



HISTORIC PRESERVATION DESIGN REVIEW

May 26, 2011

HP-11-15, 43 S. Main St. (City)

The applicant is requesting Historic Preservation Design Review approval for exterior renovations to the building on property located at 43 S. Main St. and represented by Tax Map # 228-13-07-054.

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I. THE REQUEST

Applicant: City of Sumter

Status of the Applicant: Downtown Design Review Board and Property owner representative

Request: Design Review for proposed exterior renovations and repairs

Location: 43 S. Main St.

Present Use/Zoning: Commercial/CBD (Central Business District)

Tax Map Reference: 228-13-07-054

Adjacent Property Land Use and Zoning: North – Alley Park/CBD
South – Commercial/CBD
East – Commercial/CBD
West – Commercial and Parking/CBD

II. BACKGROUND

The applicant is requesting design review approval for exterior renovations and repairs to the front façade of the City Shoe Service building at 43 S. Main Street that is located adjacent to the landscaped alley way across from the Cut Rate Drug Store.



Architectural/Historic Context

43 S. Main St. was constructed in the early twentieth century by 1920 based on available records from the Sumter County Tax Assessor and is about 790 square feet in size. The structure under review is included in the National Register Historic District but was not considered a contributing property at the time of that survey. It is described on the original survey card provided by the SC Dept. of Archives & History as of “no style,” in fair condition, and it is noted that the building appears on the Sanborn Insurance

Maps as early as 1912. There is no information about its prior use.

The two-story building is rectangular in shape with a flat roof surrounded in the front by a parapet wall. The first floor façade was altered in the mid-20th century to an aluminum and glass storefront but removal of the stucco exterior covering the building revealed the original rusticated concrete block façade and decorative friezes over the first story windows and entrance area and at the top of the parapet wall. The topmost row of concrete block boasts molded ornamentation with medallions and flowers.

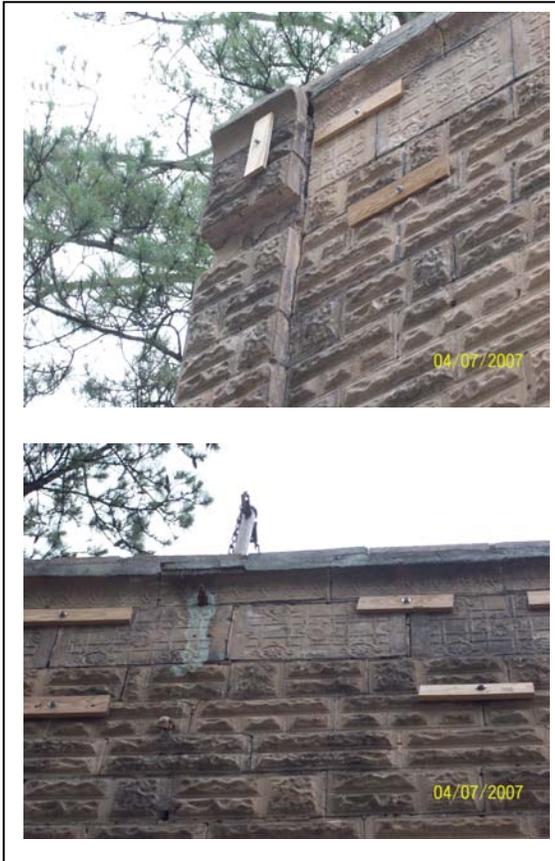


2010 HR Survey Record: Site # 1253 43 S. Main St., Sumter CBD

The recently completed Historic Resources Survey included the building as Site No. 1253, and describes the building as a “rectangular 1-part commercial block building with recessed entrance, display windows, originally had rusticated concrete block exterior.” The site record further notes that the façade “currently has a stucco exterior” and appeared to be c. 1940. The photograph above documents the exterior as it appeared at the time of the Survey, and shows the deterioration in the stucco at the street level.

Scope of Proposed Work:

The Department issued a permit to remove the stucco from the façade in 2010 in order to discover the condition of the original masonry and any associated issues. There has been some deterioration in the mortar and cracking of a few of the concrete blocks and these had to be stabilized with bolts and blocks of wood (visible in the photos of the second story on the next page). These are proposed to be replaced with decorative metal stars and turnbuckles.



However the main issue is that underneath the stucco were wooden surrounds along the south wall and a constructed wood ceiling and molding along the top of the recessed entrance. When the stucco was removed this wood construction collapsed, leaving large open areas that had to be covered to protect the building from weather and other intrusions.

