

Historic Preservation Design Review

June 26, 2014

HP-14-07, 11 E. Liberty St. (City)

I. THE REQUEST

Applicant: City of Sumter

Status of the Applicant: Property Owner

Request: Approval for walkway, landscaping and green space

Location: 11 E. Liberty St.

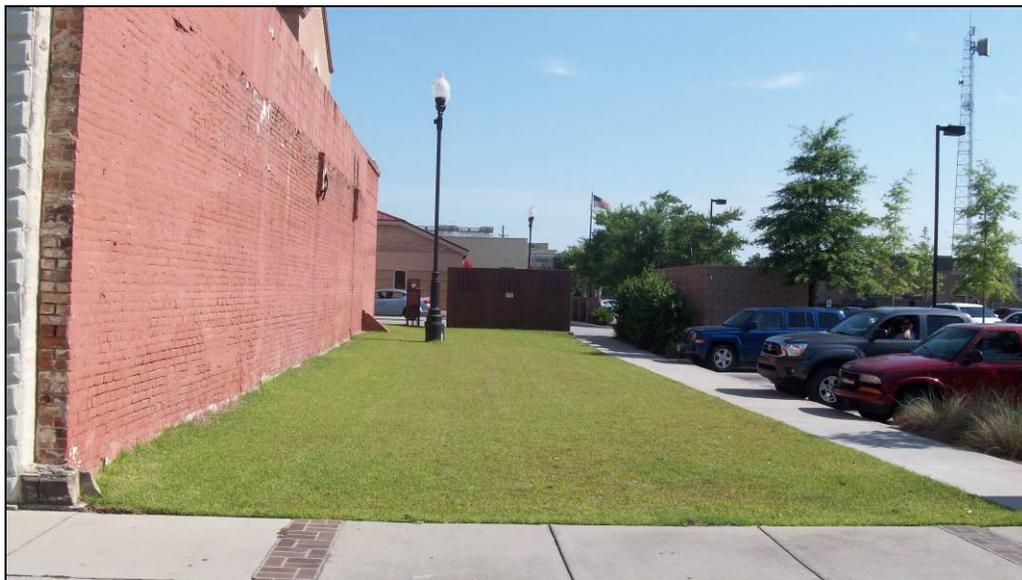
Present Use/Zoning: Vacant Parcel /CBD

Tax Map Reference: 228-12-05-019

Adjacent Property Land Use and Zoning: North – Commercial /CBD
South – Commercial /CBD
East – Main St & Commercial /CBD
West – Commercial Parking Lot/CBD

II. BACKGROUND

The applicant is seeking approval to construct a landscaped courtyard in the vacant space between the proposed Subway restaurant and a city parking lot (*below*).



