

Historic Preservation Design Review

September 26, 2013

HP-13-16, 25 Harby St. (City)

I. THE REQUEST

Applicant: VJ Patel / Premier Plus LLC

Status of the Applicant: Contractor

Request: Design Review for proposed façade renovation

Location: 25 Harby St.

Present Use/Zoning: Residential /R-6

Tax Map Reference: 228-12-01-010

Adjacent Property Land Use and Zoning:
North – Residential / R-6
South – Residential / R-6
East – Residential / R-6
West – Harby St. & Residential / R-6

II. BACKGROUND

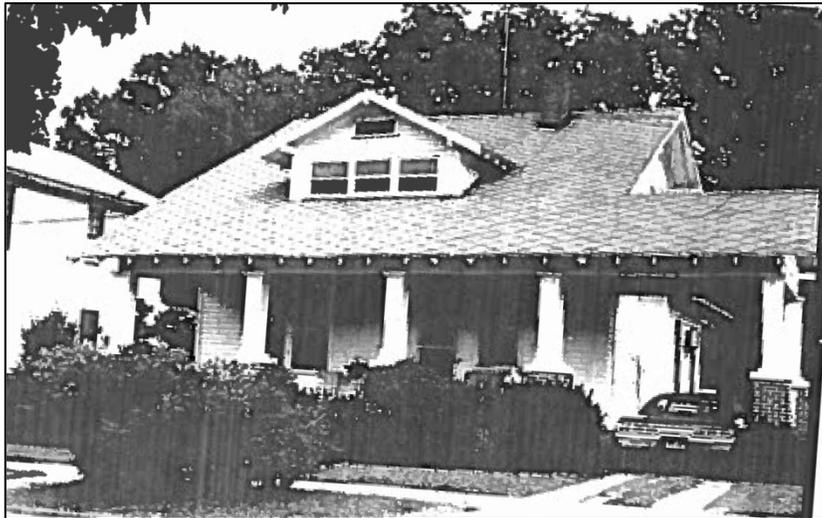
The applicant is requesting design review approval for the front and side façade renovation of the property at 25 Harby Ave.





Above: Existing façade prior to removal of shrubs in front

Architectural/Historic Context



Above: Photo from July 10, 1980 from the Hampton Park Historic District Survey.

The structure is a Bungalow style residence built c. 1920. The Hampton Park Historic District Survey Report describes it as follows:

“1 ½ story frame weatherboarded residence with gable roof; asbestos shingles; exposed rafters beneath roofline; porch on façade is extension of roof; porte cochere on right side, both porte cochere and porch are supported by 6 tapered posts atop brick piers” This structure is historic and is considered to be a contributing structure within the district. It is located within the Hampton Park Design Review District, and as such, any proposed exterior changes must be reviewed and approved by the Historic Preservation Design Review Committee.

Scope of Work

The applicant proposes the following as part of this request:

1. Removal of two chimneys
2. Removal of the steps on the right side of the front porch, in order to make it possible to drive through the porte cochere
3. Building a new side wall on the porch in order to enclose the space where the steps are removed
4. Replacement of 25 windows with vinyl energy efficient windows
5. Repainting the exterior
6. Addition of new exterior lighting
7. Installation of a rainfall diversion along the front roofline
8. Addition of a porch on the rear

The following photographs and graphics illustrate the scope of work and the applicable design guidelines:

1. Removal of two chimneys



Two chimneys have been removed from the house (indicated by X's). The applicant stated that both were in poor condition, and one of the chimneys (the red X) was located in the middle of the master bedroom and interrupted the interior layout significantly.

#69) CHIMNEYS SHOULD BE MAINTAINED AND PRESERVED

Normally Required

- a. Masonry chimneys shall not be removed above the roofline.
- b. Repair and repainting of brick chimneys should be with brick and mortar to match the original. If a match proves unfeasible the painting of chimneys is acceptable in shades of dark red and burgundy.
- c. Decorative brick corbelling and clay chimney caps should not be removed.