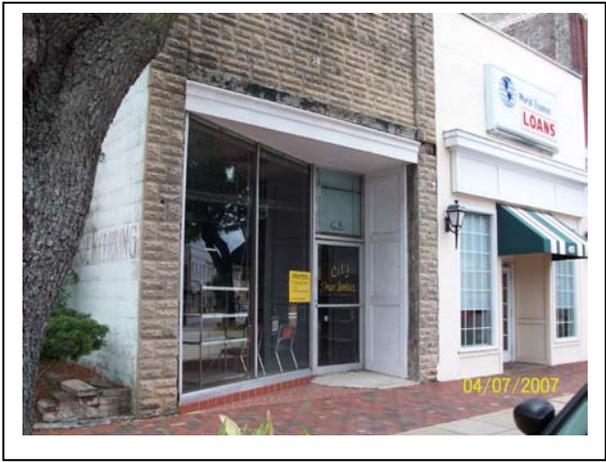
Staff visited the site on the day of the work and viewed the building, and after consulting with the Building Official a decision was made to allow covering the open areas to protect the building. The applicant did this with simple beaded board ceiling, wooden wall wainscot paneling and architectural molding, primed in white.

The wooden areas of the façade were not original to the building but were placed to support and frame the recessed entrance. When the aluminum storefront was installed the wooden support areas were made of plain finished plywood and were not sympathetic to a historic downtown. The design elements of the emergency replacement woodwork were taken from other buildings in the downtown in order to be more in keeping with the original period of construction.

The intent is to restore the altered street front façade to an aesthetically pleasing historic appearance and to stabilize the masonry, especially along the upper story façade. The lower façade woodwork including the ceiling, molding, and south wall with wainscoting is proposed to be painted white.



The aluminum storefront windows and entrance door will remain unaltered.



The *Design Review Guidelines Manual* states:

#6) ORIGINAL STOREFRONT CONFIGURATION SHOULD NOT BE ALTERED

Normally Required

- a. Original storefronts that remain in the downtown area should be preserved and maintained. There should be no removal of original doors, bulkheads, decorative glass or other elements unless their deterioration can be demonstrated.
- b. Original elements that are too deteriorated to retain should be replaced with new elements to match in design and materials.
- c. Storefronts that have decorative tile or glass installed prior to 1940 should be retained.
- d. Buildings that are renovated and have post-1940 storefronts should receive storefronts in keeping with the original architectural character of the building.

The proposed renovations to the storefront area including the wooden molding, paneled wall with wainscoting, and beaded board ceiling are simple, appropriate, and in keeping with the original character and early twentieth century architecture of this building. These are new elements that replace deteriorated areas that were not original to the building and were out of character with its original

#15) HISTORIC COLORS AND TEXTURES SHOULD BE MAINTAINED

Normally Required *architecture.*

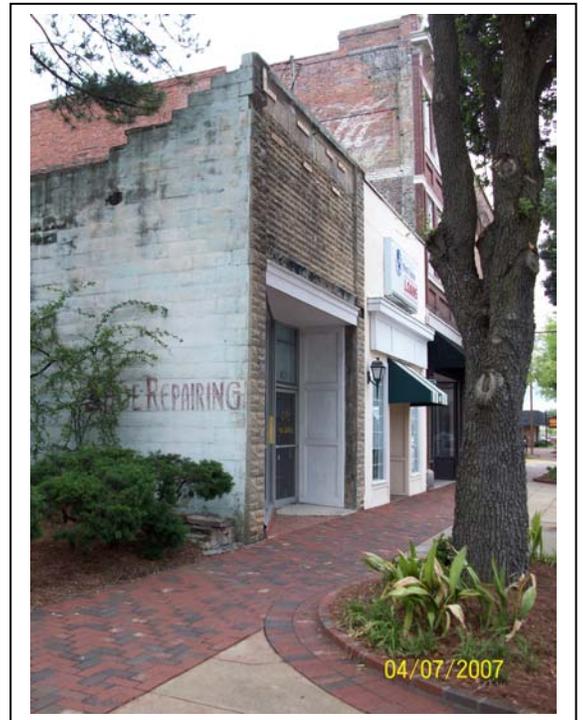
- a. Masonry walls that have not been previously painted should not be painted unless there are significant contrasts in the brick and mortar.
- b. Stucco or drivit surfaces to downtown buildings should not be added.

