnings. The introduction and use of colors shall not be restricted but it is encouraged that colors complement each building and its neighbors. The overall dominant colors in the downtown area are variations of red, brown, and grey reflected by the widespread use of brick, stone, and concrete building materials. Paint colors on storefronts, trim, and upper facade openings should relate to the overall color of the building as should added elements such as signs and awnings. In many cases, this will be colors which complement or harmonize with the overall brick or stone colors found on upper façades. The use of contrasting colors to highlight architectural details on storefronts and upper facades is encouraged. The use of intense or vivid hues should not be introduced into the downtown area which would create disharmony with adjacent buildings. Original masonry exteriors should not be painted.

- All colors and textures to be used are matched with existing and are therefore compatible.

III. STAFF RECOMMENDATION

Staff has reviewed this request in accordance with the design guidelines. Staff recommends approval of this request.

IV. DRAFT MOTIONS

I move that the Sumter Historic Preservation Design Review Committee approve HP-14-24, in accordance with the materials, photographs, and drawings submitted and referenced in the Staff Report based on compliance with the Design Review Guidelines and Section 1.m.2 of the City of Sumter – Zoning & Development Standards Ordinance.

I move that the Sumter Historic Preservation Design Review Committee deny HP-14-24.

I move that the Sumter Historic Preservation Design Review Committee enter an alternative motion.

V. HISTORIC PRESERVATION DESIGN REVIEW – DECEMBER 18, 2014

The Sumter Historic Preservation Design Review Committee at its meeting on Thursday, December 18, 2014 deferred action on this request until the January 22, 2015 meeting.

VI. HISTORIC PRESERVATION DESIGN REVIEW – JANUARY 22, 2015

Location Map

6 N MAIN ST

134 N MAIN ST

132 N MAIN ST

128 N MAIN ST

124 N MAIN ST

120 N MAIN ST

112 N MAIN ST

106 N MAIN ST

100 N MAIN ST

N-MAIN ST

LAW RANGE

119 N MAIN ST

117 N MAIN ST

111 N MAIN ST

109 N MAIN ST

107 1/2 N MAIN ST

105 N MAIN ST

2 LAW RANGE

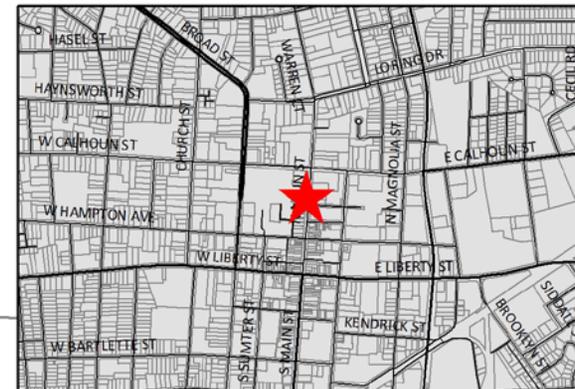
3 LAW RANGE

5 LAW RANGE

8 LAW RANGE

10 LAW RANGE

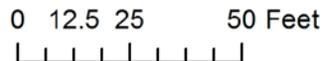
12 LAW RANGE



Legend

HP-14-24

DISCLAIMER:
While the data of this map has been tested for accuracy, the Sumter City County Planning Commission disclaims any or all responsibility for the exact accuracy or correctness of the map. The Sumter City County Planning Commission shall not become liable to the user(s) of this map for any reasons.
In using this map, the user(s) agree to hold the Sumter City County Planning Commission harmless of any or all liabilities arising from the use of this map and/or its data.



Map Prepared by: Sumter Planning Department
Copyright 2014: Sumter City-County Planning Commission
Geographic Information Systems (GIS)
November 24, 2014

HP-14-24
117 & 119 N Main St, Sumter, SC
Tax Map #249-09-01-025/249-09-01-014