

Historic Preservation Design Review

March 24, 2011

HP-11-09, corner N. Washington & Hampton St. (City)

I. THE REQUEST

Applicant: Tuomey Healthcare System

Status of the Applicant: Owner

Request: Historic Preservation Design Review for proposed changes to the exterior of the building and site plan

Location: Corner N. Washington & Hampton St.

Present Use/Zoning: Hospital/CBD

Tax Map Reference: 228-12-03-021

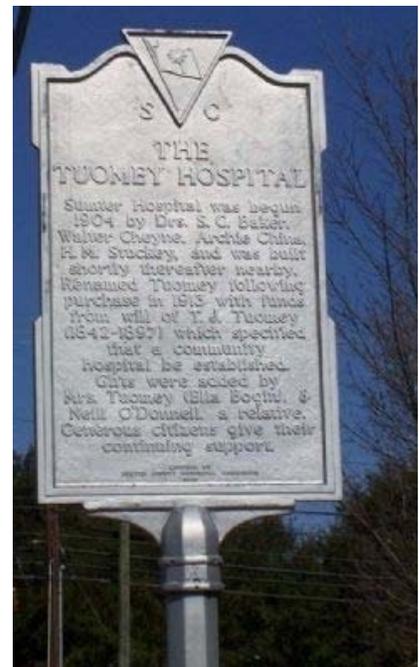
Adjacent Property Land Use and Zoning: North – Frontier Communications /CBD/HCPD
South – Tuomey Hospital Parking/Sumter Cleaners /CBD/HCPD
East – Tuomey Hospital/ Parking /CBD/HCPD
West – Vacant/Parking /GC/ PO/HCPD

II. BACKGROUND

The applicant is requesting design review approval for changes to the façade of the building at the corner of Washington and Hampton Streets in downtown Sumter. These changes are associated with interior renovations that will accommodate a proposed Wound Care Center for Tuomey Hospital.

Historic Context

Based on information obtained from the property cards in the Sumter County Assessor's office, the Toumey Hospital Building was constructed in 1993 with major improvements in 2002, and the parking garage was built in 2006. However, as an institution, Tuomey Hospital pre-dates this building according to the South Carolina Historic Marker database (Marker #43-23), "*Sumter Hospital was begun 1904 by Drs. S. C. Baker, Walter Cheyne, Archie China, H. M. Stuckey, and was built shortly thereafter nearby. Renamed Tuomey following purchase in 1913 with funds from will of T. J. Tuomey (1842-1897) which specified that a community hospital be established. Gifts were added by Mrs. Tuomey (Ella Boggs), & Nell O'Donnell, a relative. Generous citizens give their continuing support.*"



The building is architecturally modern and not from the same era as most of the buildings in the Central Business District. While the locations are outside of the National Register Historic District, they are located within the City of Sumter Downtown Historic District overlay; therefore the proposed site changes must be reviewed.

The current appearance of the site area is shown in the photographs below.





These pictures show the present appearance of the area where landscaping will be moved and relocated so that a brick wall and service drive may be placed at the southwest corner of Medical Office Building Two.

The drive will be a one-way restricted lane from Hampton to Washington, and will only be used by service vehicles for the oxygen tanks that are to be enclosed by the brick wall.



The Request

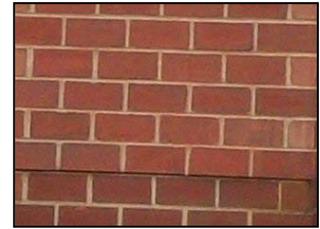
The exterior changes proposed by the applicant include the following:

- The installation of a 7' 9" brick screenwall on the Washington Street façade at the southwest corner of the building to protect oxygen storage tanks. The specifications for the wall are "Velve-Tex Red" Face brick from Boral, Inc., installed to match the building in pattern and type. Velve-Tex is a soft-finish velvet surface pattern with natural modulations in color described by one distributor as:

