

Historic Preservation Design Review

July 24, 2014

HP-14-13, 201 and 203 N. Salem Ave. (City)

I. THE REQUEST

Applicant: Stephen Barrineau

Status of the Applicant: Property Owner at 201 N. Salem Ave. & representative for Jose and Ilieana Arvelo (Property Owners at 203 N. Salem St.)

Request: Design review for new fence and gates.

Location: 201 & 203 N. Salem Ave.

Present Use/Zoning: Residential/R-6 (Residential-6)

Tax Map Reference: 228-05-05-033 & 228-05-05-034

Adjacent Property Land Use and Zoning: North – Residential/R-6
South – Residential/R-6 & W. Calhoun St.
East – Residential/R-9 & N. Salem Ave.
West – Residential/ R-6

II. BACKGROUND

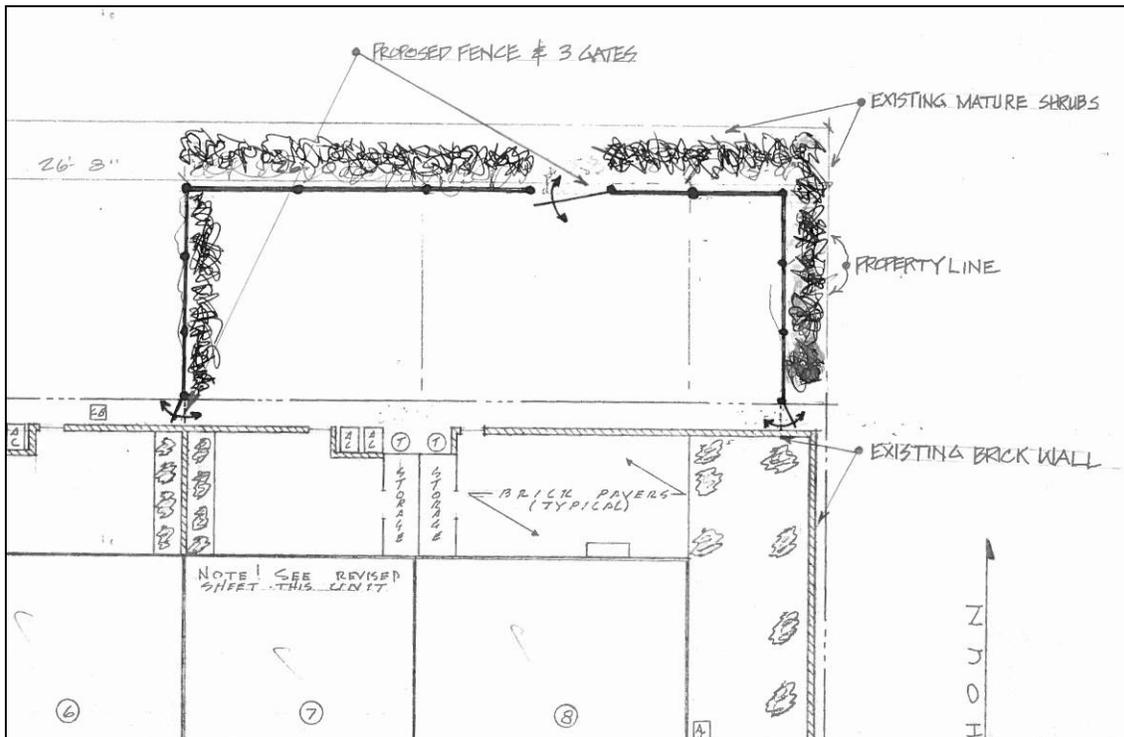
The applicant is requesting Design Review approval to construct a black chain link fence (5 feet in height) behind his property and the adjacent neighbor's property. The intent is to move established evergreen plantings (camellias and azaleas) to screen the fence from view of the street and the adjacent property (Grace Baptist Church). The applicant also intends to place a decorative iron gate at the entrance to the fenced area.