2. Removal of the steps on the right side of the front porch, in order to make it possible to drive through the porte cochere



Above and Below: The applicant proposes to remove the steps on the right hand side of the porch in order to make it possible to drive through the porte cochere (shown in red below).





Above: This photo, taken in 1980, shows a car parked underneath the porte cochere.

#53) PRESERVE AND MAINTAIN ORIGINAL PORCH LOCATION AND CONFIGURATION

Normally Required

- a. Porch elements that have become deteriorated should be repaired rather than replaced.
- b. Original porch elements such as columns, floors, and railing details should not be removed. Repair of porches should be made with materials to match the original.

Porches are one of the major defining elements of a residence's style, age, and character.

The preservation of pre-1940 porch elements on residences is one of the primary guidelines for historic neighborhoods.

#57) MAINTAIN AND PRESERVE ORIGINAL STAIR MATERIALS

Normally Required

- a. Original concrete, brick, or wooden stairs leading to a porch or entrance should be preserved and maintained.

b. Original wood, brick, or concrete stairs should be repaired or replaced with stairs of matching materials.

3. Building a new side wall on the porch in order to enclose the space where the steps are removed



Above: The area (shown in blue) where the new railing wall will be built, if the steps are removed as proposed.

Below: The new wall is to match the existing railing wall on the opposite side of the porch.



#56) MAINTAIN AND PRESERVE ORIGINAL PORCH RAILINGS

Normally Required

- a. Original porch railing details shall be preserved and maintained.
- b. Handrail or baluster replacement shall be with materials to match the original.

#53) PRESERVE AND MAINTAIN ORIGINAL PORCH LOCATION AND CONFIGURATION

Normally Required

- a. Porch elements that have become deteriorated should be repaired rather than replaced.
- b. Original porch elements such as columns, floors, and railing details should not be removed. Repair of porches should be made with materials to match the original.

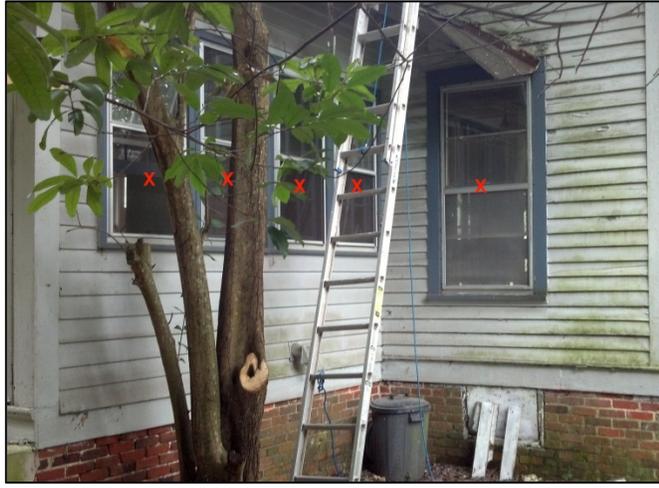
4. Replacement of 25 windows with vinyl energy efficient windows

The photos below indicate the windows proposed for replacement outlined in red. The Red "X" indicates a window to be removed entirely (there are 6). Some window sizes are to be altered to accommodate interior layout changes, and the red outline indicates the approximate new window area.





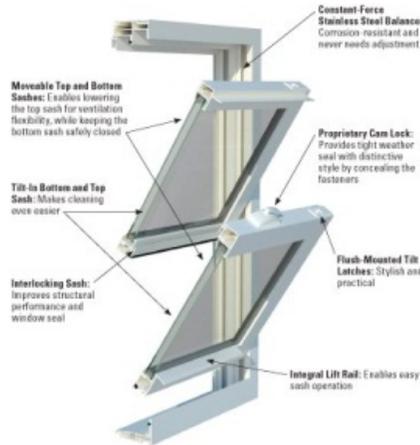
Below: the windows on the rear of the house will be removed to accommodate the proposed porch addition.