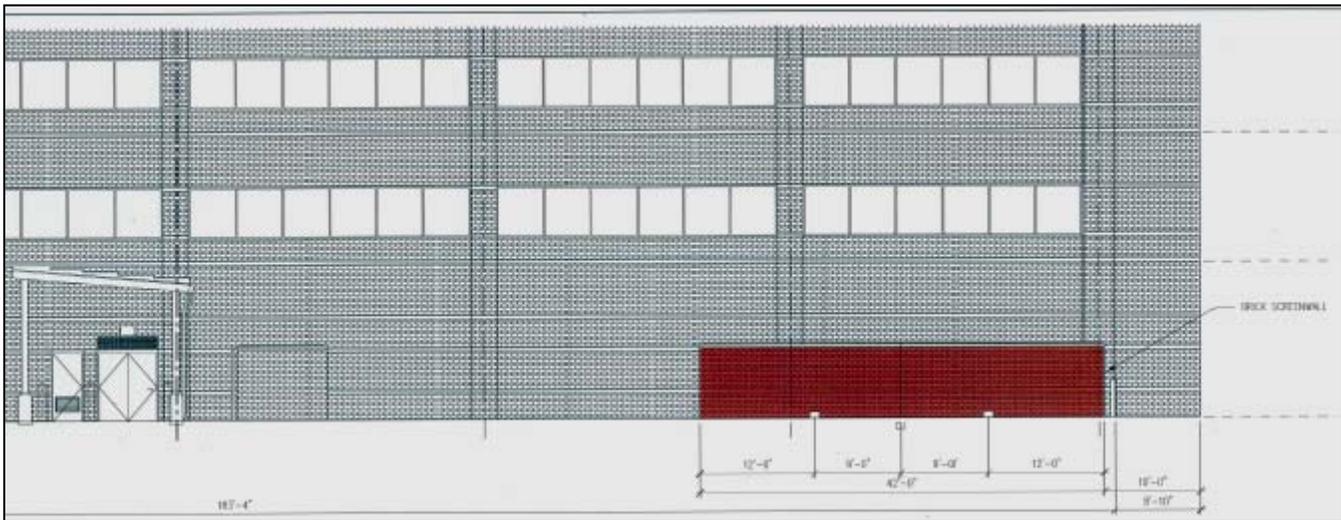
“a deep re-rolled horizontal Matt, that gives the same soft, velvety appearance in any position in the wall. VelveTex is produced ...in a range of five mingled shades of selected red graduating from a dark tone to a light tone ... This produces the full effect of the forest after the leaves first turn in the fall.”

[source: <http://builderscatalogs.com/Bricks.htm?id=4>]

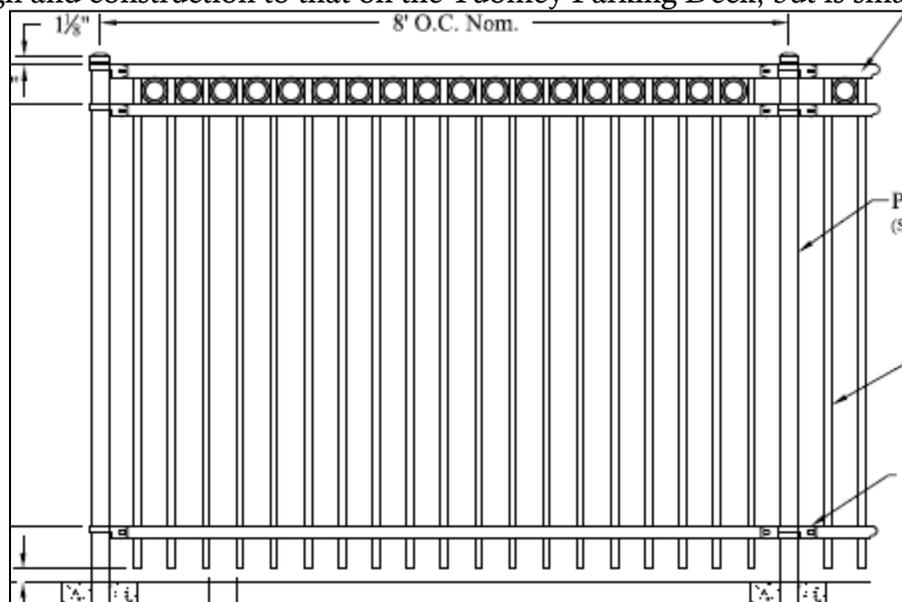
The architectural specifications further direct the Mason to “cull 5% of dark brick to match MOBII masonry.” This will ensure the best possible match to the existing wall of the building, shown in the photo to the right.