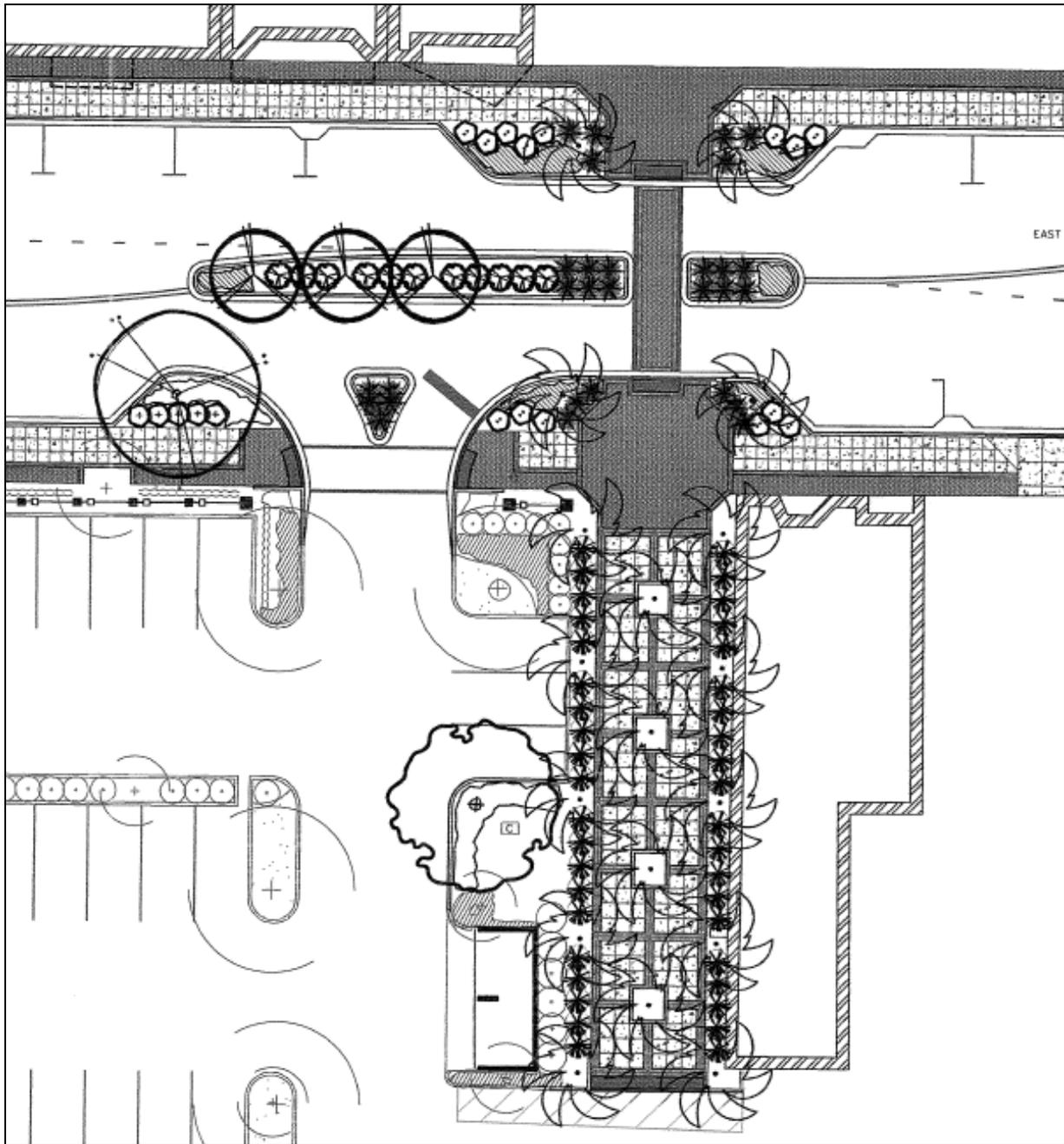


Above: Other views of the space, and the adjacent buildings and structures.

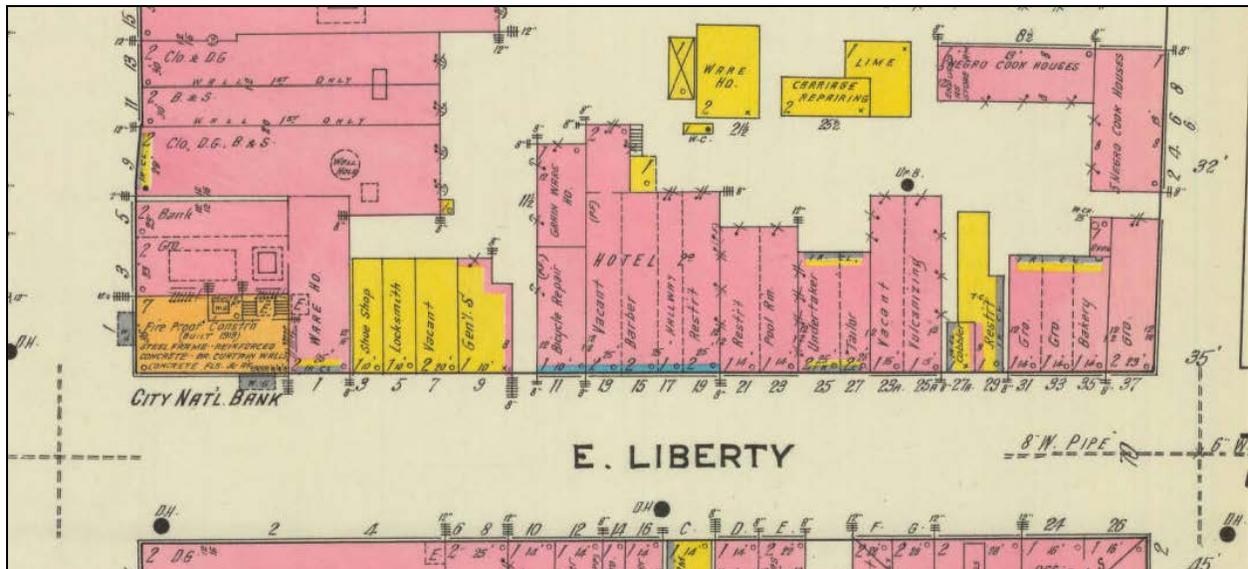
Below: The proposed open space where the courtyard will be constructed.



Below: The proposed design concept, prepared by the Land Plan Group. This courtyard is a component of a larger streetscape project in conjunction with the Penny Sales Tax. The trees specified for the space are Palmettos. The plan calls for the use of scored concrete with a brick border and raised maintenance area, and lighting typical with what is used elsewhere in the downtown.