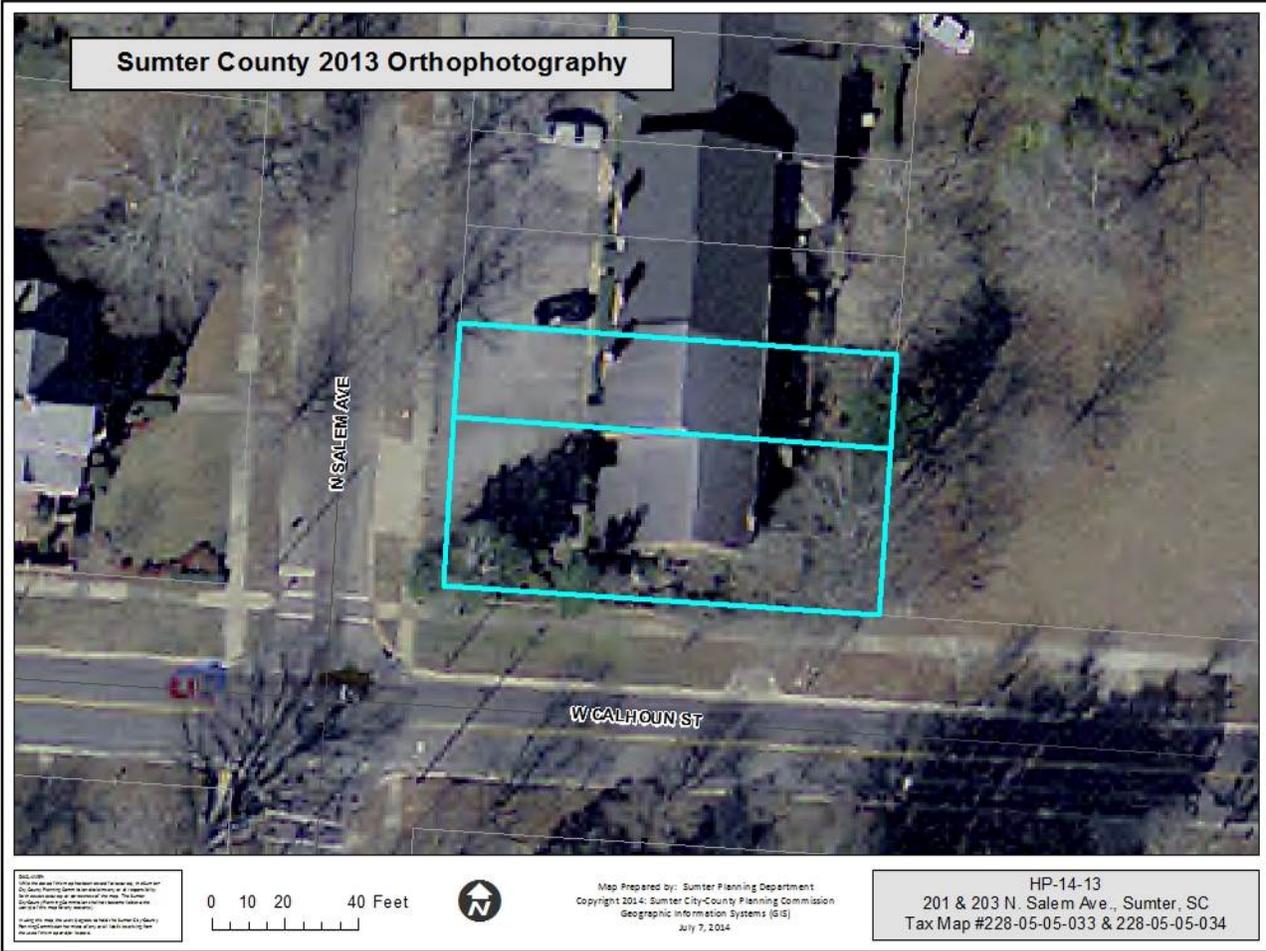


The properties, shown in the photographs above, are situated at 203 (Above Left) and 201 (Above Right) N. Salem Ave. They are part of a row of townhouses under individual ownership; the primary façades face N. Salem Ave.