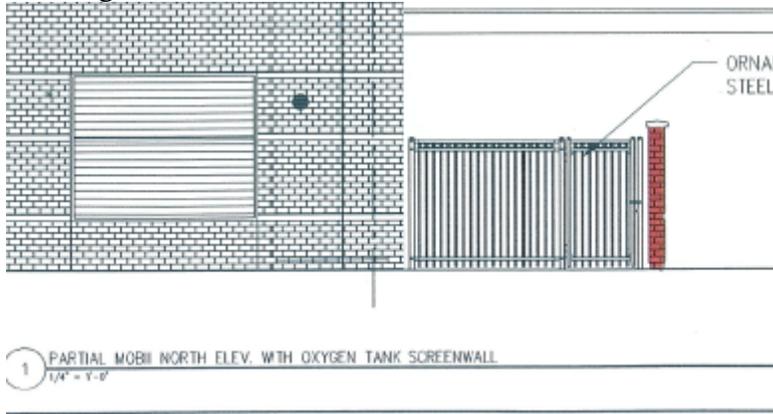
The specifications and design of the brick screenwall are shown below.



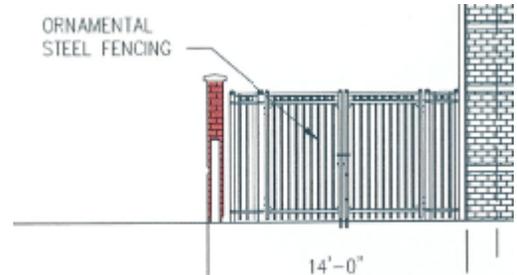
- Ornamental steel fencing and gates on either end of the brick enclosure as specified on the architectural drawings (Sheet AS2.1, AS2.2). The specifications are stated as Ameristar-Aegis II Majestic 3 Rail steel ornamental fence system with Rings, 7' height in Black. This fencing is similar in design and construction to that on the Tuomey Parking Deck, but is smaller in scale.



Fencing location and installation details are shown below.