Below: The 1915 Sanborn Map indicates that a hotel was on this site, perhaps upstairs from a vacant ground-floor building. That structure was still in place on the 1923 Sanborn map. There is no record of a structure at this address in the 1985 Main Street Sumter Survey.



There is minimal guidance in the Guidelines referencing downtown open space design;

The Design Review Guidelines Manual states:

#3) LANDSCAPING SHOULD COMPLEMENT RATHER THAN DETRACT FROM BUILDINGS

Recommended

a. Trees of limited height and dimensions should be considered for the downtown area. Historic commercial areas such as downtown Sumter often had numerous shade trees to shelter pedestrians. With the coming of the automobile many of these trees were removed to make way for parking. The introduction of new trees into the downtown area is appropriate as long as the trees selected are of limited height and dimension. When mature, trees should not overly mask buildings and make signs and details difficult to observe. Trees should be spaced at least 30 feet from each other and have planting beds of at least nine square feet.

b. Low plants and shrubs at sidewalks are appropriate. The introduction of low hedges or planters with flowers or other decorative plants is appropriate. These may be desired as part of an overall streetscape program by the city or added on an individual basis by property owners.

- The trees specified are Palmettos. The estimated mature heights of these trees are approximately 30'. The trees are shown on the plan as being spaced closely in order to provide some shade in the space.

#4) SIDEWALK AND STREET IMPROVEMENTS SHOULD RESPECT DOWNTOWN CHARACTER

Recommended

a. Streetscape improvements should be in keeping with the traditional character of downtown. Appropriate improvements include the introduction of brick sidewalks or textured concrete which imitates the appearance of brick. The use of brick or textured concrete can be of particular assistance in defining pedestrian crosswalks across streets. Simple street furniture such as wood benches would also be appropriate. The addition of elements such as continuous metal or concrete canopies, oversized kiosks or gazebos, and ornate wrought iron street furniture should not occur.

b. Streetscape improvements should be selected for their simplicity and durability. Many streetscape improvements completed across the country in the 1960s and 1970s are now in varying degrees of deterioration. In many of these cases materials or construction methods were selected which were incompatible with exposure to the elements or could not withstand the constant use by vehicles and pedestrians. Before any major expenditure for street furniture, sidewalk materials, or curbing, the longevity and lifespan of the proposed improvements should be carefully studied. Once selected, street furniture should be sited away from vehicular areas and be bolted or anchored in place to discourage vandalism.

- The submitted plan meets the criteria listed above.

#5) LIGHT FIXTURES WHICH REINFORCE DOWNTOWN CHARACTER SHOULD BE CONSIDERED

Recommended

a. The introduction of traditional light fixtures is appropriate. Many communities have reintroduced historic designs for street lighting into their downtown areas. These fixtures are generally of cast iron or similar types of metal and have globes based on historic precedents. The design of the lighting should be based on light fixtures originally used in Sumter. If such light designs are no longer available fixtures as close to the original design should be considered. The expense of such fixtures should be carefully weighed against their potential use. Downtown Sumter presently does not have extensive evening shopping or entertainment. However, if substantial pedestrian traffic evolves in the evening the use of period lighting may be a desired amenity.

- The submitted plans call for relocating existing lamppost, which is the same lighting as is used elsewhere in the downtown. Likewise, the brickwork is to match existing. (See photo, **Right**)



III. STAFF RECOMMENDATION

Planning Staff finds the request generally conforms to applicable Design Review Guidelines.

IV. HISTORIC PRESERVATION DESIGN REVIEW – JUNE 26, 2014

The Sumter Historic Preservation Design Review Committee at its meeting on Thursday, June 26, 2014, voted to approve this request in accordance with the materials, photographs, and details submitted and referenced in the Staff Report.

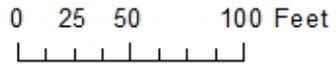
Location Map



Legend

HP-14-07

DISCLAIMER:
While the data information has been used to develop, in whole or in part, the City County Planning Commission's map, the City County Planning Commission does not warrant the accuracy or completeness of the information shown on this map. The City County Planning Commission is not responsible for any errors or omissions on this map. The City County Planning Commission is not responsible for any errors or omissions on this map. The City County Planning Commission is not responsible for any errors or omissions on this map.



Map Prepared by: Sumter Planning Department
 Copyright 2013: Sumter City-County Planning Commission
 Geographic Information Systems (GIS)
 May 14, 2014

HP-14-07
 11 E. Liberty St. (13-15), Sumter, SC
 Tax Map #228-12-05-019