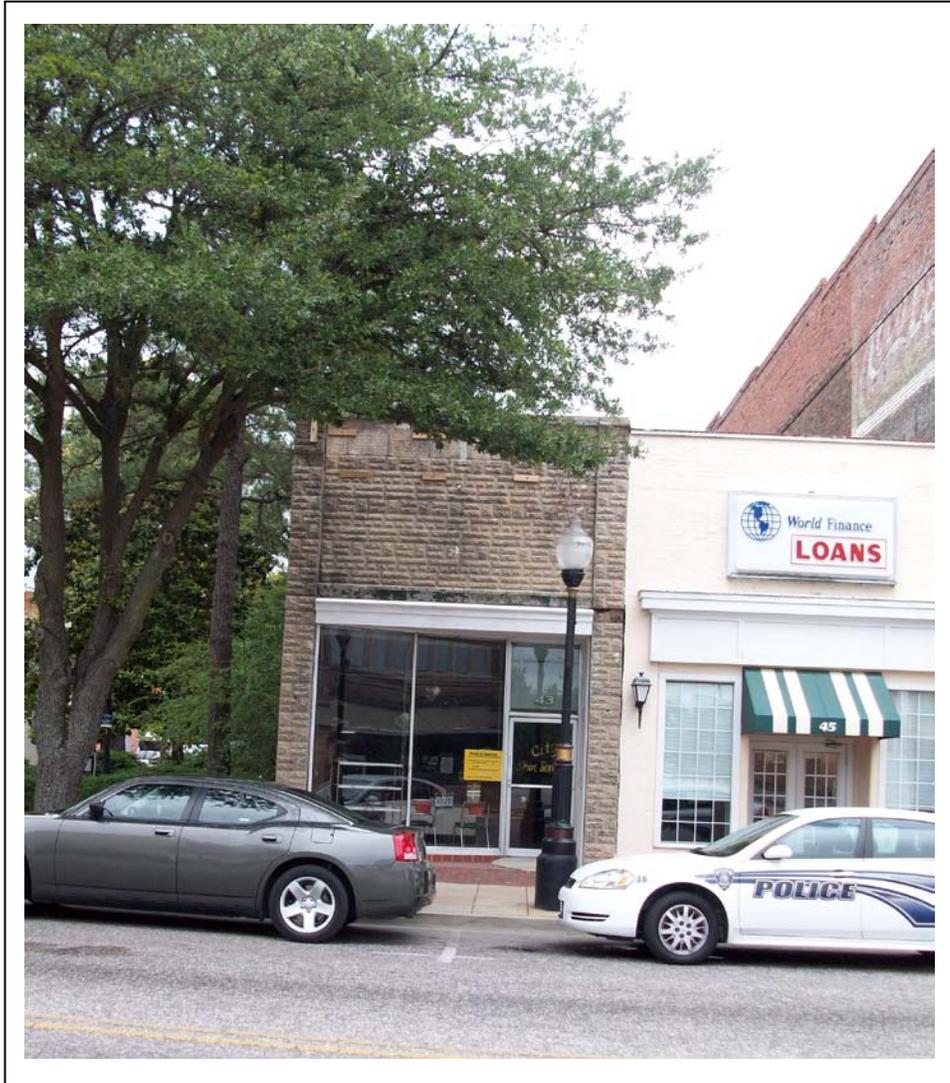
This project involved removal of stucco exterior to reveal the original masonry and decorative frieze work. The applicant will be repairing and stabilizing the original façade and will not paint or otherwise alter or obscure original surfaces.

Restoration of the upper parapet wall with the use of decorative metal turnbuckles and star bolts is appropriate and these elements of historic technology are presently utilized throughout the downtown.

III. STAFF RECOMMENDATION

Staff recommends approval of the repairs and renovations to the lower and upper façade as were made in order to stabilize the building, and also recommends approval of the proposed finishing elements as detailed in the staff report. Because the historic fabric of the original street level façade is not able to be determined beyond its location behind the current recessed façade, and because the current aluminum storefront is functional and not planned to be removed, it is in accordance with the guidelines to make repairs and renovations such as were made in the emergency stabilization work, to approve the installed wooden beaded board ceiling, molding, and wainscoting to be painted white, and to allow the temporary bolt and wood block supports along the parapet wall and the second story to be replaced with metal turnbuckles and star-shaped security bolts.





IV. DRAFT MOTION

I move that the Sumter Historic Preservation Design Review Committee approve HP-11-15, in accordance with the materials, photographs, and construction details submitted and referenced in the Staff Report.

I move that the Sumter Historic Preservation Design Review Committee deny HP-11-15.

I move that the Sumter Historic Preservation Design Review Committee enter an alternative motion.

V. HISTORIC PRESERVATION – MAY 26, 2011

The Sumter Historic Preservation Design Review Committee at its meeting on Thursday, May 26, 2011, voted to approve this request in accordance with the materials, photographs, and details submitted and referenced in the Staff Report and giving staff the authority to assist the applicant in choosing an appropriate green color scheme for the wood ceiling and molding of the recessed entrance.