Below: The replacement windows are YKK “six over six” double hung windows with white casings.

Precedence® Replacement Double-Hung Windows

With Precedence double-hung windows, both the top and bottom sash can be raised and lowered for ventilation flexibility and safety. And, both sashes tilt in for easy cleaning from the inside of the home.



#64) MAINTAIN AND PRESERVE ORIGINAL WINDOW DETAILS

Normally Required

- a. Original windows should be maintained and repaired with matching materials. Replacement of original window sash should take place only if deterioration is clearly demonstrated.
- b. The sash configuration of windows should not be altered. Replacement windows should match the original designs in dimensions and lights.
- c. Single light fixed windows, picture windows, and modern metal designs should not be added on primary and readily visible secondary facades.
- d. Original stained glass, leaded glass, and other decorative glass features should not be removed from window openings. Conversely, elaborate stained glass or other decorative glass lights should not be added to a residence's primary or readily visible secondary facades if there is no evidence that such window features were ever present on a house.
- e. Snap-in muntins should not be applied to original window sash.
- f. Replacement glass or lights should be of clear glass on the primary and readily visible secondary facades. Tinted glass may only be installed on rear or secondary facades not visible from the street.
- g. Window sash and frames should be painted a contrasting color than the body of the house to provide contrast and depth to the window openings.

The majority of historic residences in Sumter have rectangular one-over-one wood sash windows. These windows are generally simple in design with minimal decoration in the moldings or surrounds. The use of stained, leaded, or etched glass was also limited in these years and these decorative

glass features are most often found as small decorative windows adjacent to entrance openings or on secondary facades to illuminate stairwells.

Bungalow-style windows were generally divided into smaller lights or with the upper sash divided into narrow vertical lights. Window design is an integral part of a residence's character and alterations and replacement should be with materials and designs to match the original.

5. Repainting the exterior

The proposed paint colors for the house are “Birdseye Maple” (SW2834) for the Body and “Roycroft Vellum” (SW2833) for the Trim.



#73) EXTERIOR PAINT COLORS SHOULD HIGHLIGHT ARCHITECTURAL DETAILS

Recommended

- a. The exterior siding or body of a residence should be painted dark or muted colors. Lighter colors should be used to highlight architectural trim and ornamentation.
- b. One to two accent colors in addition to the background color are best for most residences. Historically, architectural ornamentation and the exterior siding of a residence were rarely painted the same color. Architectural ornamentation was usually painted in a variety of lighter colors to highlight their designs. Light colors are appropriate for details such as vergeboard, eave brackets, and dentils. Window trim and surrounds and wood shingles are also good locations to highlight through light colors. No more than two accent colors in addition to the color of the exterior siding is recommended. Additional colors may result in the residence becoming too busy and confusing. Numerous publications are readily available to provide recommendations for historic paint colors. Such publications can provide valuable information in choosing paint colors for specific residential styles and designs.

6. Addition of new exterior lighting



Left: The proposed exterior lighting to go on either side of the front door.

#44) EXTERIOR LIGHTING SHOULD BE SIMPLE AND ORIGINAL FIXTURES SHOULD BE MAINTAINED

Recommendations

- a. Original light fixtures on a pre-1940 building should be retained and preserved. Many of those that exist are electric lights from the 1910s and 1920s on Bungalow style residences. Several companies now have replacement parts for these types of lights and rewiring of these lights is also common.
- b. New light fixtures should be ceiling mounted in the porch or mounted adjacent to the primary entrance or entrances on the main facade. Porch ceilings are traditional locations for light fixtures and light fixtures mounted directly to the ceiling or recessed within the ceiling are appropriate. Light fixtures which are suspended several feet from the ceiling should be discouraged. Wall mounted light fixtures adjacent to entrances are also appropriate.
- c. Exterior lighting designs should be reproductions of fixtures for residences built between 1880 and 1940. Contemporary lighting fixtures in simple designs are also appropriate. ***"Williamsburg" carriage lights and other designs of the 18th and early 19th century are not appropriate for Sumter's districts and should be avoided.***