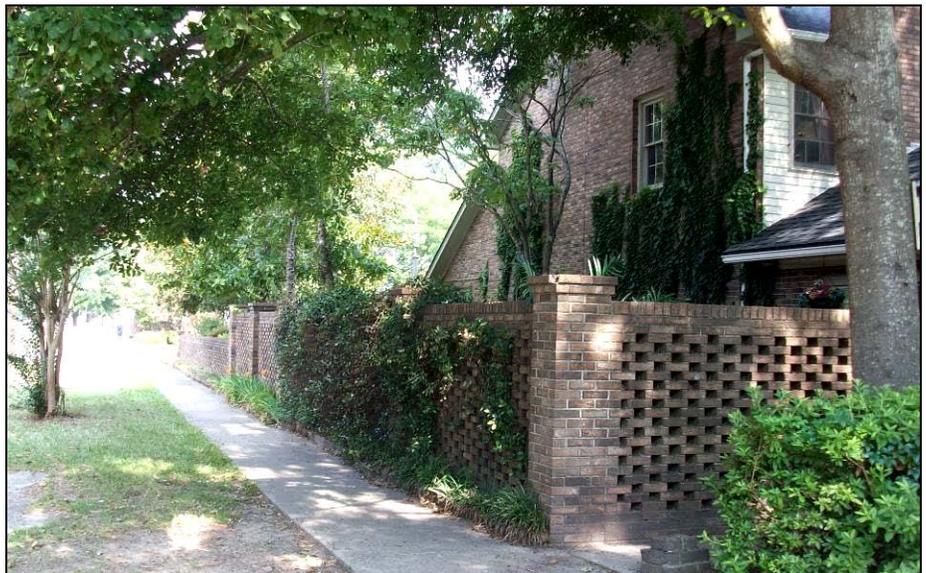
The residences are shown on the property card to have been constructed in 1982. There is no historical data on the properties in the Hampton Park Historic District Survey Report.

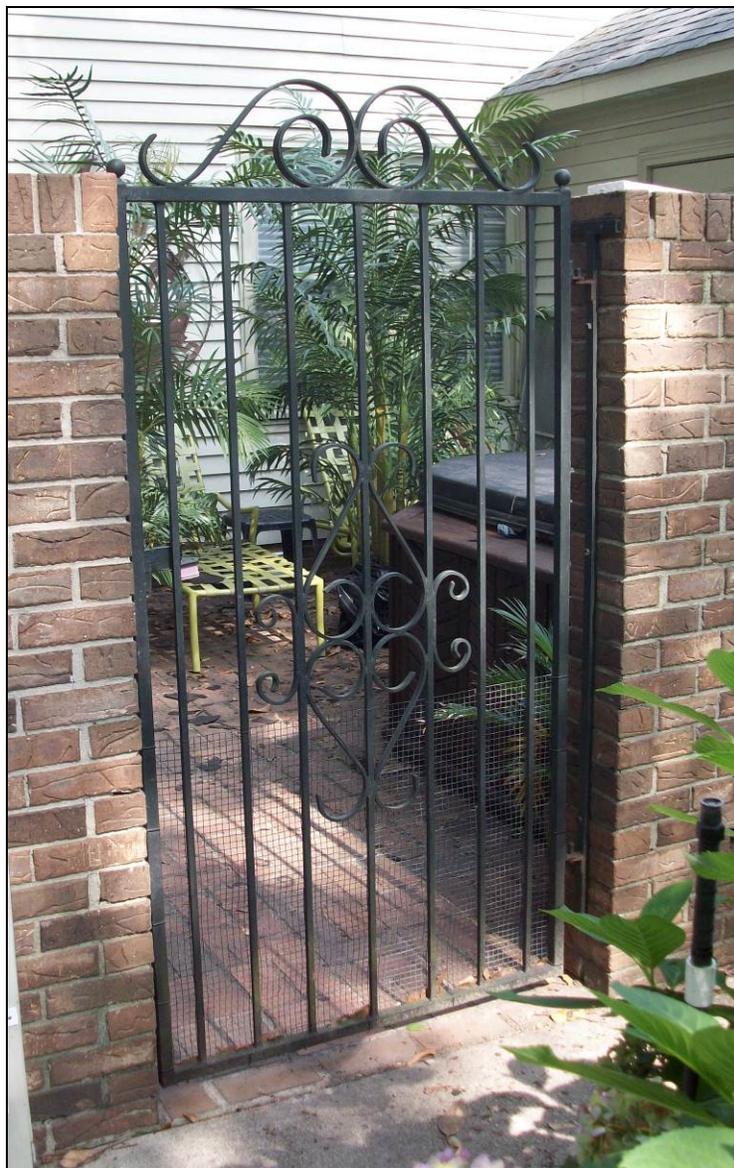
The applicant's submitted proposal is for installing a five-foot black chain link fence and three gates as shown on the diagram below. The existing mature shrubs are to be relocated to the outside of the fence as shown.