North end of brick screenwall

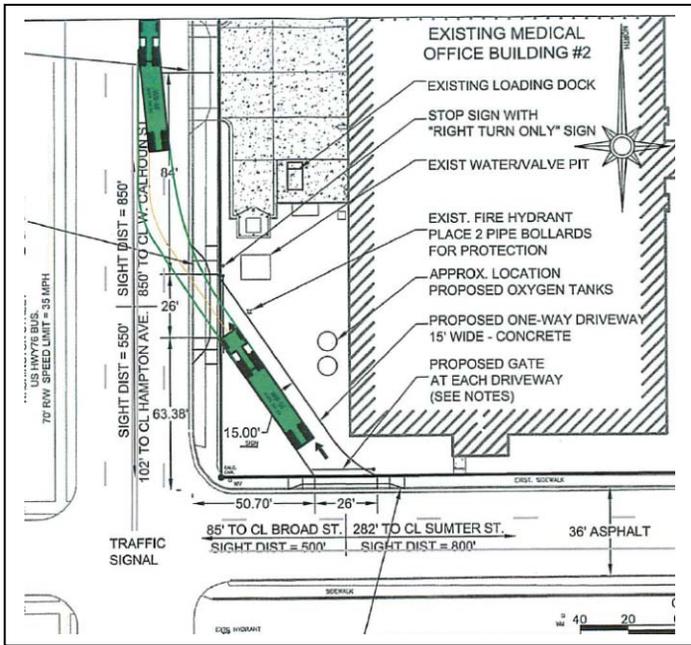


South end of brick screenwall

- The relocation or replacement of one (1) cedar tree, one (1) maple tree, several low shrubs, loropetalum bushes, and established mature Little Gem magnolias and holly trees.
- The removal of an existing speed limit sign and the possible relocation of a fire hydrant. (Existing stormwater inlets and utility service lines and connections will be unaffected by this project and will be adequately protected during construction.)
- Installation of pipe bollards and security chain that shall remain locked except when a service vehicle needs to enter and exit the driveway. The bollards will be similar to those in use at the northwest service and delivery entrance, also on the Washington Street side of the same building, shown below.



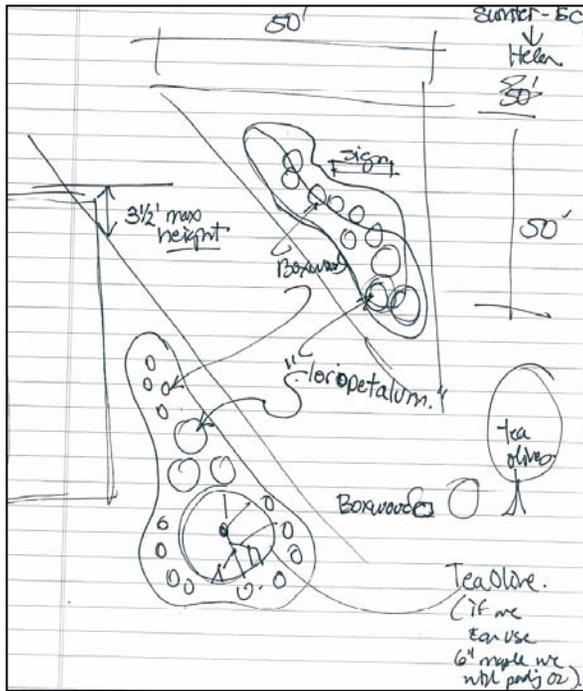
- Installation of an angled driveway that enters on Hampton Avenue and exits on Washington just to the northeast of the intersection, as depicted on civil plans sheet C-1 and C2, and architectural plans sheet AS1.1. Further technical specifications and drawings are included in the application for an encroachment permit from SC-DOT, as shown:



This detailed drawing clearly shows the length of the service truck and safety requirements for the oxygen storage dictates the placement and configuration of the driveway in this location.

Further discussions with the architect, Mary Read, AIA, and Cleston Bridges, Sumter County Commercial Plans Examiner, the civil engineer, Russ VanPatten, P.E., and with reference to the technical data provided to Staff in the architectural and civil plans, and in the SC-DOT encroachment permit reveal the need for clear ventilation and open area in order to assure the safety of personnel servicing the tanks, and for the operation of the tanks themselves that dictate the size and design of the screenwall, associated steel fencing and gates, and the necessity of removing and relocating landscaping.

In addressing the relocated landscaping elements, the architect has proposed a layout depicted in the sketch below.



The landscaping sketch depicts relocation to two areas in front of and away from the new screenwall and on either side of the new driveway, containing shrubbery and trees in undulating pattern that is similar to and compatible with the existing landscaping and screening along the Washington Street frontage. Site constraints may dictate some adjustment from this sketch. Also, species identified as "tea olives" are actually Little Gem magnolias.

The *Design Review Guidelines* state:

#3) LANDSCAPING SHOULD COMPLEMENT RATHER THAN DETRACT FROM BUILDINGS

Recommended

a. Trees of limited height and dimensions should be considered for the downtown area. Historic commercial areas such as downtown Sumter often had numerous shade trees to shelter pedestrians. With the coming of the automobile many of these trees were removed to make way for parking. The introduction of new trees into the downtown area is appropriate as long as the trees selected are of

limited height and dimension. When mature, trees should not overly mask buildings and make signs and details difficult to observe.

b. Low plants and shrubs at sidewalks are appropriate. The introduction of low hedges or planters with flowers or other decorative plants is appropriate.