7. Installation of a rainfall diversion along the front roofline

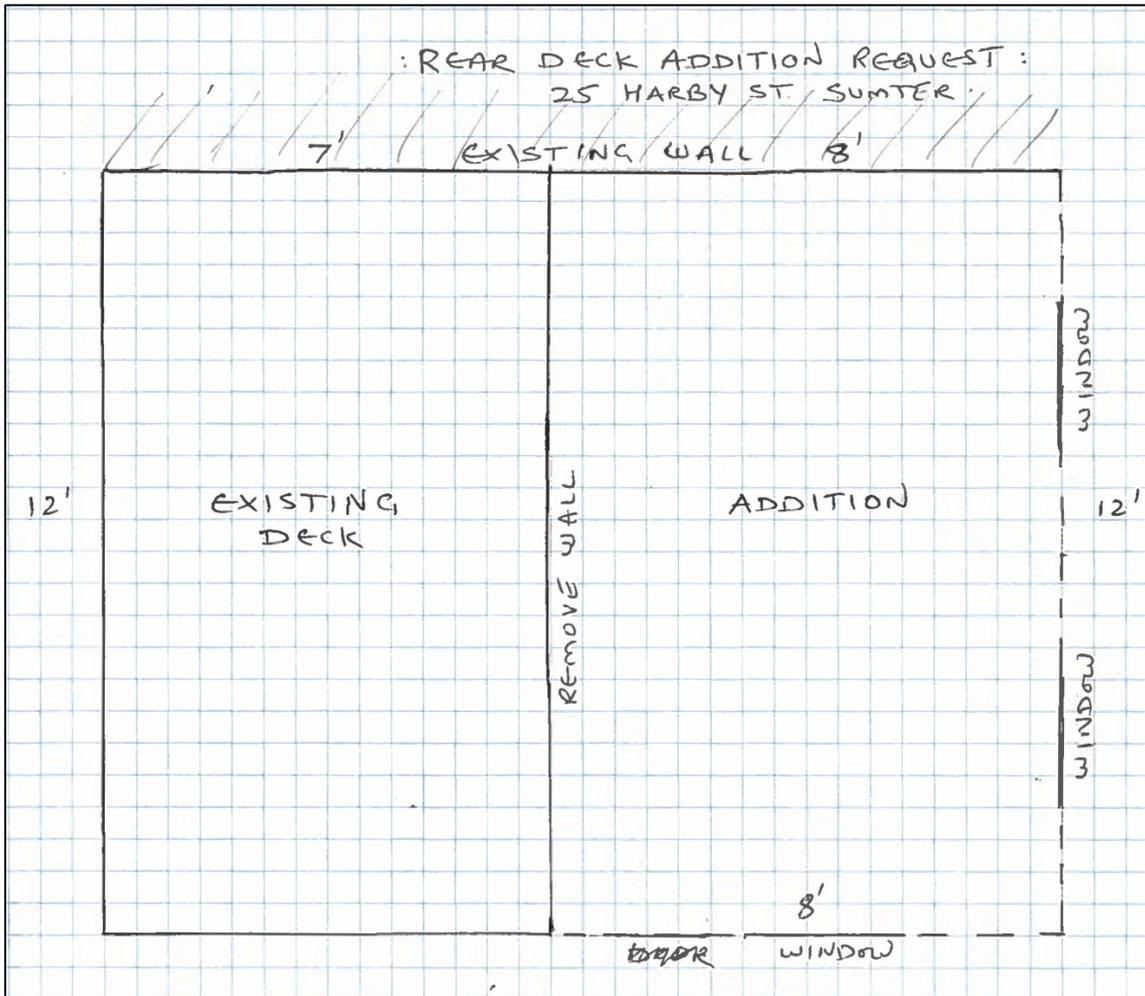


Above: The applicant is proposing a metal diverter to be placed along the front roofline (red line indicates approximate location), to divert rainwater away from the front of the house. This was proposed as an alternative to gutters, which would disrupt the architectural detailing and exposed rafters along the front of the house.

