

Historic Preservation Design Review

December 18, 2014

HP-14-23, 17 & 19 Caldwell St. – ADA Ramp (City)

I. THE REQUEST

Applicant: Scott Bell

Status of the Applicant: Architect, representing the property owner

Request: Historic Preservation Design Review approval to construct an ADA accessible ramp at the rear of the building.

Location: 17-19 Caldwell St.

Present Use/Zoning: Sumter Housing Authority/CBD

Tax Map Reference: 228-13-07-061 & 228-13-07-062

Adjacent Property Land Use and Zoning: North – Parking Area/CBD
South – Nursing School/ Caldwell St./CBD
East – S. Harvin St./GC
West – Commercial/CBD

II. BACKGROUND

The applicant is requesting design review approval to add a handicapped ADA accessible ramp to the rear of the building. The ramp will be visible from Harvin St. and therefore design approval is required.

Historic Context

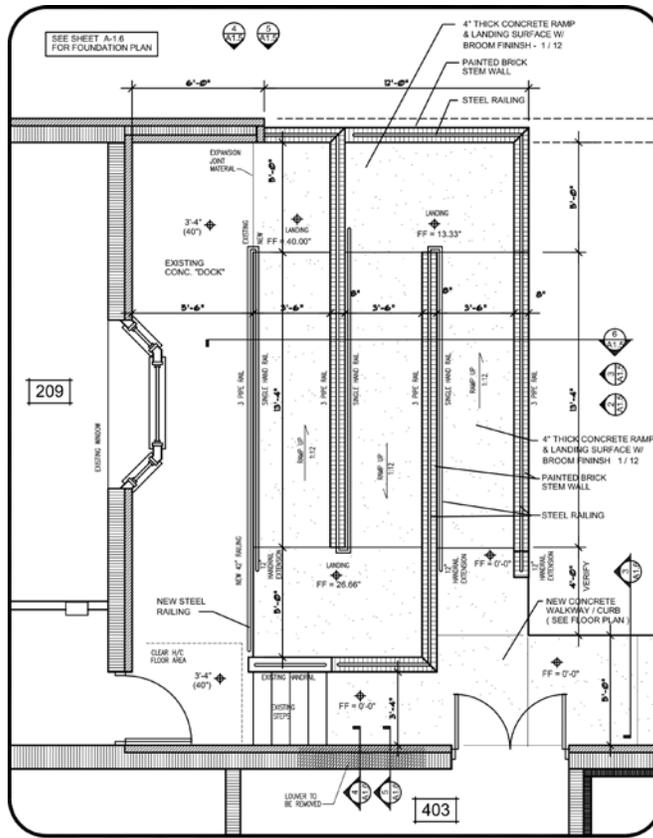
17 & 19 Caldwell St. is a contemporary structure that does not contribute to the architectural character of the district.



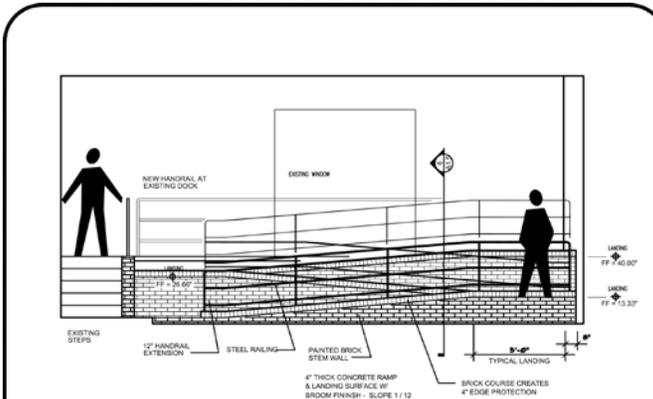
Above: Façade of Buildings at 17 & 19 Caldwell St. (No proposed changes to front façade at this time.)

Below: Views of rear and side where ramp is to be constructed.