The proposed changes to the landscaping are in accordance with these guidelines.

#28) NEW CONSTRUCTION SHOULD BE CONTEMPORARY IN DESIGN AND HISTORIC REPRODUCTIONS SHOULD NOT BE BUILT

Normally Required

a. New construction in the commercial area should be of its period. Historic reproductions should be avoided.

Compatibility of new buildings within historic commercial areas poses particular challenges for designers. Historic commercial areas often have similar setbacks, similar storefront and upper facade alignment, and certain rhythms to the streetscape. These built-in parameters assist in defining new construction but they may also result in restricting building design to appear as reproductions of historic buildings as opposed to an appearance of present day construction. Successful new construction in historic commercial areas is clearly of its period but avoids direct imitation of historic designs such as reproducing window lintels or elaborate sheet metal cornices. Direct reproductions may cause observers to confuse the old with the new.

The proposed brick screenwall, black metal fence, and gates are in accordance with these requirements, and clearly conform to the intent of the guidelines to assure harmony with the existing architecture and streetscape along Washington Street and Hampton Avenue.

III. STAFF RECOMMENDATION

The relocated and reinstalled landscaping is predominantly restricted to low planting areas of the same type and species as the existing landscaping and Medical Office Building II, and Staff will work with the applicant to ensure that the final plan and installation is in harmony with the area and the building.

While no specific Historic Preservation review criteria address the site design of the new driveway other than the application of general guidelines for New Commercial Buildings - Site and Setting (Section 2), after review of the proposal and in light of the constraints on the project design due to the nature of oxygen delivery, storage, and maintenance, Planning Staff recommends approval of this request with the following conditions:

1. That landscaping design, species, and placement be in accordance with an approved landscaping plan per Article 8.d.2, installed as specified in Article 8.d.3, and viability ensured in accordance with 8.d.7.f of the City of Sumter Zoning Ordinance.
2. That landscaping in the project area be relocated and/or replaced in accordance with the approved landscaping plan before final inspections for the project are requested from the Building Dept. so that landscaping is ready to be checked during the final Zoning inspection.
3. That the driveway access be strictly limited to the oxygen tank delivery truck and service vehicle as stipulated on the SC-DOT encroachment permit and not used for temporary parking or storage for any other vehicle or use, and that the security chain is kept locked at all times except when the truck is present in order to prevent site access by unauthorized traffic.
4. That Staff have the authority to approve the final landscaping plan, in accordance with what has been presented in the sketch provided by the architect. Should any existing affected tree or other shrub or plant be unfeasible to work back into the site, it shall be relocated in an area within the Tuomey campus, in as close proximity as is feasible to the project area, or alternatively donated to the City or a non-profit entity for relocation in the immediate area of Washington Street and the Tuomey Hospital property.

IV. DRAFT MOTIONS

I move that the Sumter Historic Preservation Design Review Committee approve HP-11-09, in accordance with the materials, photographs, and construction details submitted and referenced in the Staff Report, and with the recommended conditions.

I move that the Sumter Historic Preservation Design Review Committee deny HP-11-09.

I move that the Sumter Historic Preservation Design Review Committee enter an alternative motion.

V. HISTORIC PRESERVATION DESIGN REVIEW – MARCH 24, 2011

The Sumter Historic Preservation Design Review Committee at its meeting on Thursday, March 24, 2011, voted to approve this request in accordance with the materials, photographs, and details submitted and referenced in the Staff Report and subject to the following conditions:

1. That landscaping design, species, and placement be in accordance with an approved landscaping plan per Article 8.d.2, installed as specified in Article 8.d.3, and viability ensured in accordance with 8.d.7.f of the City of Sumter Zoning Ordinance.
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In addition, the Board asked that the bollards be constructed using materials that match the existing decorative light posts instead of the red painted posts if safety will not be jeopardized.