8. Addition of a porch on the rear

Below: The scope of work includes the addition of an 8' x 12' porch on the rear of the structure, as shown in the plan. New windows will be added to the porch as indicated. Red arrow indicates where the porch is to be constructed.





III. STAFF RECOMMENDATION

1. Removal of two chimneys
 - The chimneys were both located to the rear of the house and were not visible from the street. Also, the location of the fireplace for one of these chimneys disrupted the interior space significantly and removal created a much better layout for the master bedroom. The chimneys were both in very poor condition. There are still two remaining chimneys on the structure, visible from the street, that are to be retained.
 - Staff recommends approval of the removal of the two chimneys.
2. Removal of the steps on the right side of the front porch, in order to make it possible to drive through the porte cochere
3. Building a new side wall on the porch in order to enclose the space where the steps are removed

- The steps are located in such a manner as to limit use of the driveway, porte cochere and access to the rear yard.
- Staff recommends approval this request, as long as the new wall constructed on that side of the porch is built to match the opposite wall as shown in the picture below:



4. Replacement of 25 windows with vinyl energy efficient windows

- Staff recommends approval of the request to replace the windows on the sides and rear of the structure, because they will not be readily visible from the street.
- However, staff recommends that the original windows on the front of the house be retained, because they are “three over one” and fit the craftsman aesthetic of the house façade. The replacement windows are “six over six” and will detract from the historic character of the house.

5. Repainting the exterior

- Staff level approval is granted for exterior paint requests in the Hampton Park District when colors are selected from the designated palettes in Article 1, section 1.o.5.3 “Paint colors for residential structures in Hampton Park Historic District”. The colors above have been selected from the approved palette.

6. Addition of new exterior lighting

- The lighting chosen for the front of the house is of a Colonial style that does not fit with the architecture of the house.
- Staff recommends choosing a style that is either mission or craftsman in style, such as those shown below:



7. Installation of a rainfall diversion along the front roofline

- Staff recommends approval of this because it solves the problem of rainwater at the front entrance without impacting the architectural details along the front of the house, as gutters would.

8. Addition of a porch on the rear

- Staff recommends approval of the porch addition. It will not be visible from the street and will add market value to the house.

IV. DRAFT MOTION

I move that the Sumter Historic Preservation Design Review Committee approve items 1, 2, 3, 5, 7, 8 of the listed scope of work for HP-13-16 and Staff's recommendation for approval of the replacement windows on the sides and rear of the structure but retain the original front windows and change the exterior light fixture to either mission or craftsman in style, in accordance with the materials, photographs, and drawings submitted and referenced in the Staff Report based on compliance with the Design Review Guidelines and Section 1.m.2 of the City of Sumter – Zoning & Development Standards Ordinance.

I move that the Sumter Historic Preservation Design Review Committee deny HP-13-16.

I move that the Sumter Historic Preservation Design Review Committee enter an alternative motion.

V. HISTORIC PRESERVATION – SEPTEMBER 26, 2013

The Sumter Historic Preservation Design Review Committee at its meeting on Thursday, September 26, 2013 approved the following items for the request referenced above:

1. Removal of two chimneys;
2. Removal of the steps on the right side of the front porch, in order to make it possible to drive through the porte cochere;
3. Building a new side wall on the porch in order to enclose the space where the steps are removed;
4. Replacement of 25 windows with vinyl energy efficient windows;
5. Repainting the exterior;
6. Installation of a rainfall diversion along the front roofline;
7. Addition of a porch on the rear.

The Board accepted staff's recommendation that the applicant choose a style of lighting that is more appropriate (mission or craftsman style) to the architecture of the house.