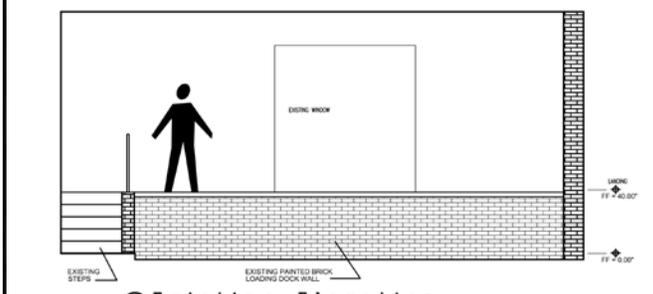




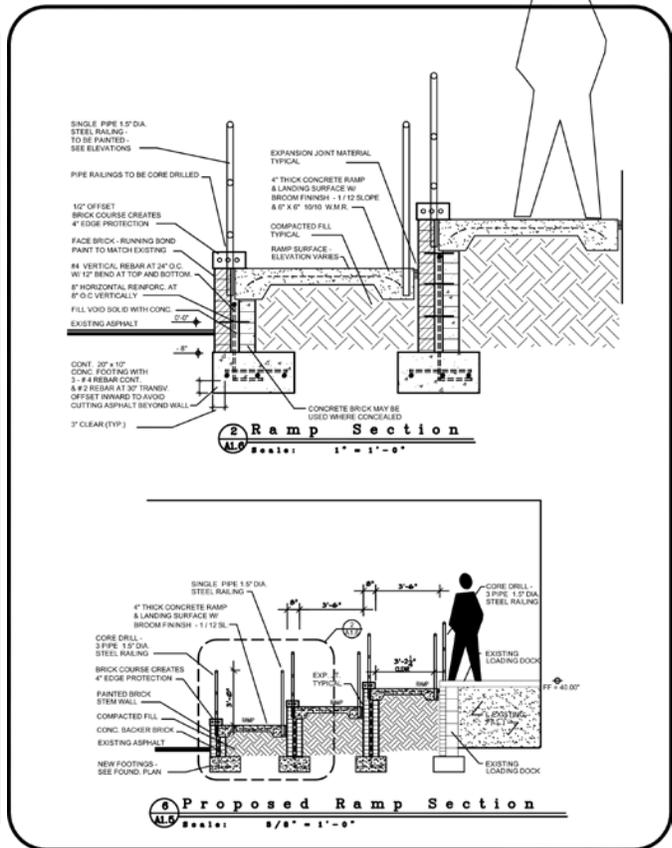
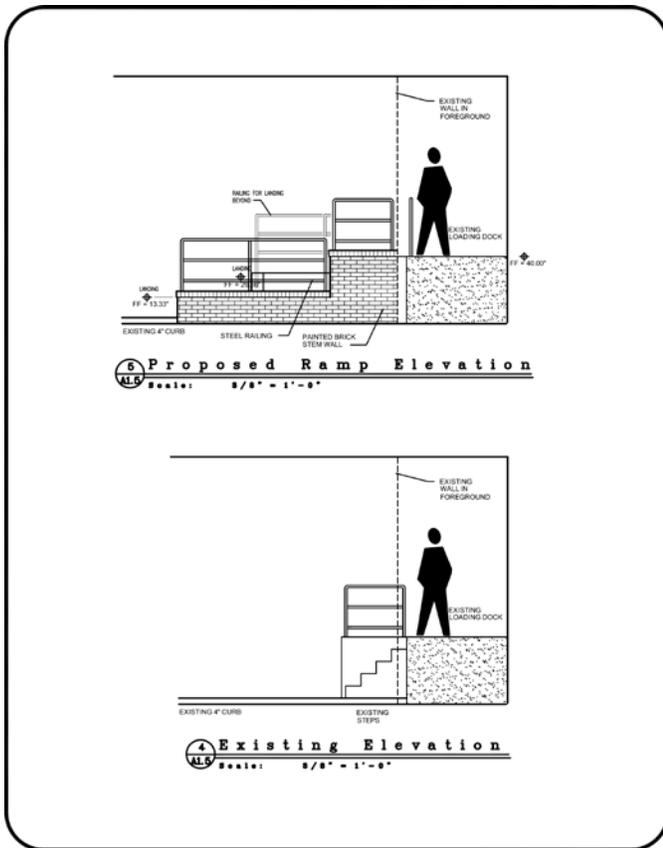
1 Proposed Ramp Plan
 Scale: 3/8" = 1'-0" North



3 Proposed Ramp Elevation
 Scale: 3/8" = 1'-0"



2 Existing Elevation
 Scale: 3/8" = 1'-0"



Design review is required prior to undertaking the proposed additions and changes.

The *Design Review Guidelines Manual* states:

#28) NEW CONSTRUCTION SHOULD BE CONTEMPORARY IN DESIGN AND HISTORIC REPRODUCTIONS SHOULD NOT BE BUILT

Normally Required

- a. New construction in the commercial area should be of its period. Historic reproductions should be avoided. Compatibility of new buildings within historic commercial areas poses particular challenges for designers. Historic commercial areas often have similar setbacks, similar storefront and upper facade alignment, and certain rhythms to the streetscape. These built-in parameters assist in defining new construction but they may also result in restricting building design to appear as reproductions of historic buildings as opposed to an appearance of present day construction. Successful new construction in historic commercial areas is clearly of its period but avoids direct imitation of historic designs such as reproducing window lintels or elaborate sheet metal cornices. Direct reproductions may cause observers to confuse the old with the new. No building should be constructed in downtown Sumter which imitates ante-bellum architectural styles. Such buildings would reflect a time period which precedes Sumter's growth and development.
- The proposed construction is contemporary in design and is compatible with the building, as well as the district.

III. STAFF RECOMMENDATION

Staff has reviewed this request in accordance with the design guidelines. Staff recommends approval of this request.

IV. DRAFT MOTIONS

I move that the Sumter Historic Preservation Design Review Committee approve HP-14-23, in accordance with the materials, photographs, and drawings submitted and referenced in the Staff Report based on compliance with the Design Review Guidelines and Section 1.m.2 of the City of Sumter – Zoning & Development Standards Ordinance.

I move that the Sumter Historic Preservation Design Review Committee deny HP-14-23.

I move that the Sumter Historic Preservation Design Review Committee enter an alternative motion.

V. HISTORIC PRESERVATION DESIGN REVIEW – DECEMBER 18, 2014

The Sumter Historic Preservation Design Review Committee at its meeting on Thursday, December 18, 2014 approved this request for the installation of an ADA accessible ramp at the rear of the building on property located at 17-19 Caldwell St. in accordance with the materials, photographs, and drawings submitted and referenced in the Staff Report based on compliance with the Design Review Guidelines and Section 1.m.2 of the City of Sumter – Zoning & Development Standards Ordinance.