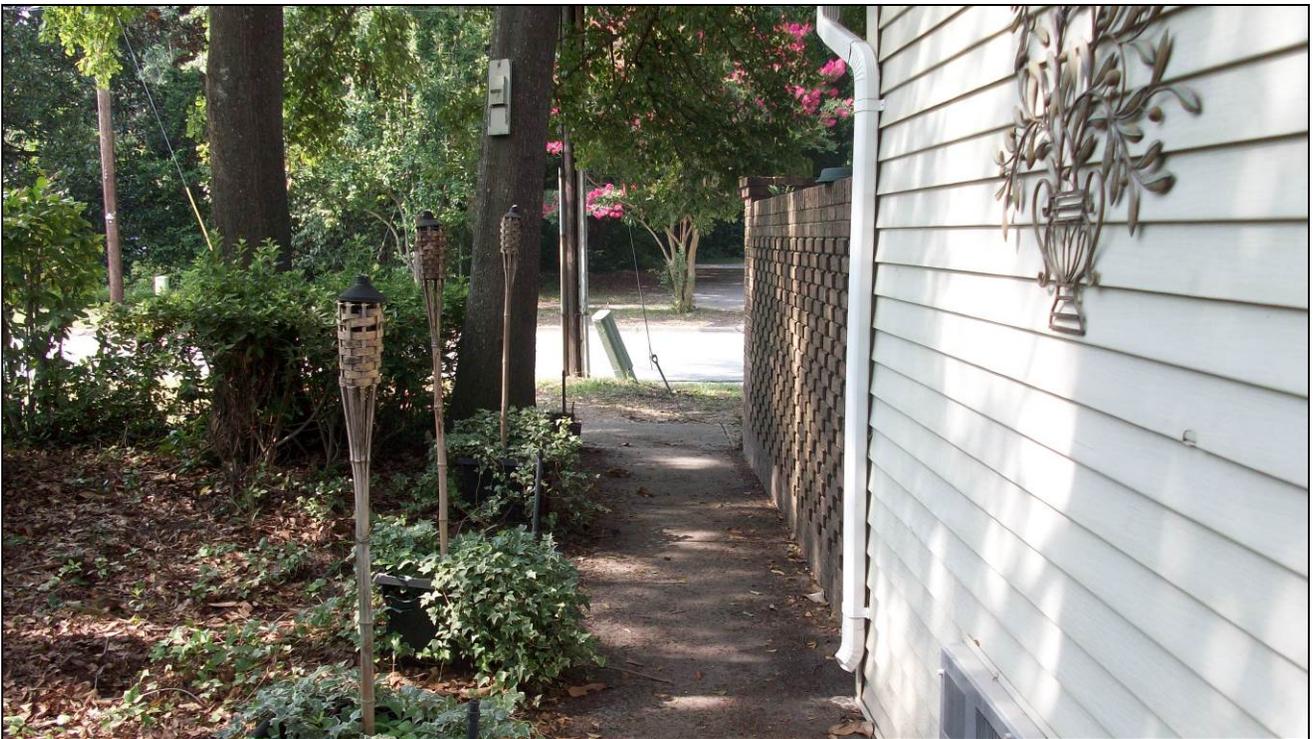
*Above: Orthophotography of parcels
Below: Photos of existing brick wall and iron gates on property*





Above: The applicant intends to find three new gates that complement the existing, like this one.

Below: More photos of area where fence is to be located.





Design review approval is required prior to repairing, moving, extending and erecting the fencing.

The *Design Review Guidelines Manual* states:

#43) THE ADDITION OF HISTORIC FENCE DESIGN AND MATERIALS IS APPROPRIATE

Normally Required

- a. Fences may be erected along all four property lines of a residence.
- b. Wooden plank fences, solid wall brick fences, and chain link fences and other metal designs shall not be installed at the sidewalk or property line on primary facades.**
- c. Fences at the sidewalk or property line on primary facades should not exceed 3' in height while fences on the property lines of secondary and rear facades should be no higher than 6'.

The fence will not be installed on the property line along the primary façade. It is located along the side and rear property lines and will be adequately screened from view by already established, large evergreen plantings. The gates, which will be visible from the street, are to be decorative ironwork in design and therefore will be compatible with the existing gates and with the intent of the historic district guidelines.

III. STAFF RECOMMENDATION

The proposed project meets the requirements set forth in the design review guidelines. Therefore, staff recommends approval.

IV. HISTORIC PRESERVATION DESIGN REVIEW – JULY 24, 2014

The Sumter Historic Preservation Design Review Committee at its meeting on Thursday, July 24, 2014 approved this request for a 5 ft. black chain link fence and three decorative gates in accordance with compliance with Design Guidelines #43.